



Mayor Timothy M. Keller

January 12, 2022

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**RE: Lot 12 Block 7 Unit 5, S.A.D. 227  
8035 Kibo Pl. NW  
Grading and Drainage Plan E10D090  
Engineers Stamp Date 12/10/2020 by David Soule  
BP Stamp Date 12/10/2020 by David Soule  
CO Stamp Date 1/3/2022 by Riza Afaghpour**

PO Box 1293

Mr. Afaghpour,

Albuquerque

Based on the Certification received 1/12/2022, the site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed.

NM 87103

- A written letter of approval from David Soule to use his plan for CO.
- Required Ponds are not in place.
- The south yard area is allowing flows to enter neighbor's yard.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 8035 KIBO, NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E10D090  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 12, BLOCK 17, UNIT 5, SAD 227  
**City Address:** 8035 KIBO, NW

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR  
**Address:** 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 87122  
**Phone#:** (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 1-3-2022 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# Weighted E Method

100-Year, 6-hr.										24 hour
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
ALLOWED	11716.00	0.269	0%	20%	48%	34%	1.259	0.028	0.86	0.032
PROPOSED	11716.00	0.269	0%	0	29%	51%	1.426	0.032	0.93	0.037
COMPARISON								0.004		0.005

## Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44  
Eb= 0.67  
Ec= 0.99  
Ed= 1.97

Qa= 1.29  
Qb= 2.03  
Qc= 2.87  
Qd= 4.37

ONSITE Conditions FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)

WATER QUALITY FLOOD CONTROL

0 239

PROVIDED (CF)

425

## Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns. Due to city height restrictions we must maintain the lowest adjacent grade, with the rear ponding around the perimeter overflowing to open space. The site does exceed the SAD 228 developed conditions assumptions therefore ponding is required. No upland flow enters the site. Due to height restrictions, the pad elevation is placed as low as practicable. This plan is in conformance to the master drainage plan.

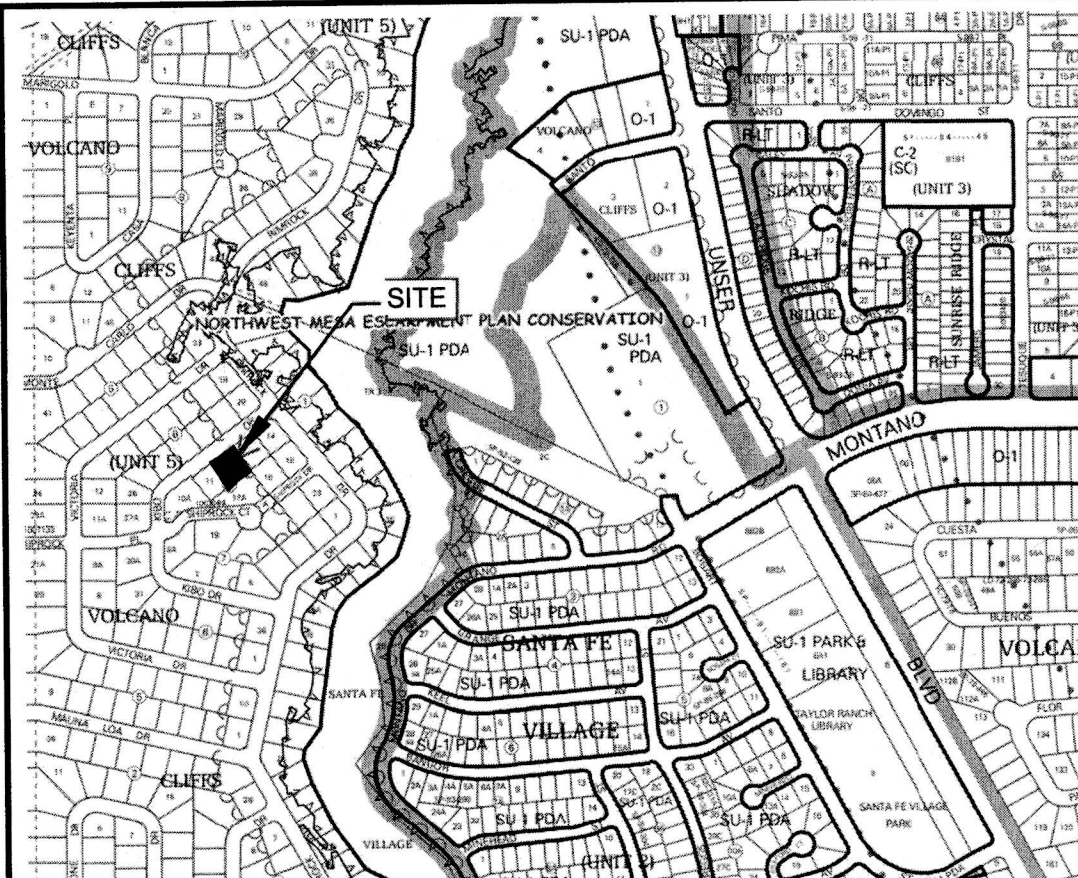
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 12/10/20. PAD WAS GRADED PRIOR TO TOPOGRAPHY. PAD IS EXISTING



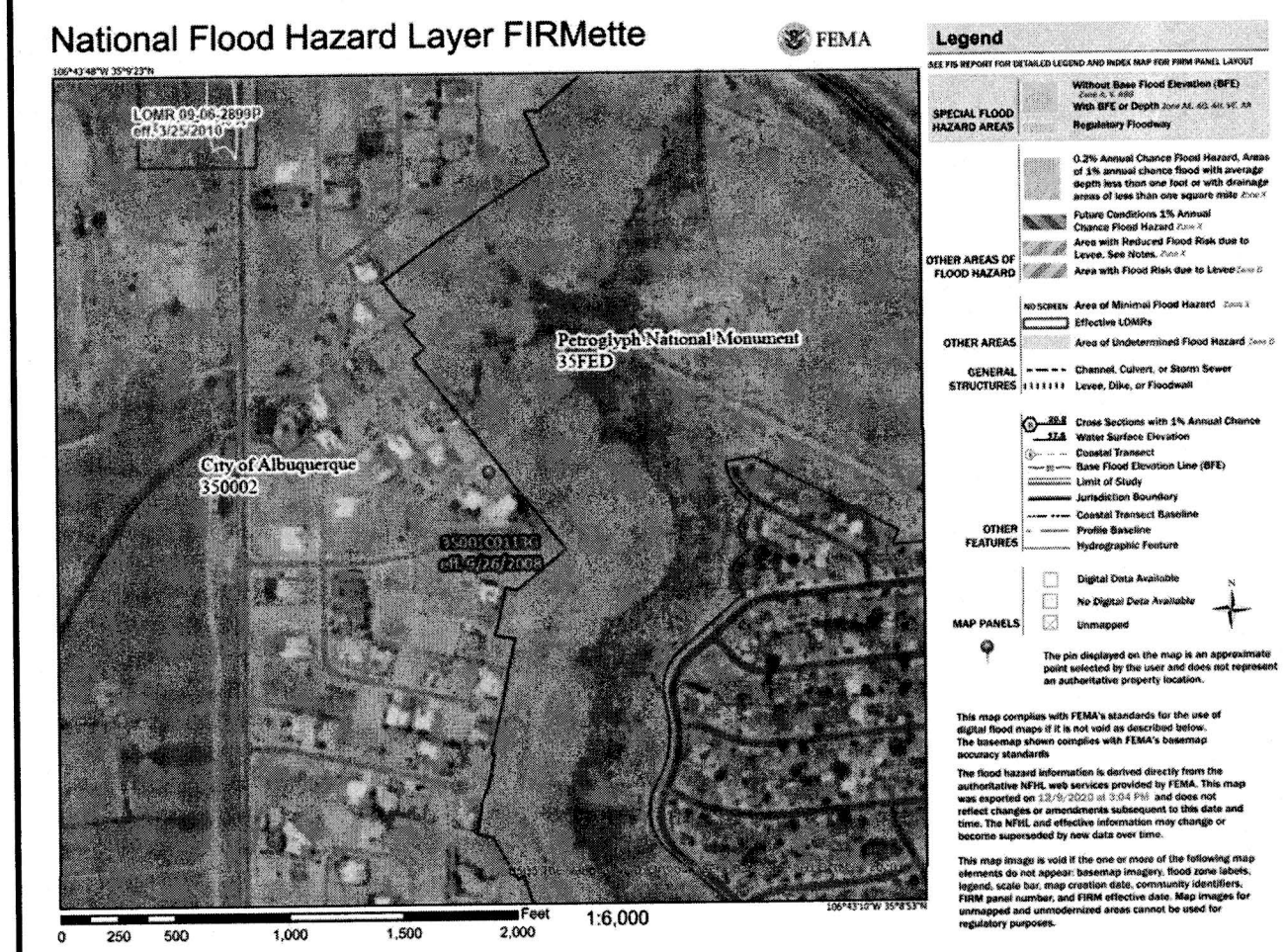
12/10/20

## EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



## VICINITY MAP: E-10-Z



## FIRM MAP:

## LEGAL DESCRIPTION:

LOT 12 BLOCK 7 UNIT 5 VOLCANO CLIFFS CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

## NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

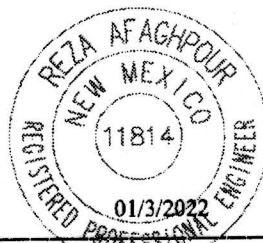
## LEGEND

---XXXX---	EXISTING CONTOUR
---XXXX---	EXISTING INDEX CONTOUR
---XXXX---	PROPOSED CONTOUR
---XXXX---	PROPOSED INDEX CONTOUR
+XXXX	EXISTING SPOT ELEVATION
●XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
←-----	PROPOSED EARTHEN SWALE
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED CONCRETE DRIVEWAY
→-----	PROPOSED FLOW DIRECTION
-----	AS-Built Grade

## DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE11814 OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-10-2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 3801 LEONARD MARTINEZ, OF SBS CONSTRUCTION AND ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL C.O.

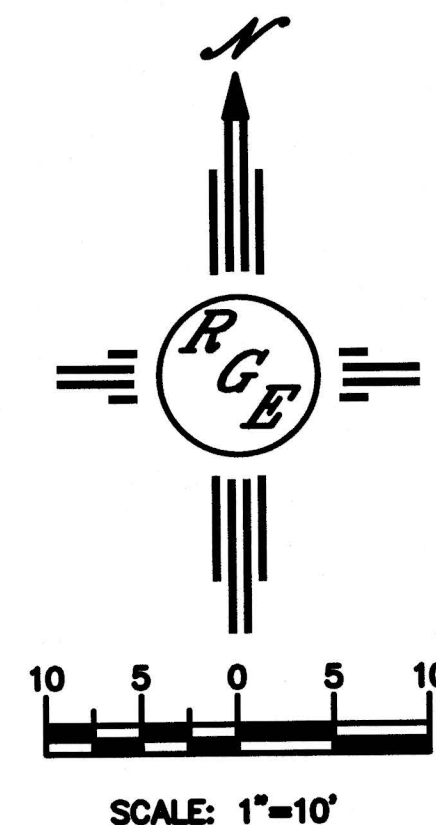
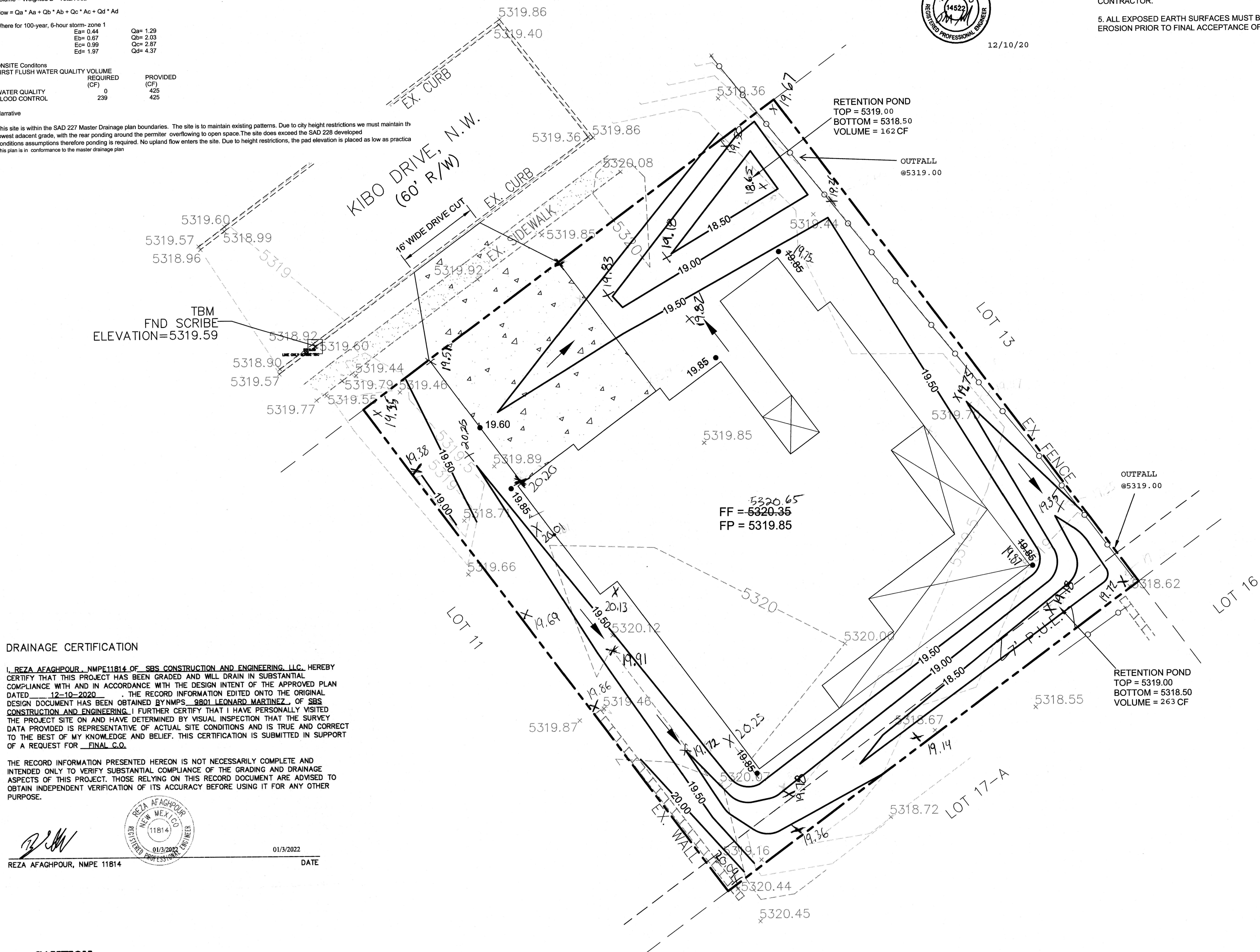
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



REZA AFAGHPOUR, NMPE 11814 DATE

## CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	LOT 12 BK 7 Un 5 VC 8035 KIBO DRIVE, N.W.	DRAWN BY DEM
DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN	DATE 12-10-20
	<i>Pio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	LOT 12 BK 7 Un 5 VC.dwg
		SHEET # C1
		JOB #