CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director

Mayor Timothy M. Keller

June 26, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 9 Block 13 Unit 5 SAD 227**
6519 Jade Dr. NW
Grading and Drainage Plan
Engineers Stamp Date 4/22/19 (E10D062)
Pad Certification Date 5/29/19

Dear Mr. Soule,

Based upon the information provided in your submittal received 6/19/19, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 4/22/19.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File E10D062

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6519 JADE DR NW Building Permit #:_____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 9 , BLOCK 13 VOLCANO CLIFFS UNIT 5

City Address: 6519 JADE DR

Applicant: LUPE SOTELO Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: ___ PLAT X RESIDENCE ___ DRB SITE ___ ADMIN SITE

Check all that Apply:

DEPARTMENT:

X HYDROLOGY/ DRAINAGE

___ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

___ ENGINEER/ARCHITECT CERTIFICATION

X PAD CERTIFICATION

___ CONCEPTUAL G & D PLAN

___ GRADING PLAN

___ DRAINAGE REPORT

___ DRAINAGE MASTER PLAN

___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

___ ELEVATION CERTIFICATE

___ CLOMR/LOMR

___ TRAFFIC CIRCULATION LAYOUT (TCL)

___ TRAFFIC IMPACT STUDY (TIS)

___ STREET LIGHT LAYOUT

___ OTHER (SPECIFY) _____

___ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: X Yes ___ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL

___ CERTIFICATE OF OCCUPANCY

___ PRELIMINARY PLAT APPROVAL

___ SITE PLAN FOR SUB'D APPROVAL

___ SITE PLAN FOR BLDG. PERMIT APPROVAL

___ FINAL PLAT APPROVAL

___ SIA/ RELEASE OF FINANCIAL GUARANTEE

___ FOUNDATION PERMIT APPROVAL

___ GRADING PERMIT APPROVAL

___ SO-19 APPROVAL

___ PAVING PERMIT APPROVAL

___ GRADING/ PAD CERTIFICATION

___ WORK ORDER APPROVAL

___ CLOMR/LOMR

___ FLOODPLAIN DEVELOPMENT PERMIT

___ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	100-Year, 6-hr. Weighted E (ac-ft)	100-Year, 6-hr. Volume (ac-ft)	100-Year, 6-hr. Flow cfs	24 hour Volume (ac-ft)
ALLOWED	27560.00	0.633	0%	0	24%	0.152	40%	0.2531	36%	0.228	1.266	0.067	2.03	0.075
PROPOSED	27560.00	0.633	0%	0	30%	0.190	35%	0.2214	35%	0.221	1.237	0.065	1.99	0.074
COMPARISON												-0.002		-0.002

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditons
FIRST FLUSH WATER QUALITY VOLUME

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	273	295
FLOOD CONTROL	NA	295

Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent roadway to the north per the master drainage plan. The site does not exceed the SAD 227 developed conditions assumptions, there for r flood control retention is required. We are ponding the water harvest volume generated by the site,there is not measurable upland flow.
. This plan is in conformance to the master drainage plan

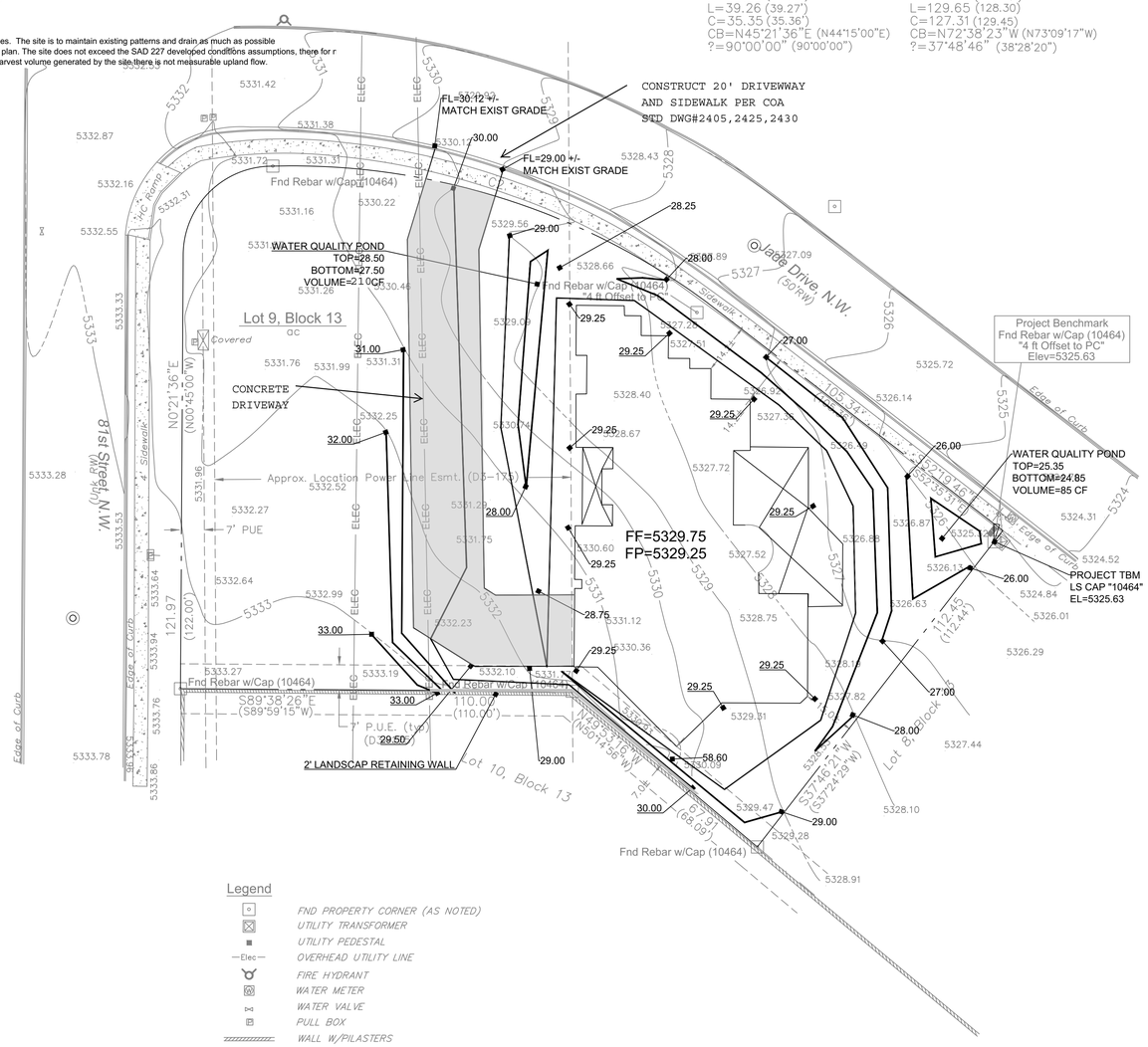
I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 4/22/19 BASED UPON APPROVAL FROM DESIGN ENGINEER THE PAD HAS BEEN CONSTRUCTED

DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER

5/29/19

C1
R=24.99 (25.00')
L=39.26 (39.27')
C=35.35 (35.36')
CB=N45°21'36"E (N44°15'00"E)
?=90°00'00" (90°00'00")

C2
R=196.45 (196.45')
L=129.65 (128.30)
C=127.31 (129.45)
CB=N72°38'23"W (N73°09'17"W)
?=37°48'46" (38°28'20")



Legend

- FND PROPERTY CORNER (AS NOTED)
- UTILITY TRANSFORMER
- UTILITY PEDESTAL
- —Elec— OVERHEAD UTILITY LINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- PULL BOX
- WALL W/PILASTERS
- STREET SIGN
- 5050 SPOT ELEVATION

EROSION CONTROL NOTES:

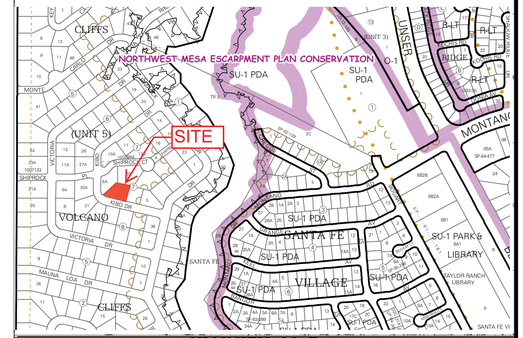
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:

FIRM MAP:

LEGAL DESCRIPTION:

LOT 9, BLOCK 13, UNIT 15, VOLCANO CLIFFS

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY COMMUNITY SCIENCES APRIL 2019
3.. ALL DISTURBED AREAS MUST BE RESEED OR LANDSCAPED PRIOR TO FINAL C.O.. ALL AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED WITH NATIVE MIX
4. DUE TO EXISTING TOPOGRAPHY AND UNDEVELOPED NATURE OF THE DOWN STEAM AREA, PERIODIC MAINTENANCE OF PONDS AND SWALES ARE REQUIRED.
3. A PAD GRADING CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT
4. ALL WALLS MUST BE CONSTRUCTED UNDER SEPARATE PERMITS AND MUST COMFORM TO THIS PLAN

LEGEND

- 5411 EXISTING CONTOUR
- 5410 EXISTING INDEX CONTOUR
- 5411 PROPOSED CONTOUR
- 5410 PROPOSED INDEX CONTOUR
- 100.00 PROPOSED FLOWLINE ELEVATIONS
- PROPERTY LINE

N

GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

ENGINEER'S SEAL	DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER 4/22/19
DAVID SOULE P.E. #14522	

Lot 9, Block 13
Volcano Cliffs Unit 5

GRADING AND DRAINAGE PLAN

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

DRAWN BY	JDG
DATE	04/20/2019
SHEET #	1 OF 1
JOB #	