CITY OF ALBUQUERQUE

Planning Department David Campbell, Director



Mayor Timothy M. Keller

April 2, 2019

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, New Mexico 87199

RE: Lot 7 Block 7 Unit 5 S.A.D. 227 7911 Kibo Rd. NW Grading and Drainage Plan Engineers Stamp Date 3/28/19 (E10D060)

Dear Mr. Soule,

Based upon the information provided in your submittal received 4/2/19, this plan is approved for Grading Permit. Please inform the builder/owner to attach a copy of this approved plan and letter into the construction sets in the permitting process prior to sign-off by Hydrology.

Albuquerque Reiterate to the Owner/Contractor that a separate permit for any garden/retaining wall must be obtained, with the approved G&D plan.

NM 87103 Prior to Building Permit approval, a **Pad Certification** will be required. Inform the contractor/owner not to pile dirt in the street as a ramp to climb the curb. If dirt is found in the street the pad cert. will be denied.

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Prior to **Certificate of Occupancy release**, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely, buch

James D. Hughes, P.E. Principal Engineer, Hydrology Planning Department

RR/JDH C: Data Base E10D060

C.T. T.	LBU	
		XA.
	(1706)	

City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

		Hydrology File #: E10D060				
DRB#:	EPC#:	Work Order#:				
Legal Description: LOT 7 , BLOCK	7 VOLCANO CLIFF	S UNIT 2				
City Address: 7911 KIBO						
Applicant: Phil Herrera		Contact:				
Address:						
Phone#:	Fax#:	E-mail:				
Other Contact: RIO GRANDE ENGINE	ERING	Contact: DAVID SOULE				
Address: PO BOX 93924 ALB NM	87199					
Phone#: 505.321.9099	Fax#:	E-mail: david@riograndeengineering.co				
TYPE OF DEVELOPMENT: PLAT						
Check all that Apply:						
DEPARTMENT:	ТҮРЕ	OF APPROVAL/ACCEPTANCE SOUGHT:				
X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	<u> </u>	UILDING PERMIT APPROVAL				
	C	ERTIFICATE OF OCCUPANCY				
TYPE OF SUBMITTAL:						
ENGINEER/ARCHITECT CERTIFICATION		RELIMINARY PLAT APPROVAL				
X PAD CERTIFICATION		ITE PLAN FOR SUB'D APPROVAL				
CONCEPTUAL G & D PLAN		ITE PLAN FOR BLDG. PERMIT APPROVAL				
^A GRADING PLAN	F	INAL PLAT APPROVAL				
DRAINAGE REPORT						
DRAINAGE MASTER PLAN	S	IA/ RELEASE OF FINANCIAL GUARANTEE				
FLOODPLAIN DEVELOPMENT PERMIT A		FOUNDATION PERMIT APPROVAL				
ELEVATION CERTIFICATE		RADING PERMIT APPROVAL				
CLOMR/LOMR		O-19 APPROVAL				
TRAFFIC CIRCULATION LAYOUT (TCL)	P	AVING PERMIT APPROVAL				
TRAFFIC IMPACT STUDY (TIS)	0	RADING/ PAD CERTIFICATION				
STREET LIGHT LAYOUT		ORK ORDER APPROVAL				
OTHER (SPECIFY)		LOMR/LOMR				
PRE-DESIGN MEETING?		LOODPLAIN DEVELOPMENT PERMIT				
IS THIS A RESUBMITTAL?: X Yes No	C	THER (SPECIFY)				
DATE SUBMITTED:						
COA STAFF:	ELECTRONIC SUBMITTAL	RECEIVED:				
	FEE PAID:					

CITY OF ALBUQUERQUE

Planning Department David Campbell, Director



April 1, 2019

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, New Mexico 87199

RE: Lot 7 Block 7 SAD 227 Unser Cliffs 7911 Kibo NW Grading and Drainage Plan Engineers Stamp Date 3/28/19 (E10D060)

Dear Mr. Soule,

Based upon the information provided in your submittal received 3/28/19, this plan cannot be approved for Grading Permit until the following comments are addressed.

PO Box 1293

• Provide a detention pond for the site. The percentage required is 34%, the amount of D provided is 58%, the pond must contain the difference which is 24%.

WE HAVE UPDATED THE CALCULATIONS, THE PROPOSED PONDING EXCEEDS REQUIRED Prior to Building Permit approval a pad certification is required.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely, amer D. Hugher

James D. Hughes, R.E. Principal Engineer, Hydrology Planning Department

RR/JDH C: File E10D060

Weighted E Method

												100-Yea	r, 6-hr.		24 hou
Basin	Area	Area	Treat	ment A	Treat	ment B	Treat	ment C	Treat	ment D	Weighted E	Volume	Flow		Volum
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs		(ac-ft)
ALLOWED	15212.00	0.349	0%	0	24%	0.084	40%	0.1397	36%	0.126	1.266	0.037	1	12	0.04
PROPOSED	15212.00	0.349	0%	0	10%	0.035	32%	0.1118	58%	0.203	1.526	0.044	1	28	0.05
COMPARISON												0.008			0.01

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

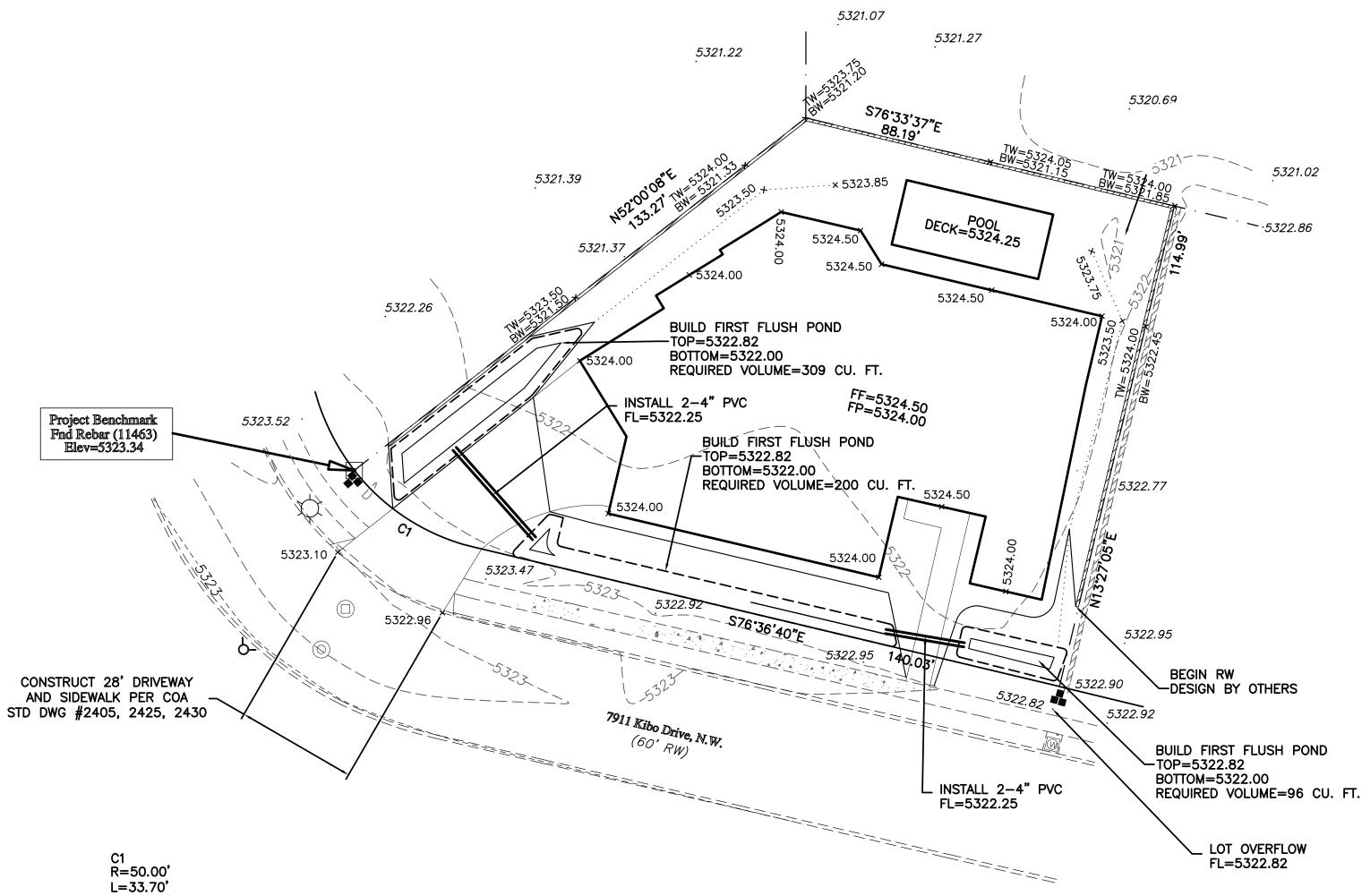
Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hou	ur storm- zone 1	
-	Ea= 0.44	Qa= 1.29
	Eb= 0.67	Qb= 2.03
	Ec= 0.99	Qc= 2.87
	Ed= 1.97	Qd= 4.37
ONSITE Conditons		
FIRST FLUSH WATER Q	UALITY VOLUME	
	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	250	605
FLOOD CONTROL	458	605

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent roadway to the south per the master drainage plan. The site exceeds the SAD 227 developed conditions assumptions, there for shall retain the exess 100-year 24- hour flow. We are ponding the water harvest volume generated by the site there is not measurable upland flow. . This plan is in conformance to the master drainage plan

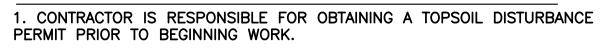


L=33.70' C=33.07' CB=N57*17'59"W ?=38'37'23"

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

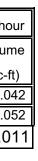


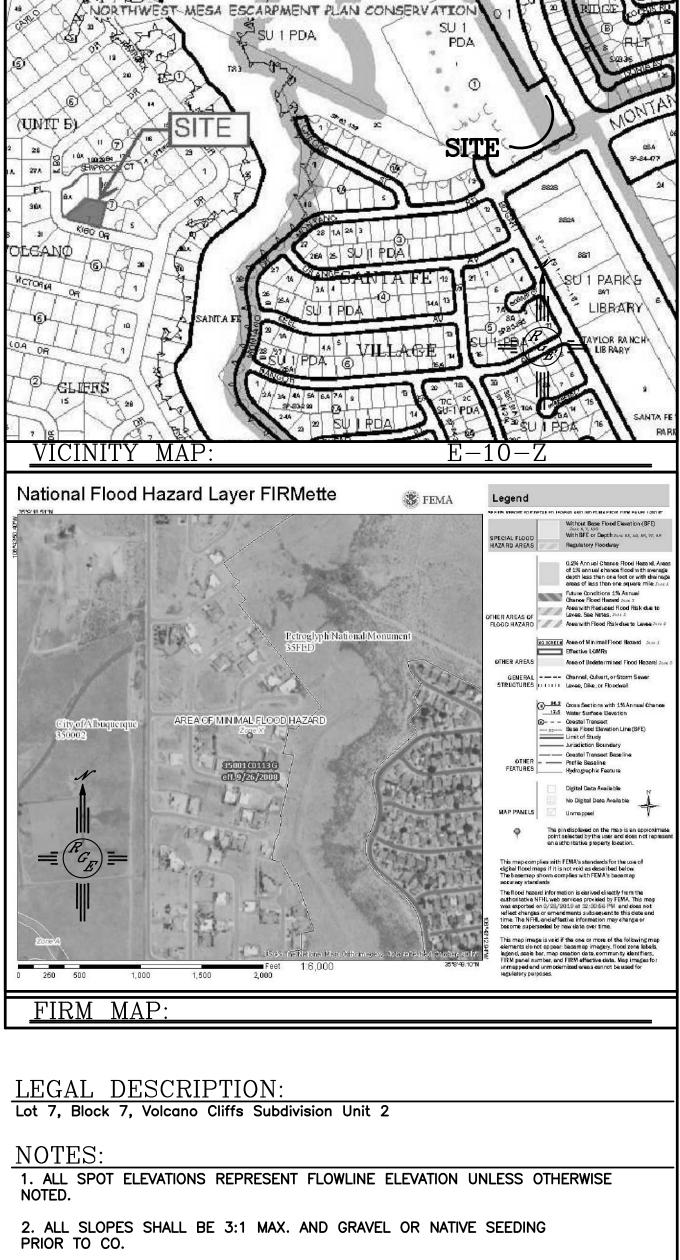
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

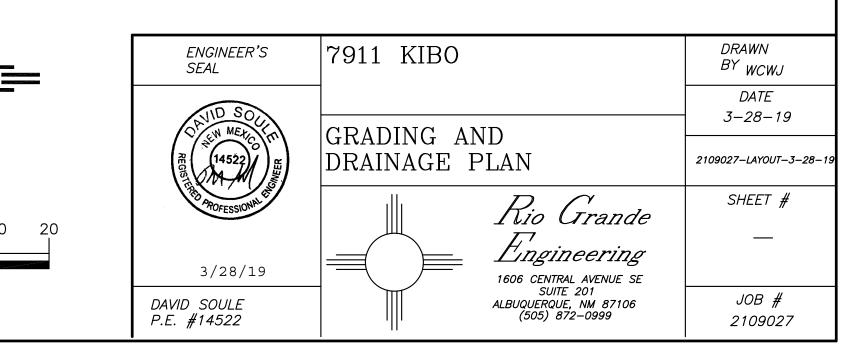




3. A PAD GRADING CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT 4. ALL WALLS MUST BE CONSTRUCTED UNDER SEPARATE PERMITS AND MUST COMFORM TO THIS PLAN

LEGEND

	EXISTING CONTOUR
XXXX	EXISTING INDEX CONTOUR
XXXX	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
►	SLOPE TIE
* XXXX	EXISTING SPOT ELEVATION
× XXXX	PROPOSED SPOT ELEVATION
	BOUNDARY
	RIGHT-OF-WAY
	RIGHT-OF-WAT
=============	EXISTING CURB AND GUTTER
× × × × × × × × × × × × × × × × × × ×	PROPOSED CMU SCREEN WALL (12" MAX. RETAINAGE)
×	PROPOSED RETAINING WALL-DESIGN BY OTHERS



 G_{π} 20 10 SCALE: 1"=20'