

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 6, 2020

Jackie McDowell, PE  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave NE  
Albuquerque, NM 87121

RE: **Lot 4 Block 5, S.A.D. 227**  
**Unser Cliffs Subdivision**  
**6512 Onyx Ct. NW**  
**Grading and Drainage Plan**  
**Engineers Stamp Date 1-3-20 (E10D071)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 1/3/20, this plan is approved for Grading Permit.

**Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.**

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 1/3/20. Also, let the owner/contractor not to use dirt as a ramp to climb the curbing. Only crusher fines or lumber may be used for this process

**Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.**

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/EA  
C: File E10D071



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



STANDARD GRADING NOTE: THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDDED.

STANDARD WALL AND PAD CERTIFICATION NOTES:

ALL PERMITER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.

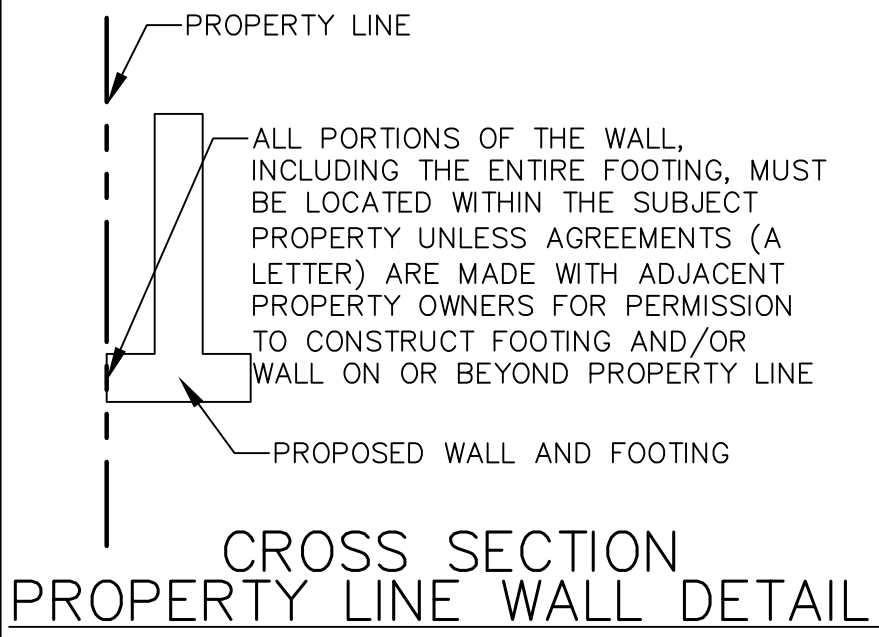
A PAD CERTIFICATION IS REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

This is the plan to be used for any garden walls and any openings in the walls shall be placed 3" above final grade in the rear yard to allow for cross lot drainage from west to east (upstream to downstream).

PROPERTY LINE WALLS AND GARDEN WALLS SHALL HAVE TURNED BLOCKS OR WEEP HOLES FOR DRAINAGE. ALL OPENINGS IN THE WALLS SHALL BE 3" ABOVE GRADE.

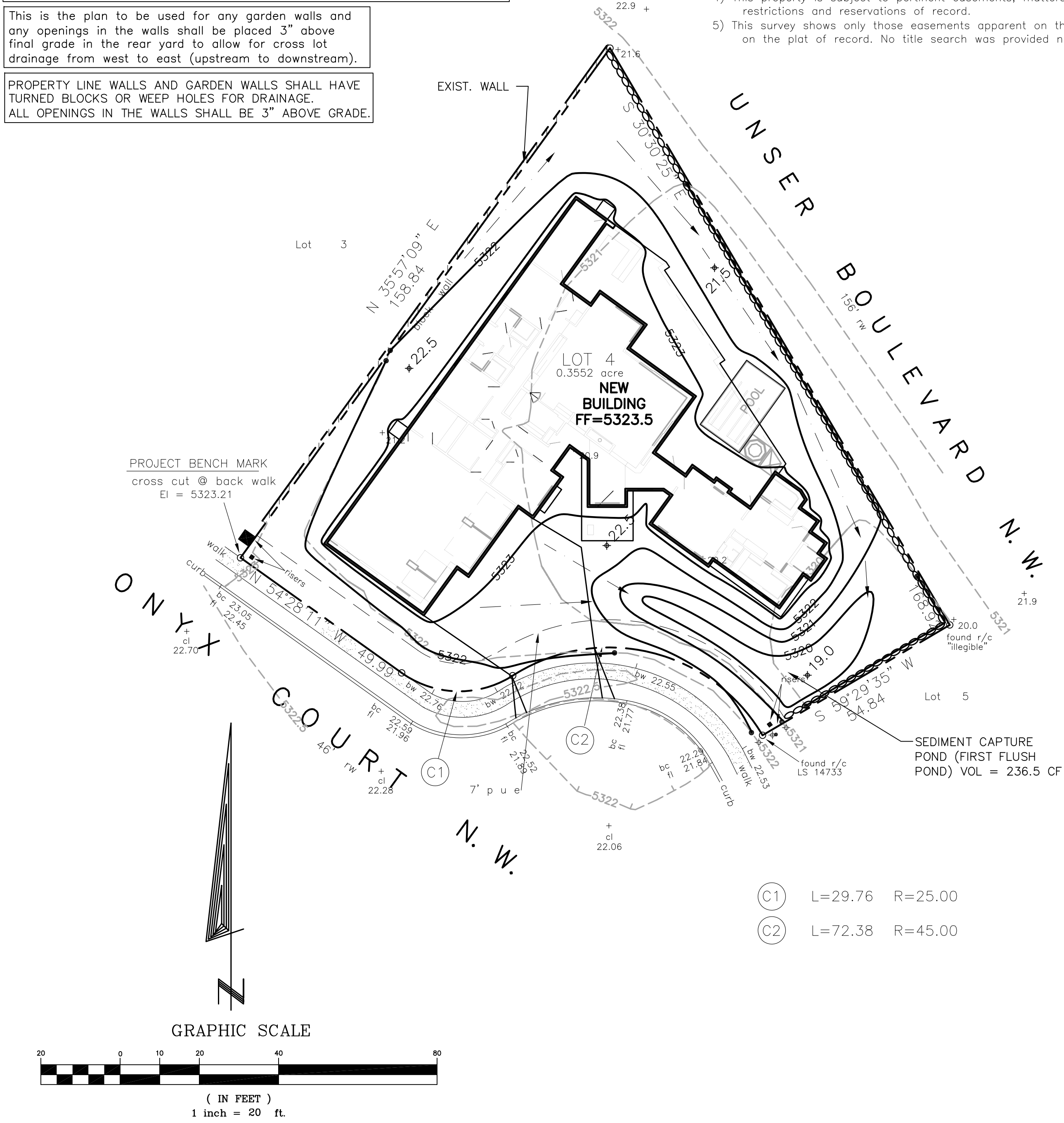
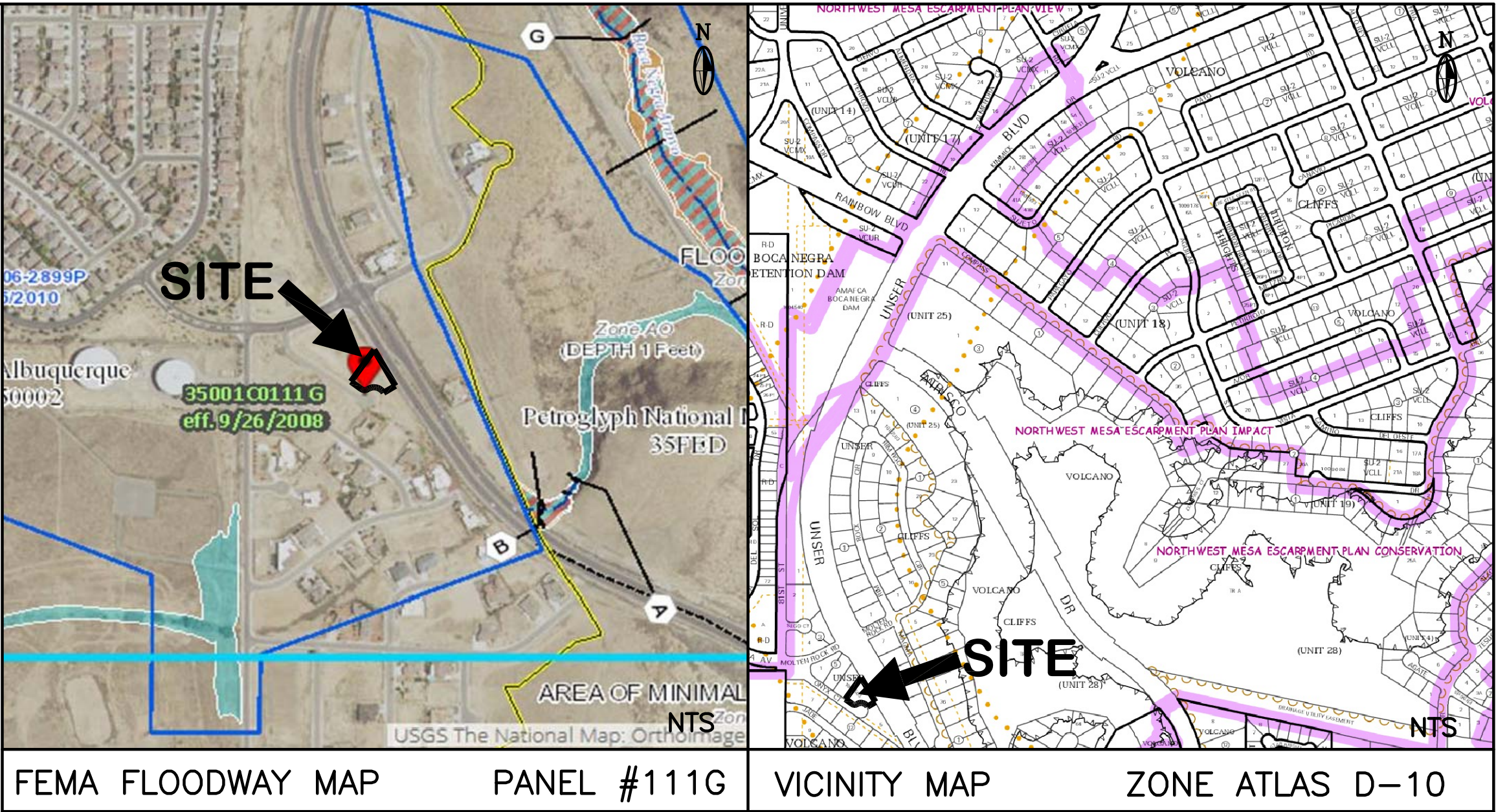
SURVEY NOTES

- Bearings and distances shown are based on the plat of record. All distances shown are ground. Property lines drawn hereon based on location of found survey monuments as indicated hereon.
- Elevations shown hereon are NAVD 88 values GPS derived.
- Any underground structure not shown is not a part of this survey.
- This property is subject to pertinent easements, matters of zoning, covenants, restrictions and reservations of record.
- This survey shows only those easements apparent on the ground and those shown on the plat of record. No title search was provided nor performed by the surveyor.



LEGAL DESCRIPTION

Lot numbered Four (4) in Block numbered Five (5) of UNSER CLIFFS SUBDIVISION, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 12, 2004, in Book 2004C, Page 238, as Document No. 2004114456.



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.36 acre site is undeveloped. The site is bounded on the northwest and southeast by private property, on the southwest by Onyx Ct., and on the northeast Unser Blvd. NW. The site is level. As shown on FEMA Panel #111G, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

Per the SAD 227 Drainage Report by Wilson & Company, drainage from the lots have been master planned to be intercepted by drainage features downstream of the properties. As shown by the plan, the building is located in the center of the lot. A first flush pond will be provided. Negligible off-site flows enter the site due to existing grades and streets. On site flows will drain around the structure to existing grades. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

6512 Onyx Ct.NW

TOPOGRAPHY:

Topographic information provided by Christopher Dehler dated December 9, 2019.

LEGEND

|                     | EXISTING | PROPOSED |
|---------------------|----------|----------|
| CONTOUR             | 6045     | 6045     |
| PROPERTY LINE       |          |          |
| ROAD                |          |          |
| SETBACK             |          |          |
| RETAINING WALL/WALL |          |          |
| SPOT ELEVATION      | 21.2     |          |

GENERAL DRAINAGE PLAN NOTES:

- It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
- This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
- All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
- All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
- Contacto shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
- Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

12-23-19  
REV. 1-3-20

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on December 20, 2019 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

6512 ONYX CT. NW, ALBUQUERQUE, NM 87120

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT 4, BLOCK 5  
UNSER CLIFFS SUBDIVISION

MARTINEZ — LOT 4 GRADING & DRAINAGE PLAN

McDowell Engineering, Inc.

7820 BEVERLY HILLS AVE. NE ALBUQUERQUE, NM 87122

TELE: 505-828-2430 FAX: 505-821-4857

|               |                     |             |          |
|---------------|---------------------|-------------|----------|
| Designed JSM  | Drawn STAFF         | Checked JSM | Sheet of |
| File QUA0119L | Date NOVEMBER, 2019 | 1           | 1        |





Mayor Timothy M. Keller

January 1, 2020

Jackie McDowell, PE  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave NE  
Albuquerque, NM 87121

## RESPONSE TO COMMENTS

RE: **Lot 4 Block 5, S.A.D. 227**  
**Unser Cliffs Subdivision**  
**6512 Onyx Ct. NW**  
**Grading and Drainage Plan**  
**Engineers Stamp Date 12-23-19 (E10D071)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 12/24/19, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Direct all flows to exit onto Onyx Ct. through a sediment capture pond. **OK- revised**
- Cross lot drainage is not required; remove the turn blocks on the eastern garden wall. **OK- revised**
- Provide a percentage for land treatment C. **OK - revised**
- Notify the owner/contractor not to use dirt as a ramp to climb the curbing, may use lumber or crusher fines for this function. **The owner is copied with this response.**

**Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.**

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning  
Division Manager

RR/JDH  
C: File