

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 7, 2021

Scott Eddings
Huitt-Zollars
333 Rio Rancho Blvd.
Rio Rancho, NM 87124

**Re; Lot 9, Blk 13 Volcano Cliffs SAD 227
6519 Jade NW
Grading and Drainage Plan for Pool
Engineers Stamp Date: 6/26/2021 E10D062**

Mr. Eddings,

Based upon the information provided in your submittal received 6/28/2021, this plan cannot be approved for Grading Permit for pool until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

- The pool needs to be placed on the approved G&D plan. If you wish for the pool to be separate from the original G&D a CO must be approved on the original permit.
- Provide a table of the land treatments.
- Provide if the ponding areas should keep the same capacity or a greater capacity. The pool is located where the original ponding area was required.
- Provide the outlet spot elevation for the pond when overflowing.
- Provide erosion control for the pond.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6519 Jade - Swimming Pool **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 9, Block 13 Volcano Cliffs Unit 5
City Address: 6519 Jade Drive NW

Applicant: Huitt-Zollars **Contact:** Scott Eddings
Address: 333 Rio Rancho Blvd, Rio Rancho, NM 87124
Phone#: 505-235-7211 **Fax#:** _____ **E-mail:** seddings@huitt-zollars.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: June 27, 2021 **By:** Scott Eddings

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

LEGAL DESCRIPTION

LOT 9, BLOCK 13, UNIT 15, VOLCANO CLIFFS

EXISTING DRAINAGE PLAN

LOT 9, BLOCK 13 GRADING AND DRAINAGE PLAN
WAS PREPARED BY RIO GRANDE ENGINEERING
ON APRIL 22, 2019.

PROPOSED DRAINAGE

THIS PROJECT DOES NOT INCREASE ANY
ADDITIONAL STORM WATER FLOWS AS THE
POOL ARE HAS ZERO DISCHARGE.

DRAINAGE IMPROVEMENTS

THIS PROJECT INSTALLS A TRENCH DRAIN
WITHIN THE POOL CONCRETE FLAT WORK TO
ACCEPT AND CONVEY ROOF WATER FROM THE
HOME TO THE WATER QUALITY POND.

CONSTRUCTION NOTES

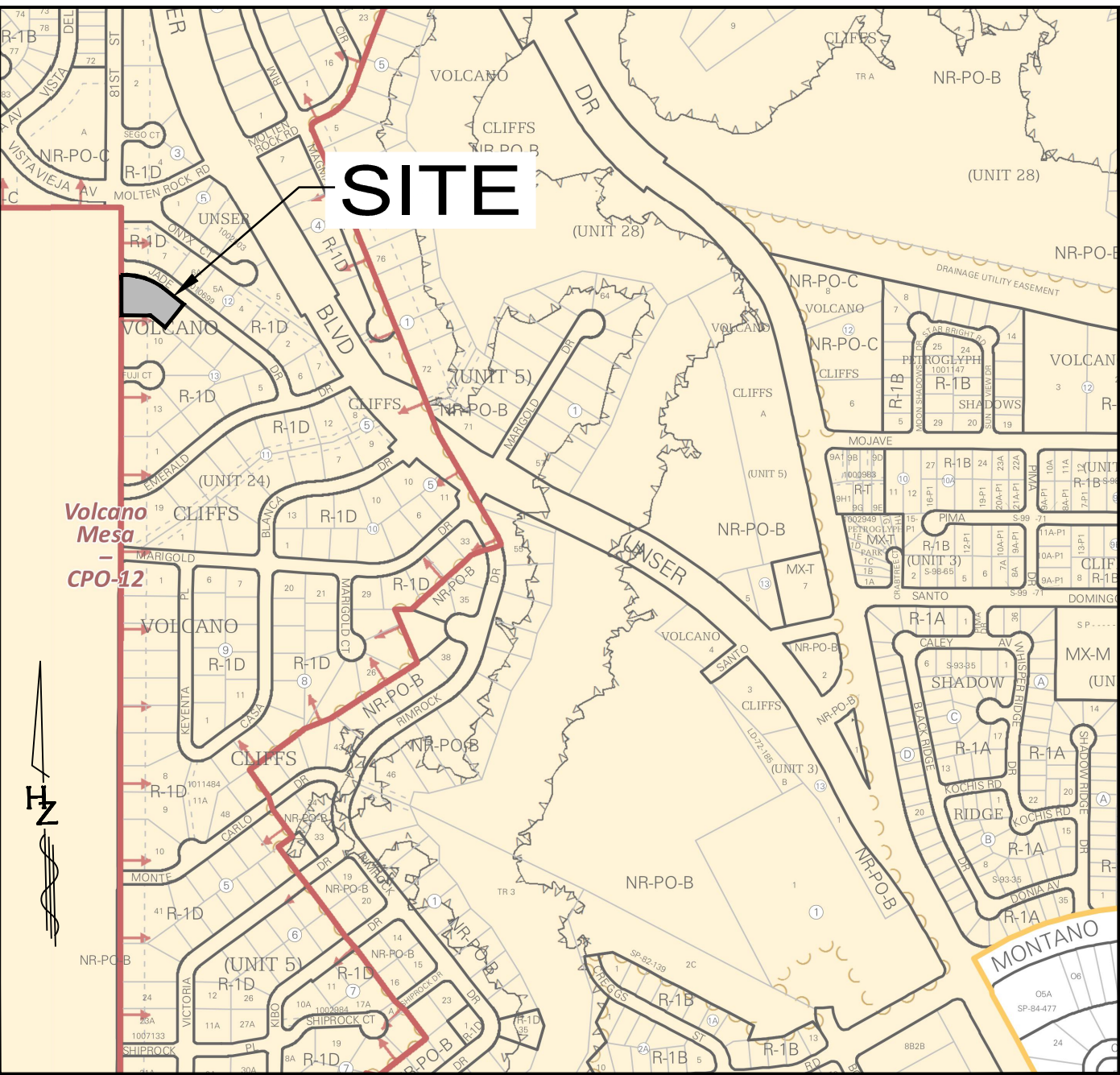
1. INSTALL TRENCH DRAIN
2. CONNECT 6" PVC PIPE TO TRENCH DRAIN IN
ORDER TO DRAIN WATER INTO POND.
3. INSTALL 6' PRIVACY WALL/3' RETAINING WALL PER
DETAIL ON SHEET 2.
4. EXISTING INLET
5. INSTALL 12" HDPE STORM DRAIN PIPE
6. ROOF DRAINS

LEGEND

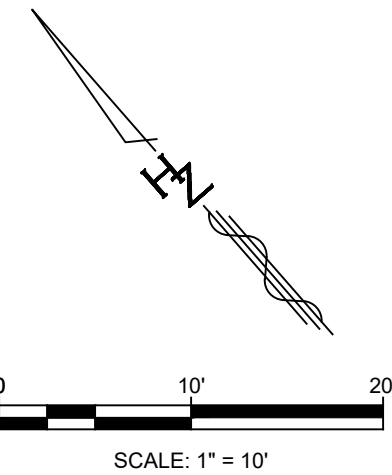
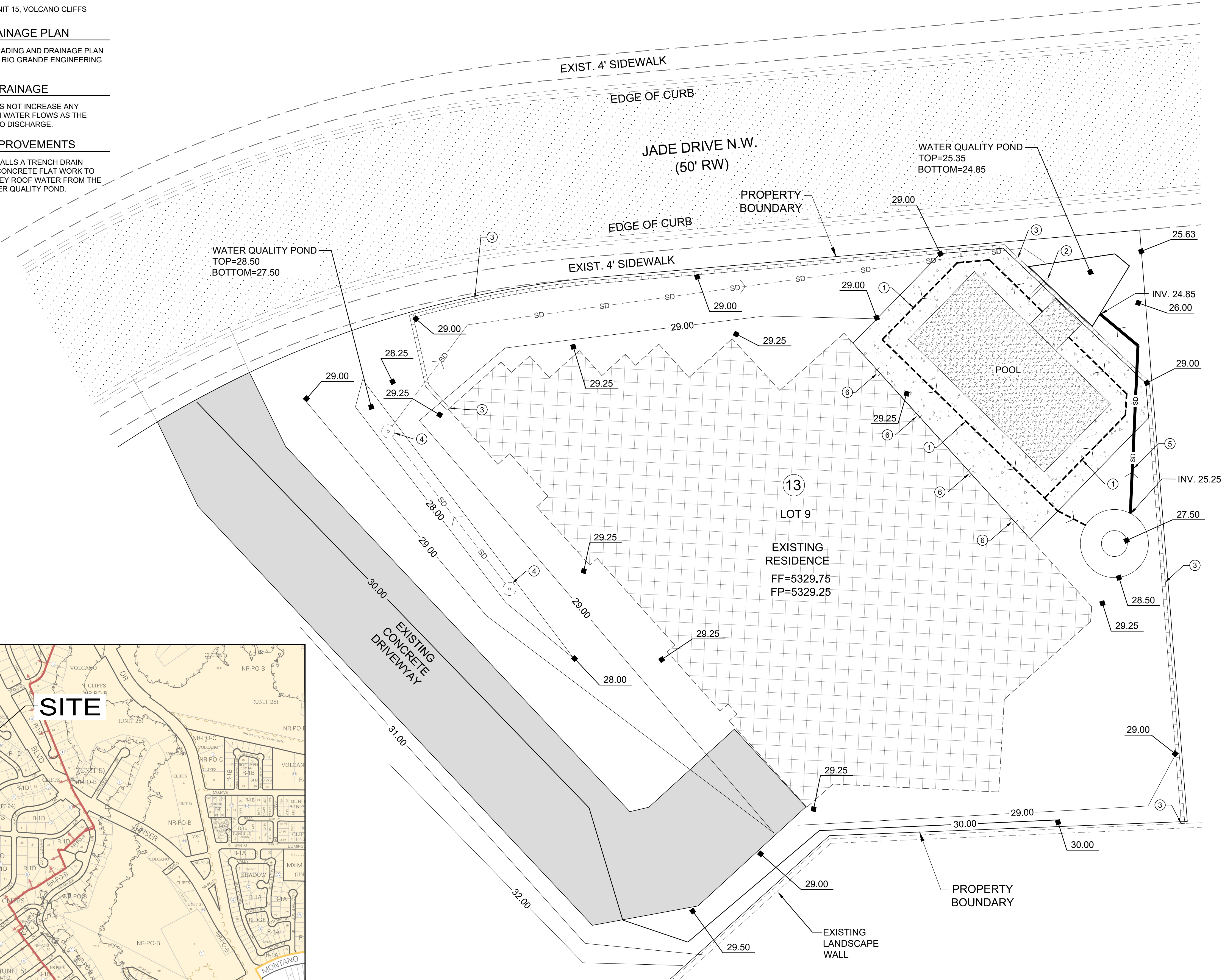
- 504.0 PROP. (INDEX) CONTOUR
504.1 PROP. (INTERMEDIATE) CONTOUR
SD EXISTING STORM DRAIN
SD PROPOSED STORM DRAIN
TRENCH DRAIN
XX.XX FINISH GRADE

GENERAL NOTES

1. ALL DISTURBED AREAS NOT PROPOSED TO BE
IMPROVED SHALL BE STRAW CRIMPED W/
NATIVE SEEDING PER COA SPECIFICATION 1011
& 1012.
2. SEE PLAT FOR LOT DIMENSIONS.
3. CONTRACTOR SHALL OBTAIN PERMISSION TO
GRADE ON PRIVATE PROPERTY. CITY SHALL
NOT BE RESPONSIBLE FOR CONTRACTOR
TRESPASSING ON PRIVATE PROPERTY
4. FOR EXISTING TOPOGRAPHIC DATA SEE
GRADING AND DRAINAGE PLAN BY RIO
GRANDE ENGINEERING.



ZONE ATLAS PAGES
D-9-Z, D-10-Z, E-9-Z & E-10-Z



Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

Lot 9, Block 13
Volcano Cliffs Unit 5

TITLE:
ENLARGED GRADING PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	E-10-Z	1	3

1. WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.
2. ADDITIONAL COURSE MAY BE BURIED AS A RESULT OF FIELD CONDITIONS.
3. PAY ITEM IS FOR EXPOSED BLOCKS ONLY.

1. RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES)
2. ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). $F'_m=1500$ PSI
3. MORTAR SHALL BE TYPE S.
4. GROUT - $F'_c=2000$ PSI
5. CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
6. PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.

7. THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
8. ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
9. LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
10. ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
11. PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 16" O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
12. MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI.

13. WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK.
14. SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
15. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
16. THE TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.
17. PROVIDE ANTI-GRAFFITI SURFACE COATING ON THE CMU WALL WHEN FACING THE PUBLIC AREAS AND RIGHT-OF-WAY LOCATIONS.

[illegible]

nm811
Know what's below.
Call before you dig.
TWO WORKING DAYS
BEFORE YOU DIG CALL
811 OR 260-1990

Designed By

HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

Lot 9, Block 13
Volcano Cliffs Unit 5

TITLE:

WALL DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No. E-10-Z	Sheet	2	Of 3

Plotted: 6/27/2021 9:42:56 AM, By: Tafoya, Linda
H:\Transfer\Linda\Grading-Wall Design\GRADING PLAN.dwg
Last Saved: 6/27/2021 9:38:47 AM, Itafoya

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr.				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	24 hour Volume (ac-ft)
			Treatment A (acres)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)				
ALLOWED	27560.00	0.633	0%	0%	24%	0.152	40%	0.2531	36%	0.228
PROPOSED	27560.00	0.633	0%	0%	30%	0.190	35%	0.2214	35%	0.221
COMPARISON										

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm-zone 1

Ea= 0.44
Eb= 0.67
Ec= 0.99
Ed= 1.97

Qa= 1.29
Qb= 2.03
Qc= 2.87
Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)	PROVIDED (CF)
273	285
NA	295

Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent roadway to the north per the master drainage plan. The site does not exceed the SAD 227 developed conditions assumptions, there for flood control retention is required. We are ponding the water harvest volume generated by the site, there is not measurable upland flow. This plan is in conformance to the master drainage plan

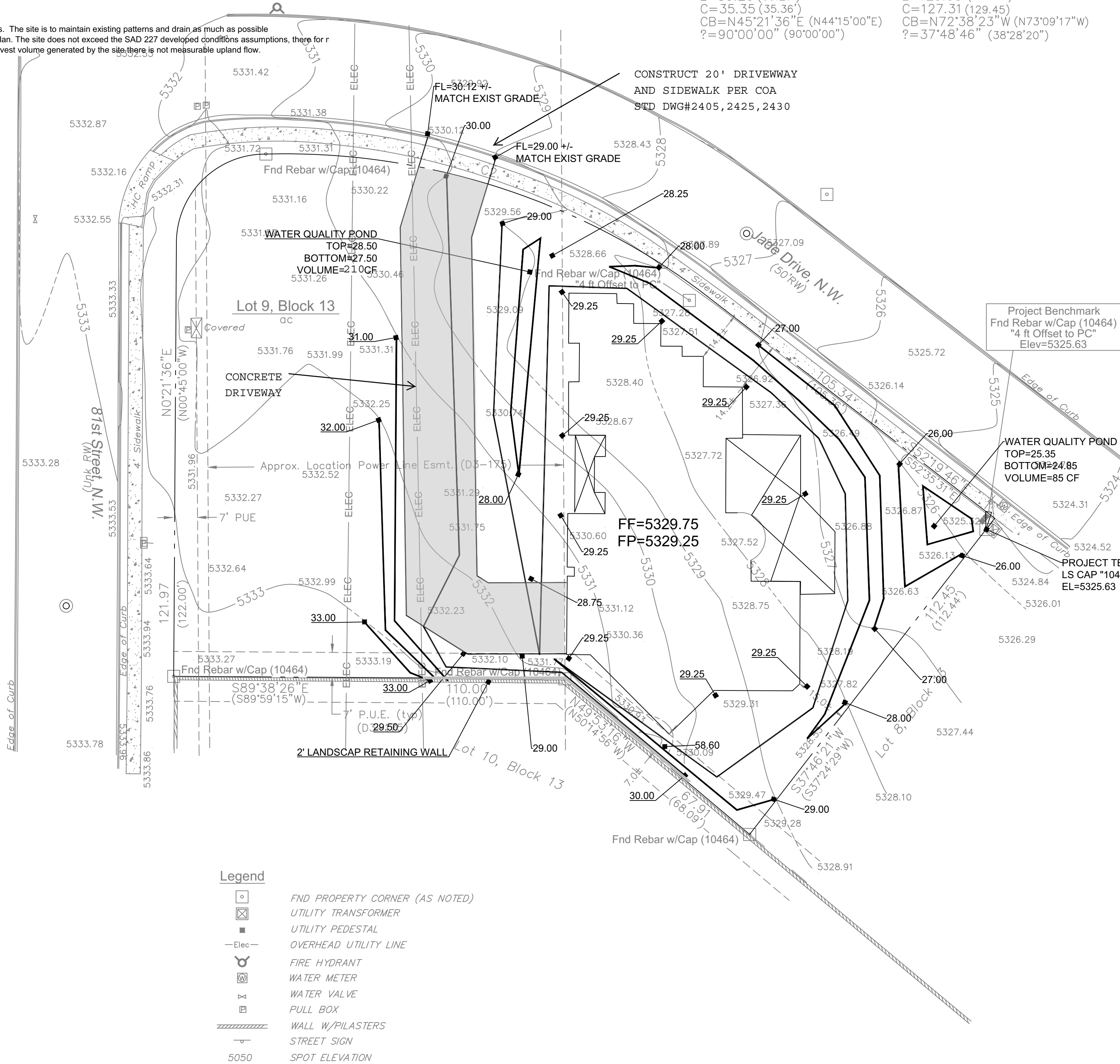
I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 4/22/19 BASED UPON APPROVAL FROM DESIGN ENGINEER THE PAD HAS BEEN CONSTRUCTED



5/29/19

C1
R=24.99 (25.00')
L=39.26 (39.27')
C=35.35 (35.36')
CB=N45°21'36"E (N44°15'00"E)
?=90°00'00" (90°00'00")

C2
R=196.45 (196.45')
L=129.65 (128.30)
C=127.31 (129.45)
CB=N72°38'23"W (N73°09'17"W)
?=37°48'46" (38°28'20")

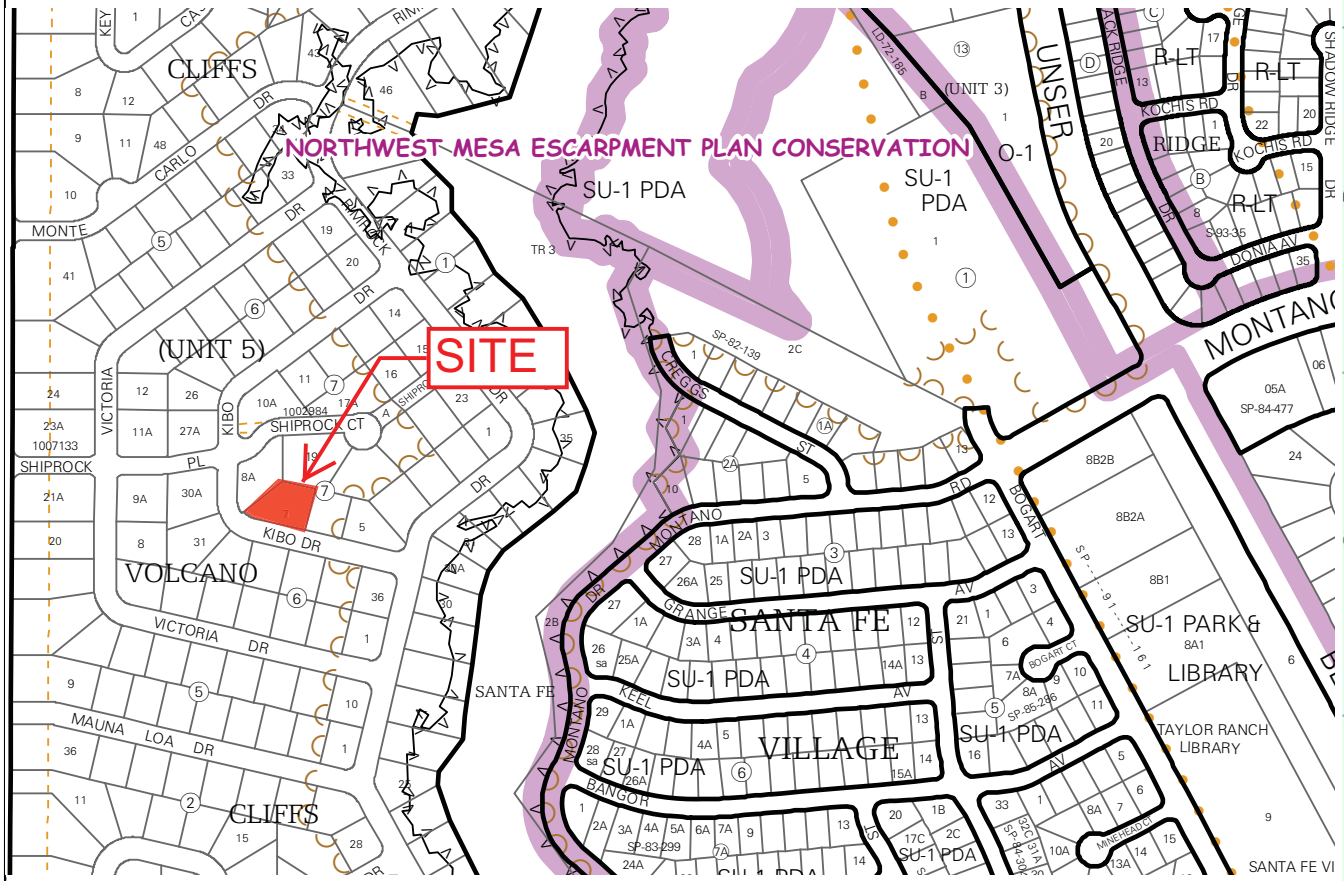


Legend

- FND PROPERTY CORNER (AS NOTED)
- UTILITY TRANSFORMER
- UTILITY PEDESTAL
- OVERHEAD UTILITY LINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- PULL BOX
- WALL W/PILASTERS
- STREET SIGN
- SPOT ELEVATION

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

LEGAL DESCRIPTION:

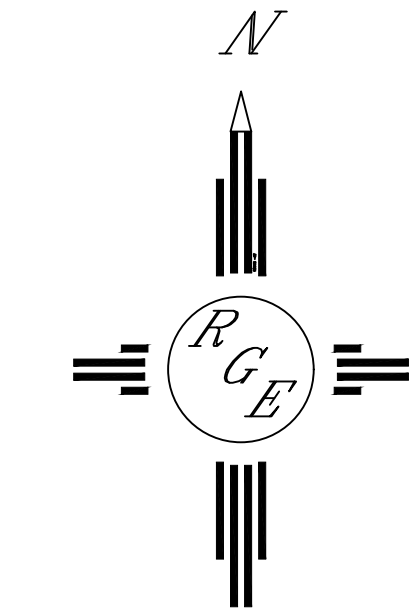
LOT 9, BLOCK 13, UNIT 15, VOLCANO CLIFFS

NOTES:

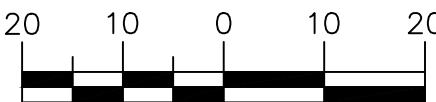
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY COMMUNITY SCIENCES APRIL 2019
- ALL DISTURBED AREAS MUST BE RESEED OR LANDSCAPED PRIOR TO FINAL C.O.. ALL AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED WITH NATIVE MIX
- DUE TO EXISTING TOPOGRAPHY AND UNDEVELOPED NATURE OF THE DOWN STEAM AREA, PERIODIC MAINTENANCE OF PONDS AND SWALES ARE REQUIRED.
- A PAD GRADING CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT
- ALL WALLS MUST BE CONSTRUCTED UNDER SEPARATE PERMITS AND MUST COMFORM TO THIS PLAN

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED FLOWLINE ELEVATIONS
- PROPERTY LINE



GRAPHIC SCALE



SCALE: 1"=20'

ENGINEER'S SEAL	Lot 9, Block 13 Volcano Cliffs Unit 5 GRADING AND DRAINAGE PLAN	DRAWN BY JDC
DAVID SOULE P.E. #14522		DATE 04/20/2019
	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1
		JOB #