CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor Timothy M. Keller

December 18, 2017

James Lopez, P.E. Wilson & CO 4401 Masthead St. NE Albuquerque, New Mexico 87121

RE: Lot 4 Block 11 Unit 5 Volcano Cliffs SAD 227 6301 Casa Blanca NW Grading and Drainage Plan Engineers Stamp Date 12/10/19 (E10D070) Pad Certification Date: None provided CO date: 12/16/2020

Dear Mr. Lopez,

PO Box 1293

Based upon the information provided in your submittal received 12/17/2020, this plan cannot be approved for CO until the following comments are addressed.

Albuquerque

NM 87103

- Provide the size of pond in the rear yard.
- Adjust the land treatment values.
- Have the gravel swales in place.
- Have the drive pad in place.
- Provide the correct date in the CO language for the approved plan.
- Make sure all landscaping is in place which controls the drainage for this site.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E. Principal Engineer, Planning Dept. Development Review Services

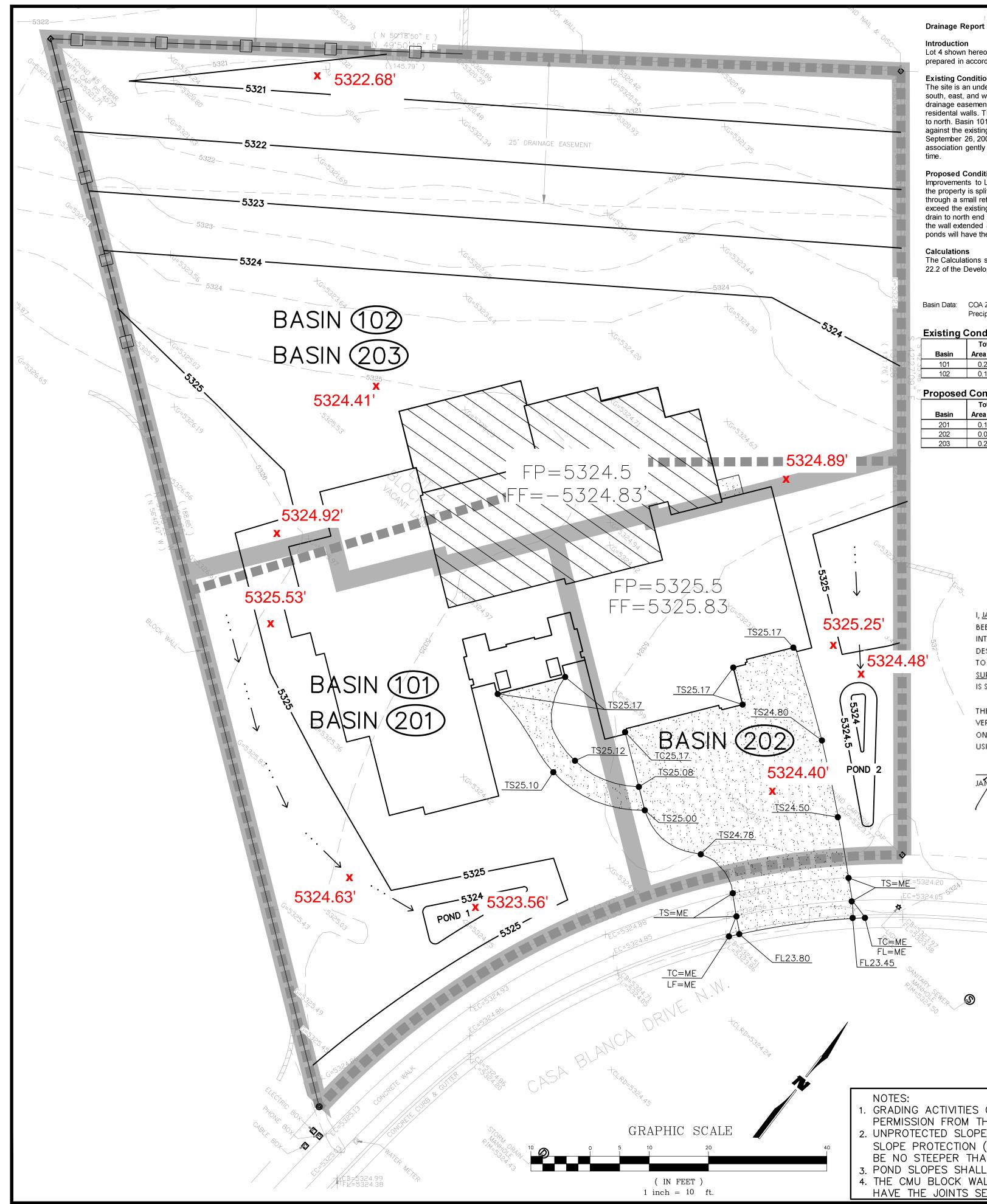


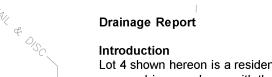
City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title:	Building Pe	ermit #: Hydrology File #:
		Work Order#:
Legal Description:		
City Address:		
Applicant:		Contact:
Address:		
		E-mail:
Other Contact:		Contact:
Address:		
Phone#:	Fax#:	E-mail:
Check all that Apply:		IS THIS A RESUBMITTAL?: Yes No
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DATE SUBMITTED:	By:	
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:	
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Introduction Lot 4 shown hereon is a residential lot located on 6301 Casa Blanca Dr. Albuqu prepared in accordance with the latest revision to Volume 2 Section 22.2 of the		VOLCANO 10 10 10 10 10 10 10 10 10 10	RMA D	рате рате рате INFORMATI	
Existing Conditions The site is an undeveloped 0.437 acre lot. The site is bounded by Casa Blanca south, east, and west.The lot is currently ungraded and has natural desert vegi			NFO	INFO	
drainage easement 25' into the lot, this easement has been deemed as unrequeresidental walls. The runoff is currently divided and basin 101 drains from the net to north. Basin 101 discharges to Casa Blanca road. Basin 102 currently drains	ired and is blocked by the surrounding orth to south and basin 102 drains from south	ARCOLD -122 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 7		
against the existing residential cmu walls. The site is not located in a flood plai September 26, 2008). No offsite runoff contributes to the lot. Based on NRCS association gently sloping soil at the site are deep and well-drained, which will	n (see firm map #35001C0113G Revised soil survey data, the Madurez-Wink	VOLCANO R-ID R-ID R-ID R-ID R-ID R-ID R-ID R-ID	<i>BUL</i>	OR'S ANCE BY ATION BY SS TTED BY	
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-5324	5440	EXISTING INTERMEDIATE CONTOUR EXISTING INDEX CONTOUR	11), OF VOLCANO CLIFFS UNIT 5, A SUBDIVISION OF A TRACT OF LAND SITUATE IN SECTION 27, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY,			
	5450	PROPOSED INDEX CONTOUR	LEGAL DESCRIPTION LOT NUMBERED FOUR (4), IN BLOCK NUMBERED ELEVEN		REN EVISIC	
	LEGEND	PROPOSED INTERMEDIATE CONTOUR	NRCS WEB SOIL SURVEY, BERNALILLO COUNTY		ARKS DNS	
JANYÉS E. LOPÉ	Ź, P.E. NM 24897	Date	SOILS MAP		S	DATE: DATE: DATE:
VERIFY SUBSTA ON THIS RECOF USING IT FOR A	INTIAL COMPLIANCE OF THE GRADING AN RD DOCUMENT ARE ADVISED TO OBTAIN INY OTHER PURPOSE.	T NECESSARILY COMPLETE AND INTENDED ONLY TO ND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE <u>12/16/2020</u>			B	
BEEN GRADED INTENT OF THE DESIGN DOCUM TO THE ORIGIN <u>SURVEYING INC</u>	AND WILL DRAIN IN SUBSTANTIAL COMP APPROVED PLAN DATED <u>7/9/18</u> . THE RE MENT HAS BEEN OBTAINED BY ME OR UN AL TOPOGRAPHIC SURVEY PREPARED BY	<u>& COMPANY</u> , HEREBY CERTIFY THAT THIS PROJECT HAS LIANCE WITH AND IN ACCORDANCE WITH THE DESIGN CORD INFORMATION EDITED ONTO THE ORIGINAL DER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA ANTHONY I. HARRIS, NMPS <u>11463</u> , OF THE FIRM <u>HARRIS</u> ST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION <u>ATE OF OCCUPANCY</u> .	SITE B	ENGINEER'S	24897 12/10/2012 PPOFESSION	C C C C C C C C C C C C C C C C C C C
	5324 DRAINAGE (4.5 0.5 105 0.002 0.001 0.001 CERTIFICATION		SEAL	ESE.	000
	Elevation (ft)	POND 202 on Depth Area ΔVolume (ft) (sq ft) (ac) (ac-ft) (ac-ft)	FEMA FLOODPLAIN FIRM #35001C0113G	SU NO.		
	Elevati (ft) 532 532	(ft) (sq ft) (ac) (ac-ft) (ac-ft) 3.5 0 68 0.002 0 0.000		SURVEY IN FIELD IO. B		
01 0.109 0 0. 02 0.077 0 0.	Ac % Ac % Ac Discharg .00 0 0.00 66 0.07 34 0.04 0.4 .00 0 0.00 37 0.03 63 0.05 0.3 .00 0 0.00 86 0.22 14 0.04 0.8	e, Q (Weighted) (6 _{hr} , acre-ft) (24 _{hr} , acre-ft) (10 _{day} , acre-ft) 1.32 0.0120 0.013 0.017 1.61 0.0103 0.012 0.016 1.13 0.0236 0.025 0.028	AREA CF MICINIZATE	<i>FORMAT</i> NOTES 8Y		
	0 0 0 100 0.24 0 0.00 0.7 0 0 0 100 0.20 0 0.00 0.6 B C D Peak	0.99 0.0196 0.0196 0.0196 0.99 0.0161 0.0161 0.0161 Excess Precip. Volume Volume Volume	City of Alburgheripe 350002 Petroglyph Nation 35PE	TION - DATE		
	B C D Peak Ac % Ac % Ac % Ac Discharg		EA OF MINIMAL PLOOD HAZARD	BE		
Data: COA Zone: 1			ZONE ATLAS MAP NO. E-10	BENCH I		
to north end of the proper all extended and will not a will have the combined c lations alculations shown below	ty where it will be retained on the property. T Ilow any runoff to discharge from the property apacity to retain the first 0.44" of rainfall.	he north west portion of the property will have y. In accordance with the MS4 permitting the sign event. The hydrology is per the "Section	VICINITY MAP	MARKS		
operty is split into two bas gh a small retention pond	sins 201 and 202 and will continue to drain fro	are foot building envelope. The south portion of om north to south. Basins 201 and 202 will drain o Casa Blanca Road. The proposed flow will not ontinue to drain from south to north and will	R-HD IIIA IIIA IIIA IIIA IIIA IIIA IIIA II		INSPE ACCE FIELD DRAW DRAW	RECO NO.
ntal walls. The runoff is contrast th. Basin 101 discharges st the existing residential of mber 26, 2008). No offsit	urrently divided and basin 101 drains from the	e north to south and basin 102 drains from south ins to the north side of the property and ponds lain (see firm map #35001C0113G Revised CS soil survey data, the Madurez-Wink	TIZ 1 0 7 0 1 CAND R 1D R 1D	S BUIL T ractor ed by	ctor's <u>Ptance By</u> cation By ings cted By	
red in accordance with the ing Conditions ite is an undeveloped 0.43 , east, and west.The lot is	e latest revision to Volume 2 Section 22.2 of	the City of Albuquerque Process Manual. Inca drive to the south and residential lots to the egitation. The north side of the lot has a	Image: Constraint of the second se	INFORMA TION date date	DA DA DA	
age Report luction shown hereon is a resider	ntial lot located on 6301 Casa Blanca Dr. Alb	uquerque, NM. The drainage report has been	Held D OVISED	<u>IA TION</u> date date	DATE DATE DATE M/ Z T/ON	DATE