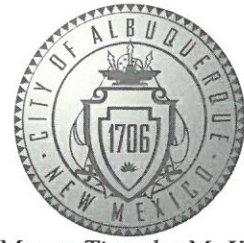


CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

April 2, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 7 Block 7 Unit 5 S.A.D. 227**
7911 Kibo Rd. NW
Grading and Drainage Plan
Engineers Stamp Date 3/28/19 (E10D060)

Dear Mr. Soule,

Based upon the information provided in your submittal received 4/2/19, this plan is approved for Grading Permit. Please inform the builder/owner to attach a copy of this approved plan and letter into the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for any garden/retaining wall must be obtained, with the approved G&D plan.

Prior to Building Permit approval, a **Pad Certification** will be required. Inform the contractor/owner not to pile dirt in the street as a ramp to climb the curb. If dirt is found in the street the pad cert. will be denied.

Prior to **Certificate of Occupancy release**, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: Data Base E10D060



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 7911 KIBO **Building Permit #:** _____ **Hydrology File #:** E10D060
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 7 , BLOCK 7 VOLCANO CLIFFS UNIT 2
City Address: 7911 KIBO

Applicant: Phil Herrera **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

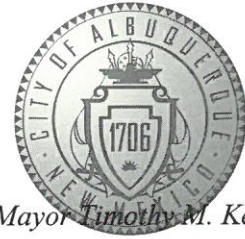
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

April 1, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 7 Block 7 SAD 227**
Unser Cliffs
7911 Kibo NW
Grading and Drainage Plan
Engineers Stamp Date 3/28/19 (E10D060)

Dear Mr. Soule,

Based upon the information provided in your submittal received 3/28/19, this plan cannot be approved for Grading Permit until the following comments are addressed.

PO Box 1293

- Provide a detention pond for the site. The percentage required is 34%, the amount of D provided is 58%, the pond must contain the difference which is 24%.

WE HAVE UPDATED THE CALCULATIONS, THE PROPOSED PONDING EXCEEDS REQUIRED
Prior to Building Permit approval a pad certification is required.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File E10D060

Weighted E Method										
							100-Year, 6-hr.			24 hour
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
ALLOWED PROPOSED COMPARISON	15212.00	0.349	0%	0	24% 0.084	40% 0.1397	36% 0.126	1.266	0.037	1.12
	15212.00	0.349	0%	0	10% 0.035	32% 0.1118	58% 0.203	1.526	0.044	1.28
									0.008	0.011

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions		
FIRST FLUSH WATER QUALITY VOLUME	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	250	605
FLOOD CONTROL	458	605

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent roadway to the south per the master drainage plan. The site exceeds the SAD 227 developed conditions assumptions, there for shall retain the excess 100-year 24- hour flow. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan is in conformance to the master drainage plan

