

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 12, 2021

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Lot 19 Block 2 SAD 228
Volcano Cliffs Subdivision Unit 2
5608 Kimberlite Dr. NW
Grading and Drainage Plan
Engineers Stamp Date 12/21/2020 (E10D091)
Pad Certification Date 12/21/2020
CO Certification Dated: 8/9/2021**

PO Box 1293

Mr. Soule

Albuquerque

Based on the Certification received on 8/10/2021, the site is acceptable for release of Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 5608 KIMBERLITE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 19, Block 2 VOLCANO CLIFFS UNIT 2
City Address: 5608 KIMBERLITE

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

| Basin | Area (sf) | Area (acres) | Treatment A (% acres) | Treatment B (% acres) | Treatment C (% acres) | Treatment D (% acres) | 100-Year, 6-hr. | | | 24 hr | | | | |
|------------|--------------|-----------------|--------------------------|--------------------------|--------------------------|--------------------------|-----------------------|-------------------|-------------|-------------------|-------|-------|------|-------|
| | | | | | | | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs | Volume (ac-ft) | | | | |
| ALLOWED | 12458.00 | 0.288 | 0% | 0 | 20% | 0.057 | 40% | 0.1316 | 34% | 0.097 | 1.259 | 0.030 | 0.92 | 0.034 |
| PROPOSED | 12458.00 | 0.288 | 0% | 0 | 20% | 0.057 | 31% | 0.0887 | 49% | 0.140 | 1.406 | 0.034 | 0.98 | 0.039 |
| COMPARISON | | | | | | | | | | | 0.004 | | | 0.005 |

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted E * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm - zone 1
 Ea= 0.44 Qa= 1.29
 Eb= 0.67 Qb= 2.03
 Ec= 0.99 Qc= 2.87
 Ed= 1.97 Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME

REQUIRED (CF) PROVIDED (CF)
 0 686
 224 686

Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns. Due to city height restrictions we must maintain the lowest possible grade, with the rear ponding the around the perimeter before draining to adjacent lots. The site does exceed the SAD 228 developed conditions assumptions therefore ponding is required. No upland flow enters the site. The building requires gutters to direct developed flow to street. This plan is in conformance to the master drainage plan.

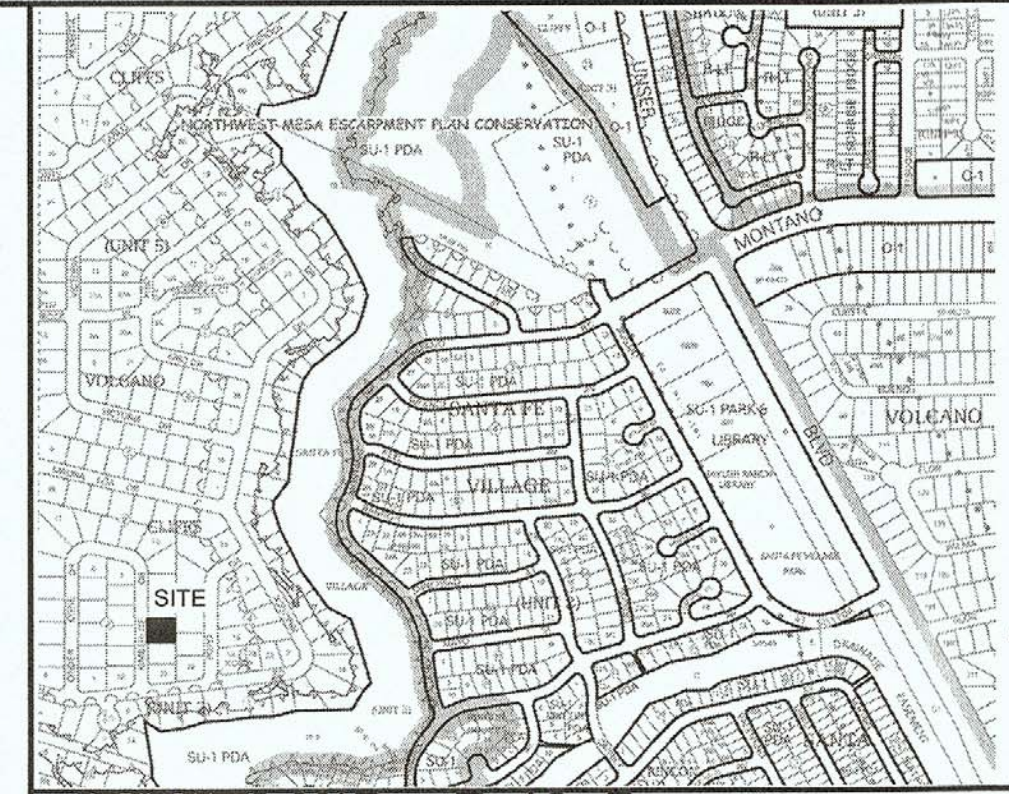
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 12/21/20. THE PAD APPEARS TO HAVE BEEN GRADED PREVIOUSLY, PRIOR TO TOPOGRAPHIC SURVEY.



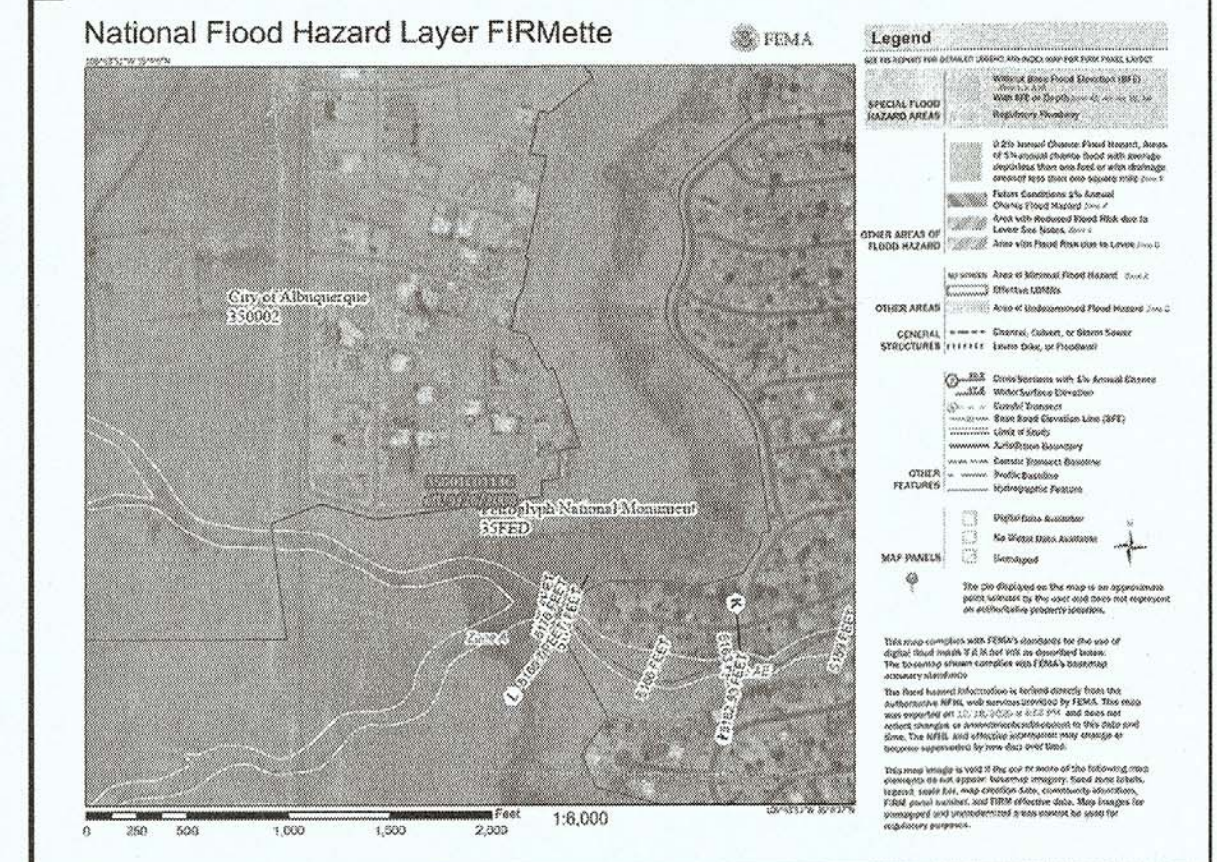
12/21/20

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 19 BLOCK 2 UNIT 2 VOLCANO CLIFFS
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

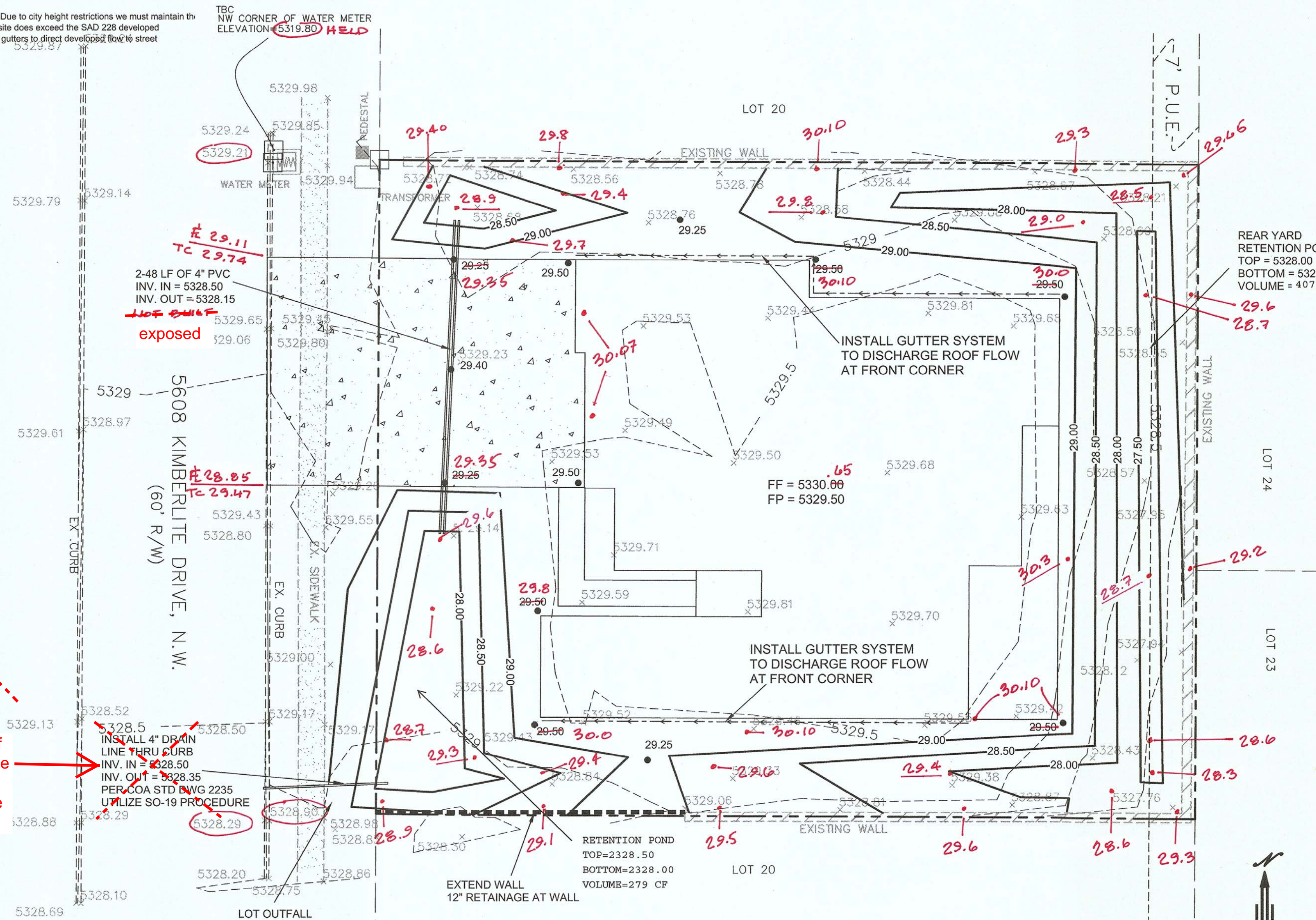
LEGEND

| | |
|---------|--------------------------|
| --- | EXISTING CONTOUR |
| - - - - | EXISTING INDEX CONTOUR |
| --- | PROPOSED CONTOUR |
| - - - - | PROPOSED INDEX CONTOUR |
| • | EXISTING SPOT ELEVATION |
| • | PROPOSED SPOT ELEVATION |
| --- | BOUNDARY |
| --- | ADJACENT BOUNDARY |
| == | EXISTING CURB AND GUTTER |
| --- | PROPOSED GUTTER SYSTEM |
| --- | PROPOSED RETAINING WALL |
| --- | PROPOSED CONCRETE |

Private Drainage Facilities within City Right-of-Way
 Notice to Contractor
 (Special Order 19 ~ "SO-19")

1. Build sidewalk/culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 235-8106 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" for (505) 260-1990 for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 235-8106 and Construction Coordination at 924-3416 to schedule an inspection.

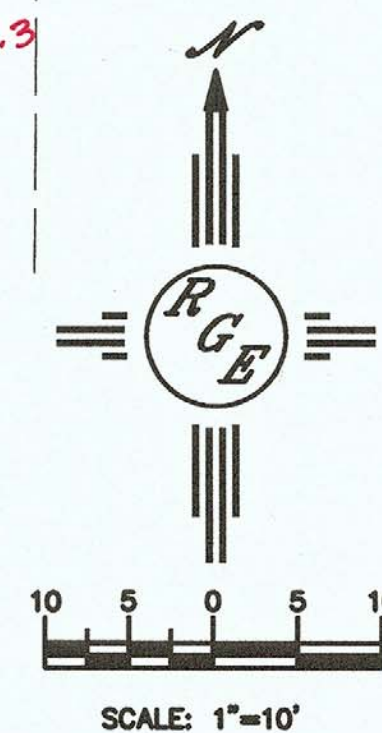
due to elevation of pad raised .65' side can drain over sidewalk, and pipe not required



I David Soule, NMP#14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 12/21/20. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



8/9/21



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

| | | |
|--|--|--------------------------|
| ENGINEER'S SEAL | LOT 19 BLK 2 UN 2 VC 5608 KIMBERLITE DRIVE, N.W. | DRAWN BY DEM |
| DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 | GRADING AND DRAINAGE PLAN | DATE 12-20-20 |
| 12/21/20 | Rio Grande Engineering 1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0599 | LOT 19 BLK 2 UN 2 VC.DWG |
| | | SHEET # C1 |
| | | JOB # |

G&D CERT
 FIELD CREW: R.G.R./N.W.M.
 DRAFT: T.C.Y.