

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 18, 2017

James Lopez, P.E.
Wilson & CO
4401 Masthead St. NE
Albuquerque, New Mexico 87121

RE: **Lot 4 Block 11 Unit 5 Volcano Cliffs SAD 227**
6301 Casa Blanca NW
Grading and Drainage Plan
Engineers Stamp Date 12/10/19 (E10D070)
Pad Certification Date: None provided
CO date: 12/16/2020

Dear Mr. Lopez,

PO Box 1293

Based upon the information provided in your submittal received 12/17/2020, this plan cannot be approved for CO until the following comments are addressed.

Albuquerque

NM 87103

www.cabq.gov

- Provide the size of pond in the rear yard.
- Adjust the land treatment values.
- Have the gravel swales in place.
- Have the drive pad in place.
- Provide the correct date in the CO language for the approved plan.
- Make sure all landscaping is in place which controls the drainage for this site.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

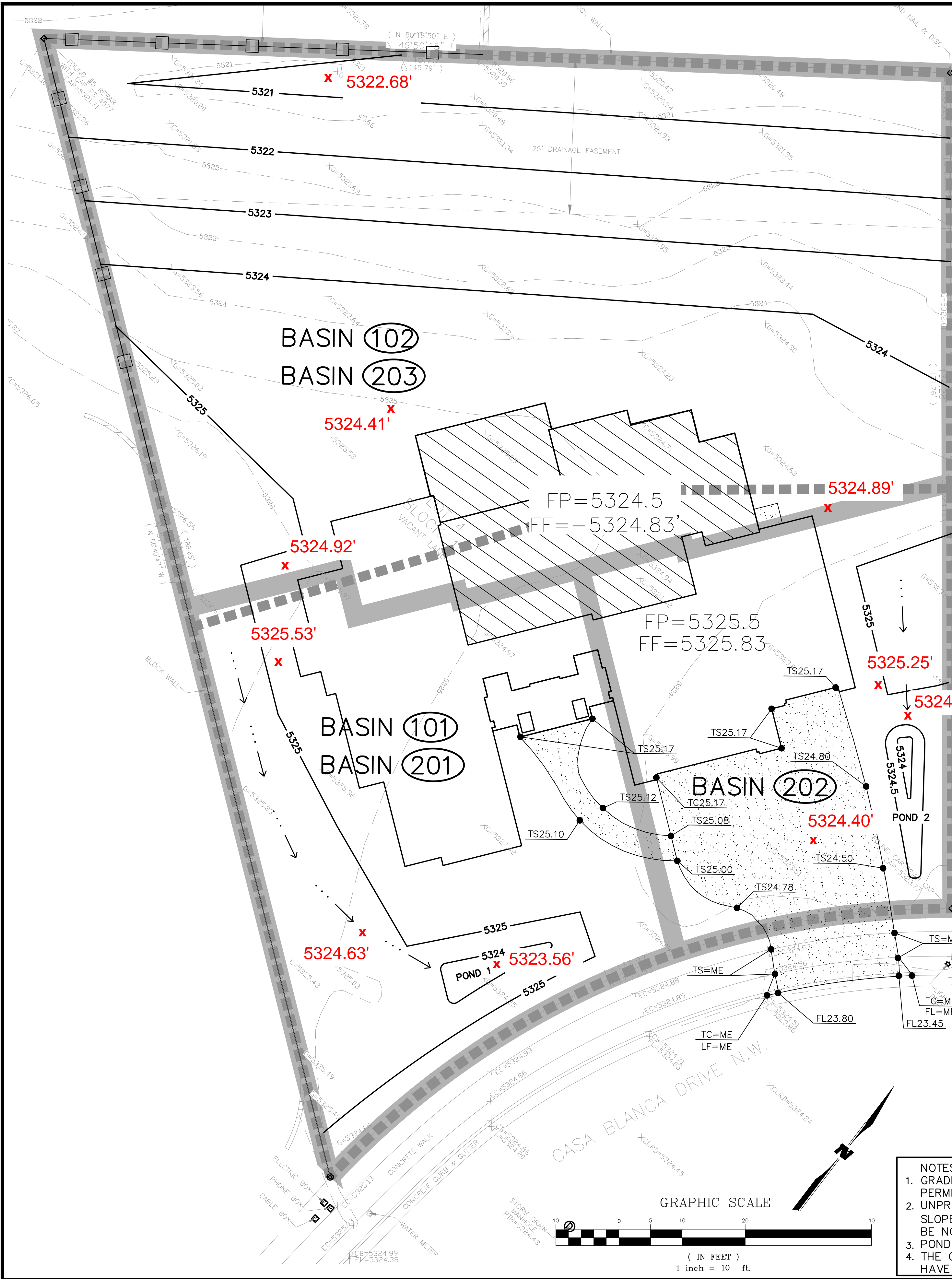
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Drainage Report

Introduction
Lot 4 shown hereon is a residential lot located on 6301 Casa Blanca Dr. Albuquerque, NM. The drainage report has been prepared in accordance with the latest revision to Volume 2 Section 22.2 of the City of Albuquerque Process Manual.

Existing Conditions
The site is an undeveloped 0.437 acre lot. The site is bounded by Casa Blanca drive to the south and residential lots to the south, east, and west. The lot is currently ungraded and has natural desert vegetation. The north side of the lot has a drainage easement 25' into the lot, this easement has been deemed as unrequired and is blocked by the surrounding residential walls. The runoff is currently divided and basin 101 drains from the north to south and basin 102 drains from south to north. Basin 101 discharges to Casa Blanca road. Basin 102 currently drains to the north side of the property and ponds against the existing residential cmu walls. The site is not located in a flood plain (see firm map #35001C0113G Revised September 26, 2008). No offsite runoff contributes to the lot. Based on NRCS soil survey data, the Madurez-Wink association gently sloping soil at the site are deep and well-drained, which will increase infiltration and reduce ponding time.

Proposed Conditions
Improvements to Lot 4 include a new residence being built within a 3689 square foot building envelope. The south portion of the property is split into two basins 201 and 202 and will continue to drain from north to south. Basins 201 and 202 will drain through a small retention pond to remove any sediment before discharging to Casa Blanca Road. The proposed flow will not exceed the existing flows being discharged to the roadway. Basin 203 will continue to drain from south to north and will drain to north end of the property where it will be retained on the property. The north west portion of the property will have the wall extended and will not allow any runoff to discharge from the property. In accordance with the MS4 permitting the ponds will have the combined capacity to retain the first 0.44' of rainfall.

Calculations
The Calculations shown below represent the flows for a 100-year 6-hour design event. The hydrology is per the "Section 22.2 of the Development Process Manual for the City of Albuquerque, New Mexico, latest revision.

Basin Data: COA Zone: 1
Precip. in: 2.2

Basin	Total Area (Ac)	A		B		C		D		Peak Discharge, Q	Excess Precip. (Weighted)	Volume (cu. acre-ft)	Volume (24hr., acre-ft)	Volume (10day, acre-ft)
		%	Ac	%	Ac	%	Ac	%	Ac					
101	0.238	0	0	0	0	100	0.24	0	0.00	0.7	0.99	0.0196	0.0196	0.0196
102	0.195	0	0	0	0	100	0.20	0	0.00	0.6	0.99	0.0161	0.0161	0.0161

Basin	Total Area (Ac)	A		B		C		D		Peak Discharge, Q	Excess Precip. (Weighted)	Volume (cu. acre-ft)	Volume (24hr., acre-ft)	Volume (10day, acre-ft)
		%	Ac	%	Ac	%	Ac	%	Ac					
201	0.109	0	0.00	0	0.00	86	0.07	34	0.04	0.4	1.32	0.0120	0.013	0.017
202	0.077	0	0.00	0	0.00	37	0.03	63	0.05	0.3	1.61	0.0103	0.012	0.016
203	0.251	0	0.00	0	0.00	86	0.22	14	0.04	0.8	1.13	0.0236	0.025	0.028

Proposed Conditions

POND 201					
Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
5323.5	0	88	0.002	0	0.000
5324.5	1	328	0.008	0.005	0.005

POND 202					
Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
5324	0	15	0.000	0	0.000
5324.5	0.5	105	0.002	0.001	0.001

DRAINAGE CERTIFICATION

I, JAMES E. LOPEZ, NMPE 24897, OF THE FIRM WILSON & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/9/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY ANTHONY I. HARRIS, NMPS 11463, OF THE FIRM HARRIS SURVEYING, INC., AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JAMES E. LOPEZ, P.E. NM 24897

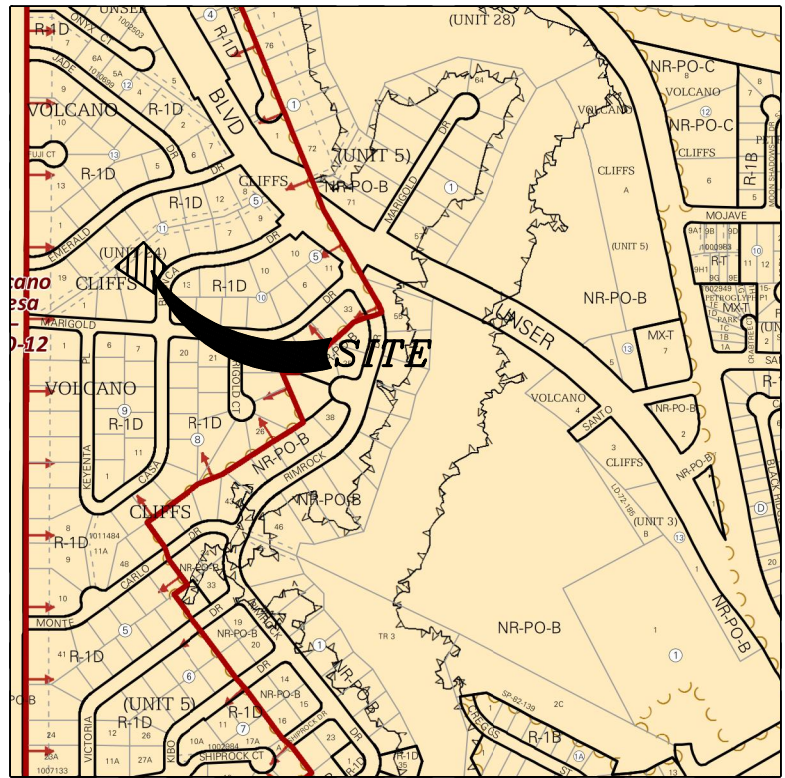
12/16/2020

Date:

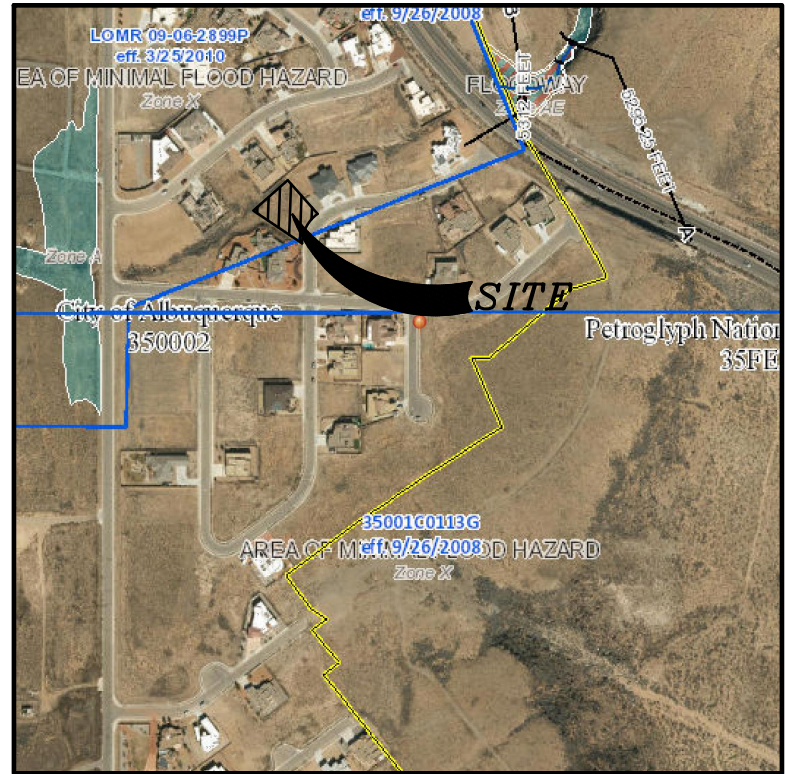
LEGEND

- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING PROPERTY LINE
- FINISHED FLOOR
- FINISHED PAD
- TOP OF SIDEWALK
- EXISTING BASIN
- PROPOSED BASIN
- DIRECTION OF FLOW
- PROPOSED CMU BLOCK WALL

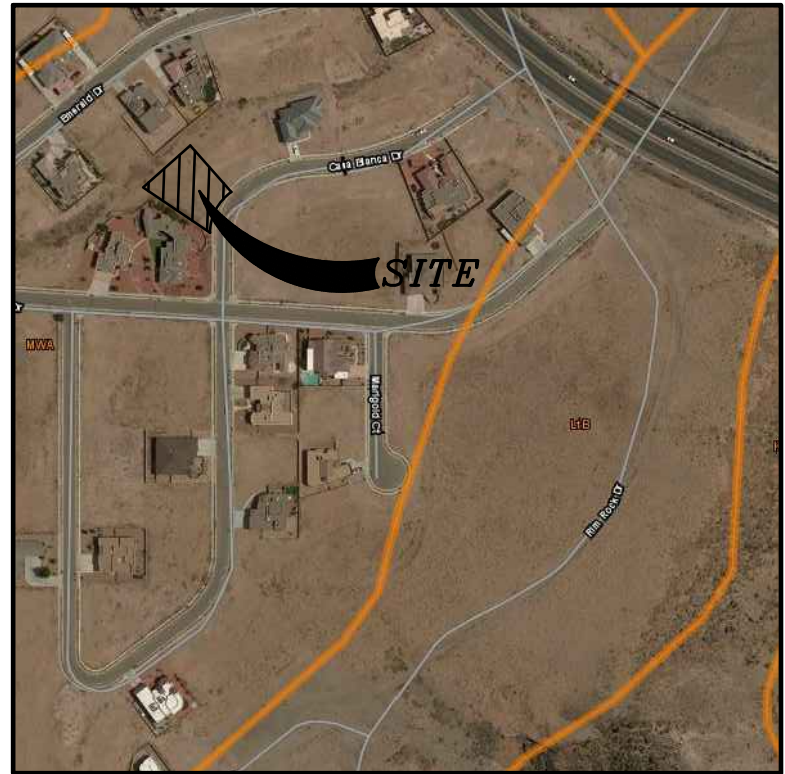
- NOTES:
1. GRADING ACTIVITIES ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE OWNER IS NOT PERMITTED.
 2. UNPROTECTED SLOPES SHALL BE NO STEEPER THAN 4H:1V. IF THERE IS SUFFICIENT SLOPE PROTECTION (I.E. PLANTINGS, ROCK COVER, SHOTCRETE/CONCRETE) SLOPES MAY BE NO STEEPER THAN 3H:1V.
 3. POND SLOPES SHALL BE TREATED FOR SLOPE PROTECTION, USE XERISCAPE TREATMENT.
 4. THE CMU BLOCK WALLS ON THE NORTHWEST PORTIONS OF THE PROPERTY WILL NEED TO HAVE THE JOINTS SEALED ON THE LOWER 3 LAYERS.



VICINITY MAP
ZONE ATLAS MAP NO. E-10



FEMA FLOODPLAIN
FIRM #35001C0113G



SOILS MAP
NRCS WEB SOIL SURVEY, BERNALILLO COUNTY

LEGAL DESCRIPTION

LOT NUMBERED FOUR (4), IN BLOCK NUMBERED ELEVEN (11), OF VOLCANO CLIFFS UNIT 5, A SUBDIVISION OF A TRACT OF LAND SITUATE IN SECTION 27, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 1, 1967, IN VOLUME D3, FOLIO 175.

BENCH MARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "CALB. LINE STA. "A", HAVING AN ELEVATION OF 5329.531, NAVD 1988



CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DEVELOPMENT DIVISION



TITLE: 6301 CASA BLANCA NW
GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
—	E10	1	1