

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 2, 2026

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 8004 Fuji Ct NW
Grading and Drainage Plan
Engineer's Stamp Date: 1/30/26
Hydrology File: E10D088
Case # HYDR-2025-00003**

Dear Mr. Soule:

Based upon the information provided in your submittal 1/30/2026, the Grading and Drainage Plan is approved for Grading Permit.

PO Box 1293

Advise the owner contractor not to use dirt as a ramp to climb the curb; use lumber or crusher fines for this purpose.

Albuquerque

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed the grading and drainage plan will change and will need to be resubmitted.

NM 87103

PRIOR TO BUILDING PERMIT (FOR INFORMATION):

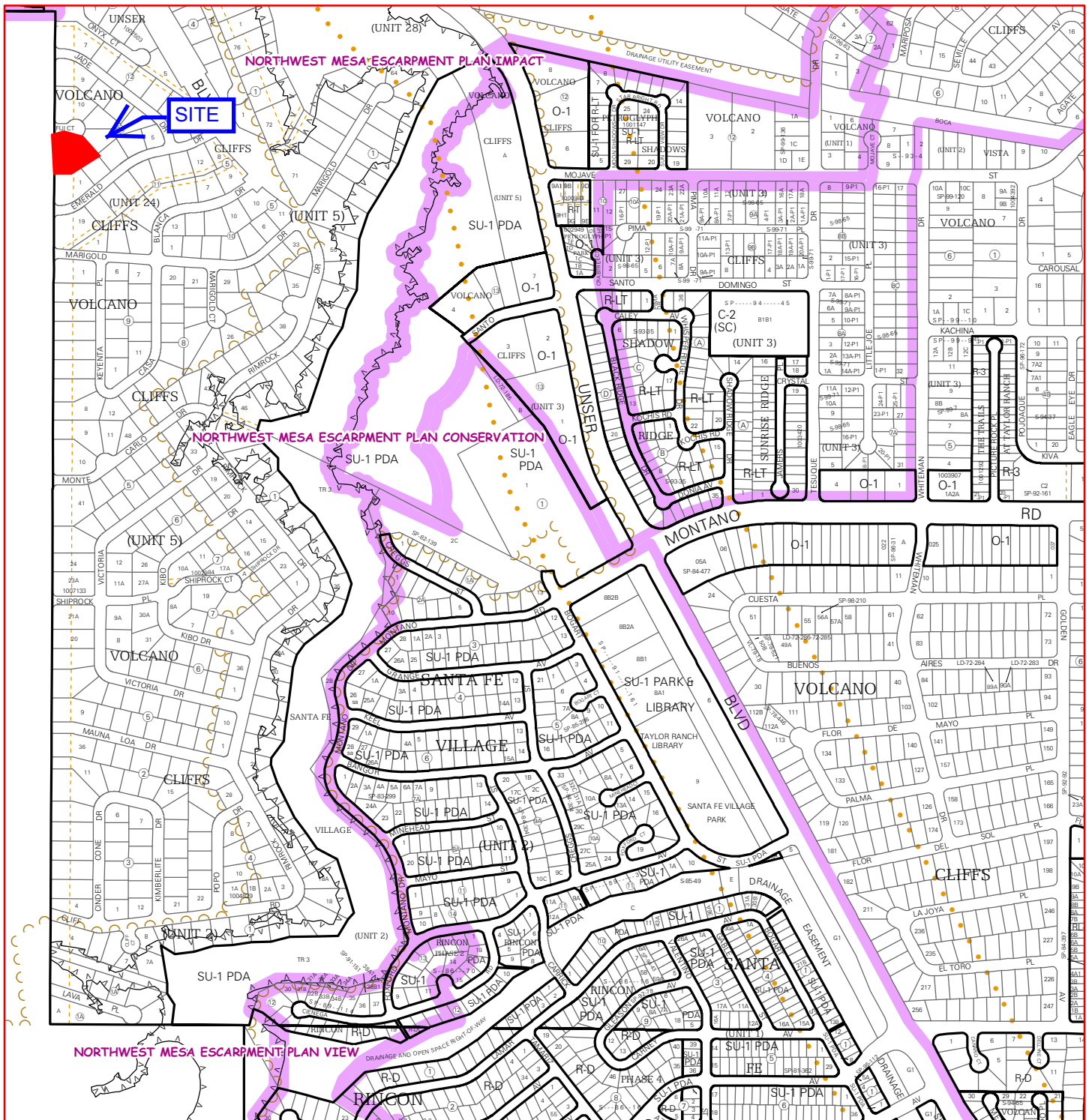
www.cabq.gov

1. An Engineer's Certification of the compacted pad and grading (Pad Certification), per the DPM Chapter 22.7: Engineer's Certification Checklist for Non-Subdivision, is required prior to issuing Building Permit.

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

Sincerely,

Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E		100-Year, 6-hr.		24 hour	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	Flow cfs	Volume (ac-ft)	Flow cfs	Volume (ac-ft)		
ALLOWED	32676.00	0.750	0%	0	20%	0.150	46%	0.3451	34%	0.265	22%	0.165	1.345	0.084	1.110	0.084	2.37	0.121	2.05	0.083				
PROPOSED	32676.00	0.750	20%	0.15	20%	0.150	38%	0.2851	22%	0.165	22%	0.165	1.110	0.084	1.110	0.084	2.05	0.083	2.05	0.083				
COMPARISON																					-0.028			

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm- zone 1

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY FLOOD CONTROL	252	4083
	4058	4083

Narrative

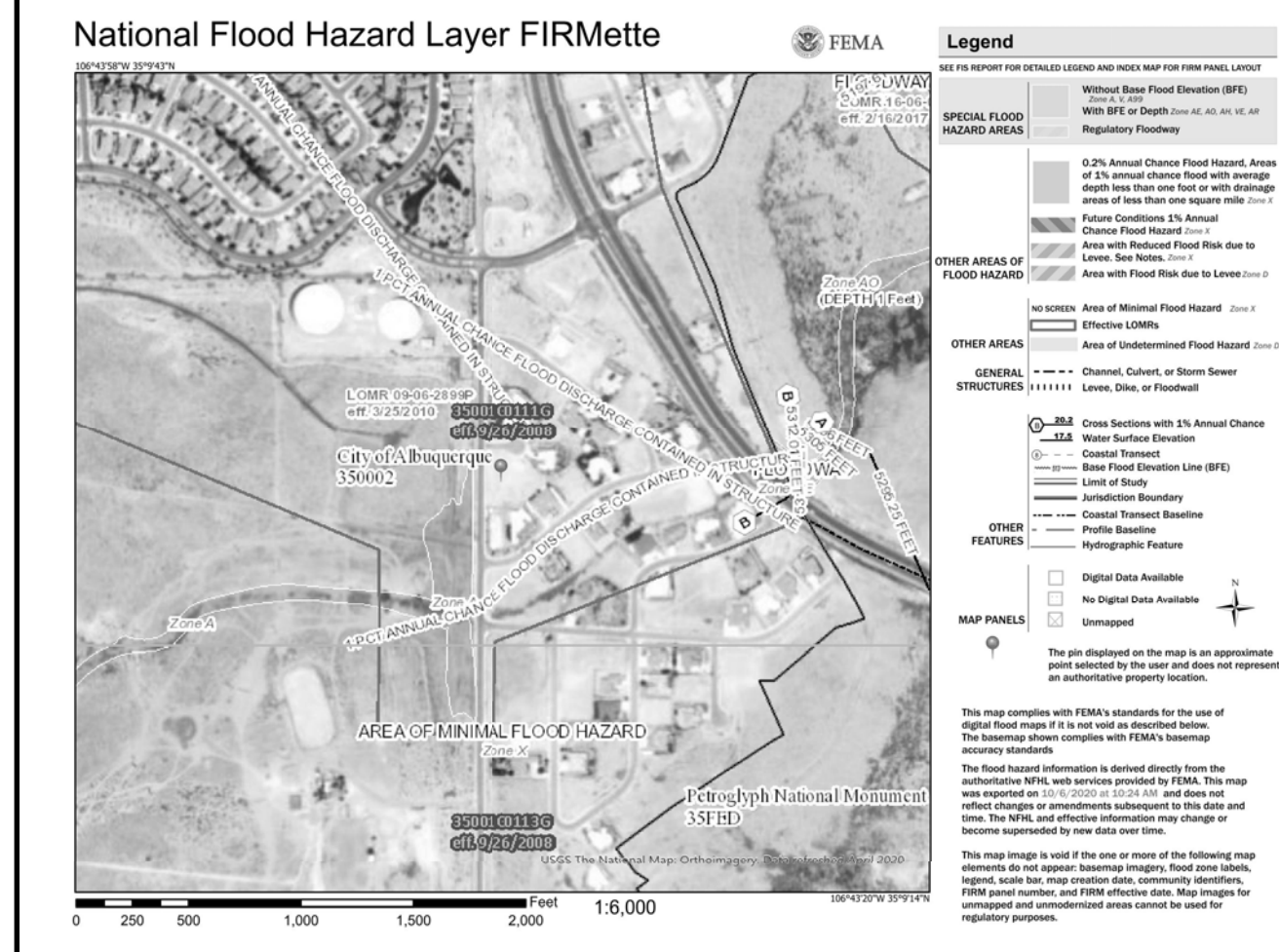
This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns. Due to city height restrictions we must maintain the lowest adjacent grade, with the rear ponding around the perimeter overflowing to historic location. The site does not exceed the SAD 227 developed conditions assumptions. No upland flow enters the site. Due to height restrictions, the pad elevation is placed as high as practical. The pad elevation required does not allow the site to drain to roadway therefore the 100-year 10day volume is provided and the lot will overflow at natural low spot in emergency. This plan is in conformance to the master drainage plan.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-Z



FIRM MAP: 35001C0111G effective 9/26/2008

LEGAL DESCRIPTION:

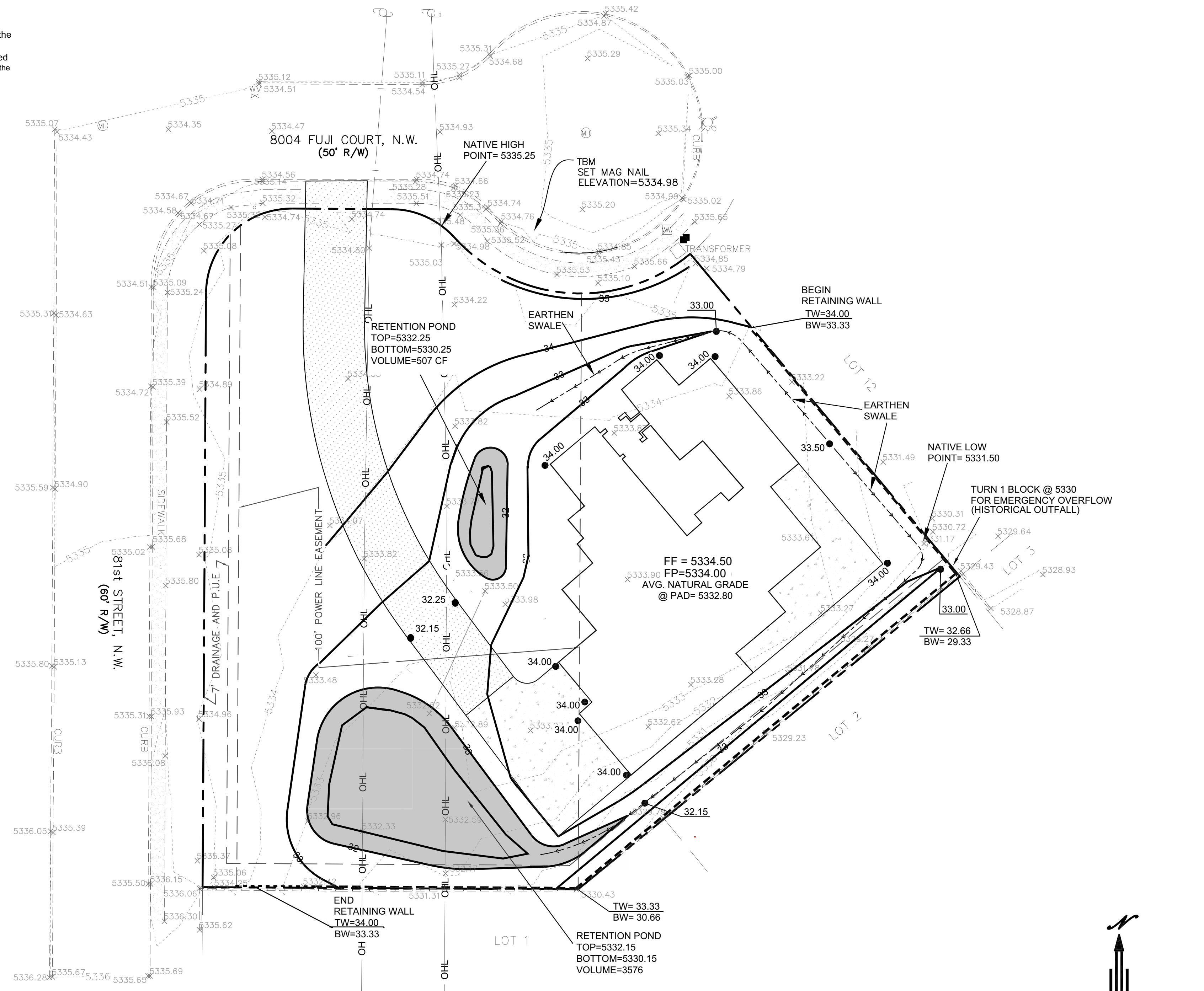
LOT 13 BLOCK 13 UNIT 5 VOLCANO CLIFFS SUBDIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

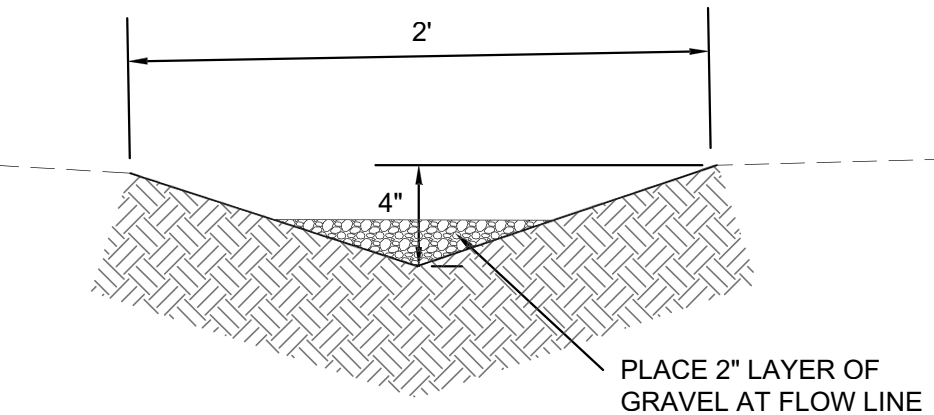
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

---XXXX---	EXISTING CONTOUR
- - - - -	EXISTING INDEX CONTOUR
—XXXX—	PROPOSED CONTOUR
—XXXX—	PROPOSED INDEX CONTOUR
+XXXX	EXISTING SPOT ELEVATION
●XXXX	PROPOSED SPOT ELEVATION
—XXXX—	BOUNDARY
- - - - -	PROPOSED EARTHEN SWALE
—XXXX—	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
—XXXX—	PROPOSED CONCRETE DRIVEWAY
—XXXX—	PROPOSED GRAVEL
—XXXX—	PROPOSED PONDING

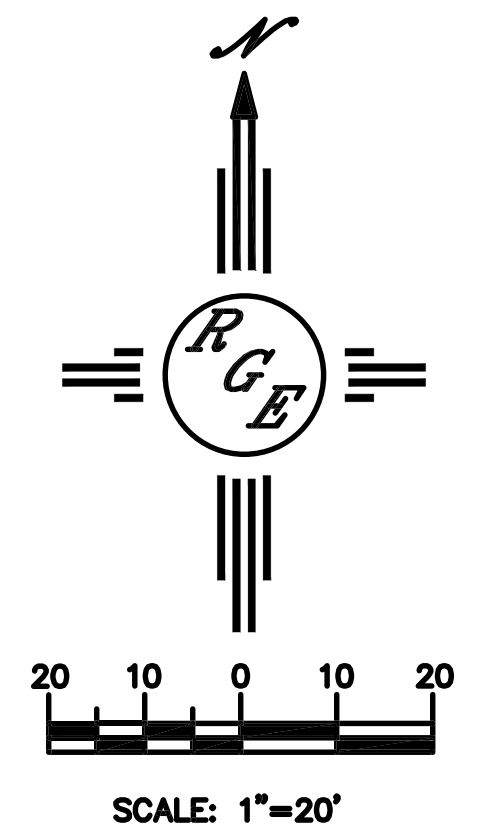


CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



EARTHEN SWALE NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	LOT 13 BLK 13 U 5 VC 8004 FUJI CT. NW GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 10-8-20
1/30/26		SHEET # C1
DAVID SOULE P.E. #14522		JOB #