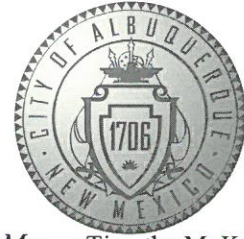


CITY OF ALBUQUERQUE

Planning Department

David Campbell, Director



Mayor Timothy M. Keller

March 26, 2019

Edward Cordova, P.E.
Wilson & Company
4401 Masthead St NE
Albuquerque, New Mexico 87109

**Re: Residence SAD 227 Lot 12 Block 3
5601 Kimberlite Dr. NW
Grading and Drainage Plan
Engineer's Stamp dated: 3-14-19 (E10D059)**

Dear Mr. Cordova,

Based upon the information provided in your submittal received 3/18/19, this plan is approved for Grading Permit. Please inform the builder/owner to attach a copy of this approved plan and letter into the construction sets in the permitting process prior to sign-off by Hydrology.

Please advise the home owner that all ponds are to remain in place and kept maintained, not allowing dirt or debris to enter the public right of way. This is according to the SAD 227 covenants and agreements with the City of Albuquerque.

Prior to Building Permit approval, a **Pad Certification** will be required.

Prior to **Certificate of Occupancy release**, Engineer Certification per the DPM checklist of this plan will be required.

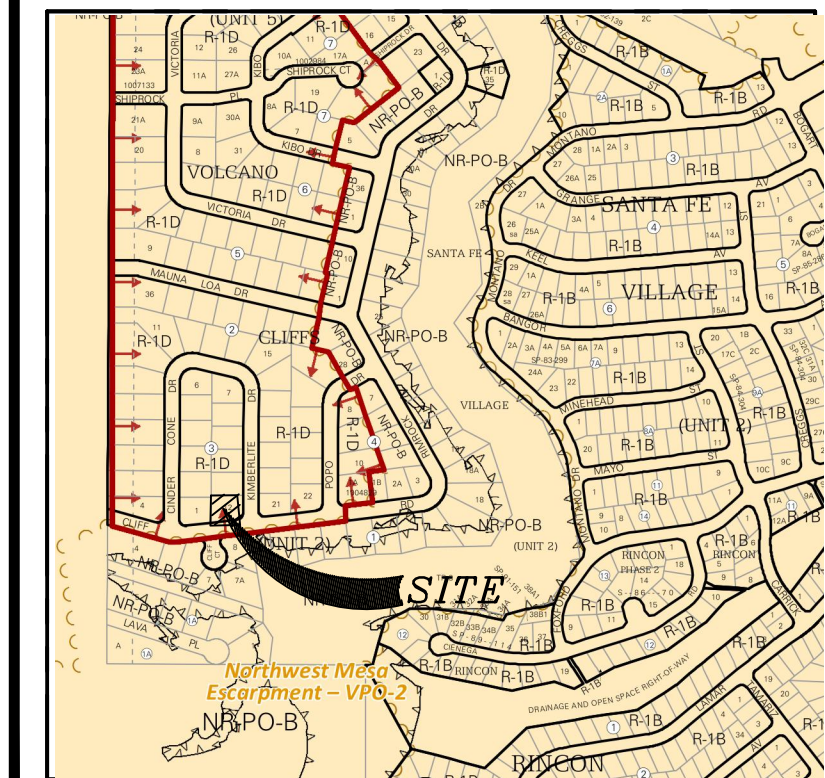
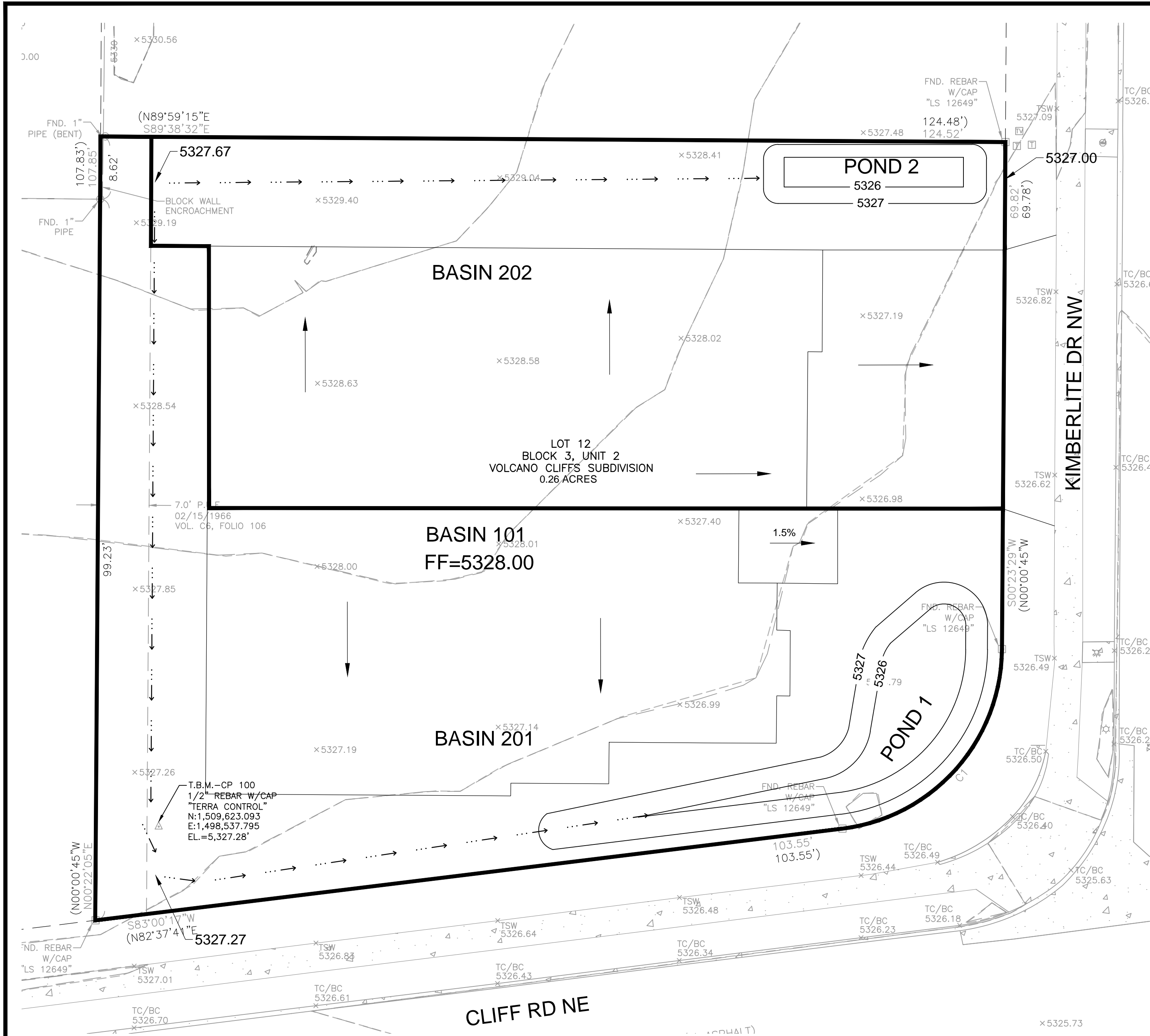
If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

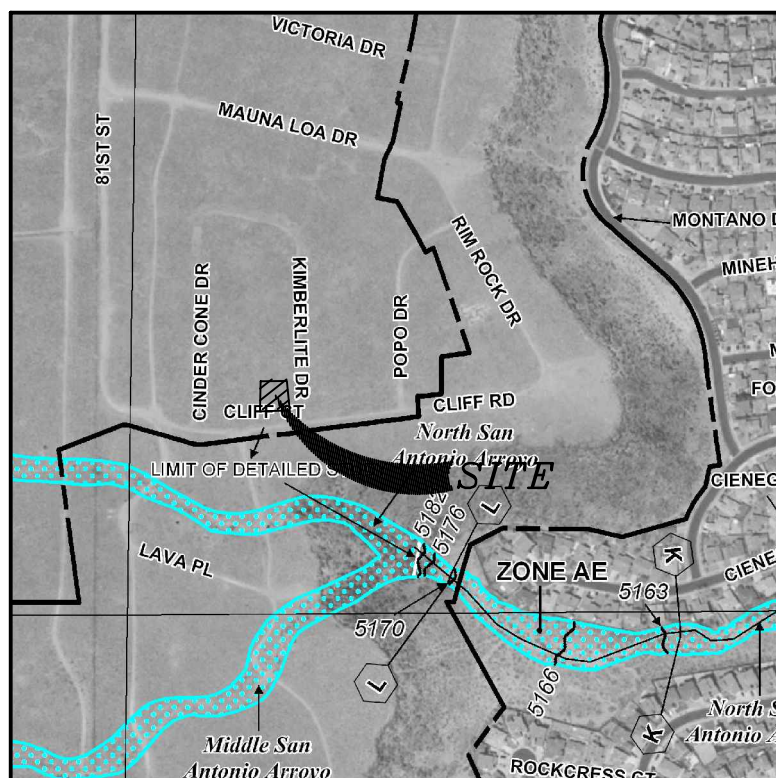
James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH

C: eFile E10D059



VICINITY MAP
ZONE ATLAS MAP NO. E-10



FEMA FLOODPLAIN
FIRM #35001C0113G



SOILS MAP
NRCS WEB SOIL SURVEY, BERNALILLO COUNTY

Drainage Report

Introduction

Lot 12 shown hereon is a residential lot located on 5601 Kimberlite Dr NW Albuquerque, NM. The drainage report has been prepared in accordance with the latest revision to Volume 2 Section 22.2 of the City of Albuquerque Process Manual.

Existing Conditions

The site is an undeveloped 0.26 acre lot. The site is bounded by Cliff Road to the South, Kimberlite Drive to the East, and undeveloped residential lots to the north and west. The lot was graded when the lot was subdivided and has minimal vegetation. The runoff on this lot runs from the north to south side of the lot and continues to flow to the Cliff Rd to the South. The site is not located in a flood plain (see firm map #35001C0113G Revised September 26, 2008). No offsite runoff contributes to the lot. Based on NRCS soil survey data, the Madurez-Wink association gently sloping soil at the site are deep and well-drained, which will increase infiltration and reduce ponding time.

Proposed Conditions

Improvements to Lot 12 includes a new residence being built within a 5643 square foot building envelope. The building envelope, driveway, and sidewalk have a total land treatment D area of 6518 square feet. The majority of onsite runoff will now flow to the south via on site swales. The lot will have a series of small retention ponds as well as a new CMU block wall which will prevent flow from discharging to the adjacent properties without going through a distillation pond. Pond 1 on the south side of the house will capture a majority of the runoff from the house and will collect the flows from the north and west of the lot. Pond 2 will be placed on the north to collect the flows on the northern portion of the house and the north portion of the lot. Ponds 1 & 2 will have small spillways that will discharge to the driveways before discharging to the street in large storm events. The runoff leaving these ponds will not exceed the existing discharge leaving the site. In accordance with the MS4 permitting the ponds will have the combined capacity to retain the first 0.44" of rainfall.

Calculations

The Calculations shown below represent the flows for a 100-year 6-hour design event. The hydrology is per the "Section 22.2 of the Development Process Manual for the City of Albuquerque, New Mexico, latest revision.

Basin Data: COA Zone: 1
Precip, in: 2.2

Existing Conditions

Basin	Total	A		B		C		D	Peak	Excess Precip.	Volume	Volume	Volume	
	Area (Ac)	%	Ac	%	Ac	%	Ac	%	Ac	Discharge, Q	(Weighted)	(6hr, acre-ft)	(24hr, acre-ft)	(10day, acre-ft)
101	0.260	0	0	0	0	100	0.26	0	0.00	0.7	0.99	0.0215	0.0215	0.0215

Proposed Conditions

Basin	Total	A		B		C		D		Peak	Excess Precip.	Volume	Volume	Volume
	Area (Ac)	%	Ac	%	Ac	%	Ac	%	Ac	Discharge, Q	(Weighted)	(6 _{hr} , acre-ft)	(24 _{hr} , acre-ft)	(10 _{day} , acre-ft)
201	0.160	0	0.00	10	0.02	33	0.05	57	0.09	0.6	1.52	0.0202	0.024	0.031
202	0.100	0	0.00	0	0.00	43	0.04	57	0.06	0.4	1.55	0.0129	0.015	0.020

First Flush

Precip (in)	Total Area (Ac)	Volume (Ac-ft)
0.44	0.260	0.010

POND 1 - BASIN 201				
Elevation	Depth	Area (Ft ²)	Area (Acre-ft)	Total Volume (Acre-Ft)
5326		300	0.007	0
5327	1	500	0.011	0.009

POND 2 - BASIN 202				
Elevation	Depth	Area (Ft ²)	Area (Acre-ft)	Total Volume (Acre-Ft)
5326		100	0.002	0
5327	1	150	0.003	0.003

LEGEND

	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING PROPERTY LINE
	FINISHED FLOOR
	FINISHED GROUND
	TOP OF SIDEWALK
	EXISTING BASIN
	PROPOSED BASIN
	SWALE
	PROPOSED CMU BLOCK WALL
	DIRECTION OF FLOW

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.

NOTES:

1. GRADING ACTIVITIES ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE OWNER IS NOT PERMITTED.
2. UNPROTECTED SLOPES SHALL BE NO STEEPER THAN 4H:1V PER COA CODE. IF THERE IS SUFFICIENT SLOPE PROTECTION (I.E. PLANTINGS, ROCK COVER, SHOTCRETE/CONCRETE) SLOPES MAY BE NO STEEPER THAN 3H:1V.
3. A SEPARATE WALL PERMIT MUST BE OBTAINED FROM COA BUILDING DEPARTMENT.
4. POND SLOPES SHALL BE TREATED FOR SLOPE PROTECTION, USE XERISCAPE TREATMENT.

BENCH MARK

PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY BRASS DISK SET 1.0' X 1.0' CONCRETE, 0.40' ABOVE NATURAL GROUND AND IS STAMPED "CALB. LINE STA. "A"." TO REACH THE STATION FROM THE INTERSECTION OF UNSER BOULEVARD NORTHWEST AND MONTANO ROAD NORTHWEST, TRAVEL NORTHWEST ON UNSER BOULEVARD 0.80 MILES TO MOLTEN ROCK ROAD ON THE LEFT. TRAVEL WEST ON MOLTEN ROCK ROAD 0.10 MILES TO 81 ST STREET. TAKE LEFT AND TRAVEL SOUTH ON 81ST STREET 0.50 MILES TO THE POINT ON THE RIGHT. ELEVATION= 5,329.531 FEET (NAVD 88 VERTICAL DATUM). ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION "3-E10" HAVING AN ELEVATION OF 5318.88', NAVD 1988

LEGAL DESCRIPTION

LOT NUMBERED TWELVE (12), IN BLOCK NUMBERED THREE (3), OF VOLCANO CLIFFS UNIT 2, A SUBDIVISION OF A TRACT OF LAND SITUATE IN SECTION 27, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 1, 1967, IN VOLUME D3, FOLIO 175.

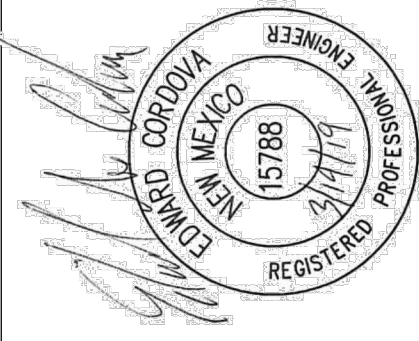


CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DEVELOPMENT DIVISION



TITLE:		5601 KIMBERLITE DR NW GRADING & DRAINAGE PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No.		Zone Map No.	Sheet
5601 KIMBERLITE DR NW		E10	1 of 1

ENGINEER'S SEAL



NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
		DESIGNED BY: MLL	DATE: 3/14/19
		DRAWN BY: MLL	DATE: 3/14/19
		CHECKED BY: ESC	DATE: 3/14/19