CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

April 27, 2021

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

Re: Lot 39 Block 5 Volcano Cliffs Unit 5
8020 Monte Carlo Dr. NW
Grading & Drainage Plan Dated: 2/28/2021
Pad Certification dated: 4/22/2021 (E10D101)

Mr. Afaghpour,

Based upon the information provided in your submittal received 4/26/2021, this plan is approved for Building Permit. **Inform the owner/contractor not to use dirt as a ramp to climb the curb, wood or millings may be used for this operation.**

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 2/28/2021.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Location
Lot 39, Block 5, Volcano Cliffs Subdivision, Unit 5 is located at 8020 Monte Carlo Dr., NW containing 0.2725 acre. See attached portion of Vicinity Map E-10-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for Lot 39.

Narrative
This site is within the SAD 227Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the adjacent roadway to the east per the master drainage plan. The site dose not exceed the SAD 227 developed conditions assumptions, therefore no ponding is required. Due to height restrictions we have incorporated ponding to minimize the pad height as much as possible.
We are ponding the water harvest volume generated by this site. There is no measurable upland flow. this plan has shallow water harvesting pond in excess of drainage regulation.
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VOLUME = WEIGHTED D * TOTAL AREA

FLOW = QA(AA) + QB(AB) + QC(AC) + QD(AD)

V-10 Day = V-360 + AD (P-10 Day - P-360) / 12 in/ft

WHERE FOR 100-YEAR, 6-HOUR STORM ZONE 1

EA = 0.44 QA = 1.29
EB = 0.67 QB = 2.03
EC = 0.99 QD = 2.87
ED = 1.97 QD = 4.37

										100 YEAR, 6-HR.			24 hour
BASIN	AREA (SF)	AREA (AC)	Treatement A		Treatement B		Treatement C		Treatement D	Weighted E (ac-ft)	Volume	Flow cfs	Volume (ac-ft)
			%	(acre)	%	(acre)	%	(acre)	%	(acre)				
ALLOWED	11,871.00	0.2725	0%	0.00	24%	0.0652	40%	0.1087	36%	0.098	0.872	0.029	0.88	0.032
PROPOSED	11,871.00	0.2725	0%	0.00	21%	0.057	36%	0.0978	43%	0.117	0.907	0.030	0.91	0.035
												0.01		0.002

PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)

VOLUME REQUIRED = 0.42 INCHES x IMPERVIOUS AREA =
(0.42/12 x 5,110.00) = 178.85 CF

PONDING VOLUME CALCULATION

TOTAL POND AREA PROVIDED =
PONDING CALCULATIONS:

POND A:
AREA @ ELEV. 23.00 = 232.00 SF
AREA @ ELEV. 22.35 = 59.33 SF
POND VOLUME=(232.00+59.33)/2*0.65=94.68 CF

POND B:
AREA @ ELEV. 23.40 = 225.00 SF
AREA @ ELEV. 22.75 = 81.00 SF
POND VOLUME=(225.00+81.00)/2*0.65=99.45 CF

TOTAL PONDING VOLUME PROVIDED = 194.13 CF

DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE11814 OF SBS CONSTRUCTION AND ENGINEERING, LLC , HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-28-2021 . THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION .

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814 — 4/22/2021 DATE

REZA AFAGHPOUR NEW MEXICO 11814 REGISTERED PROFESSIONAL ENGINEER

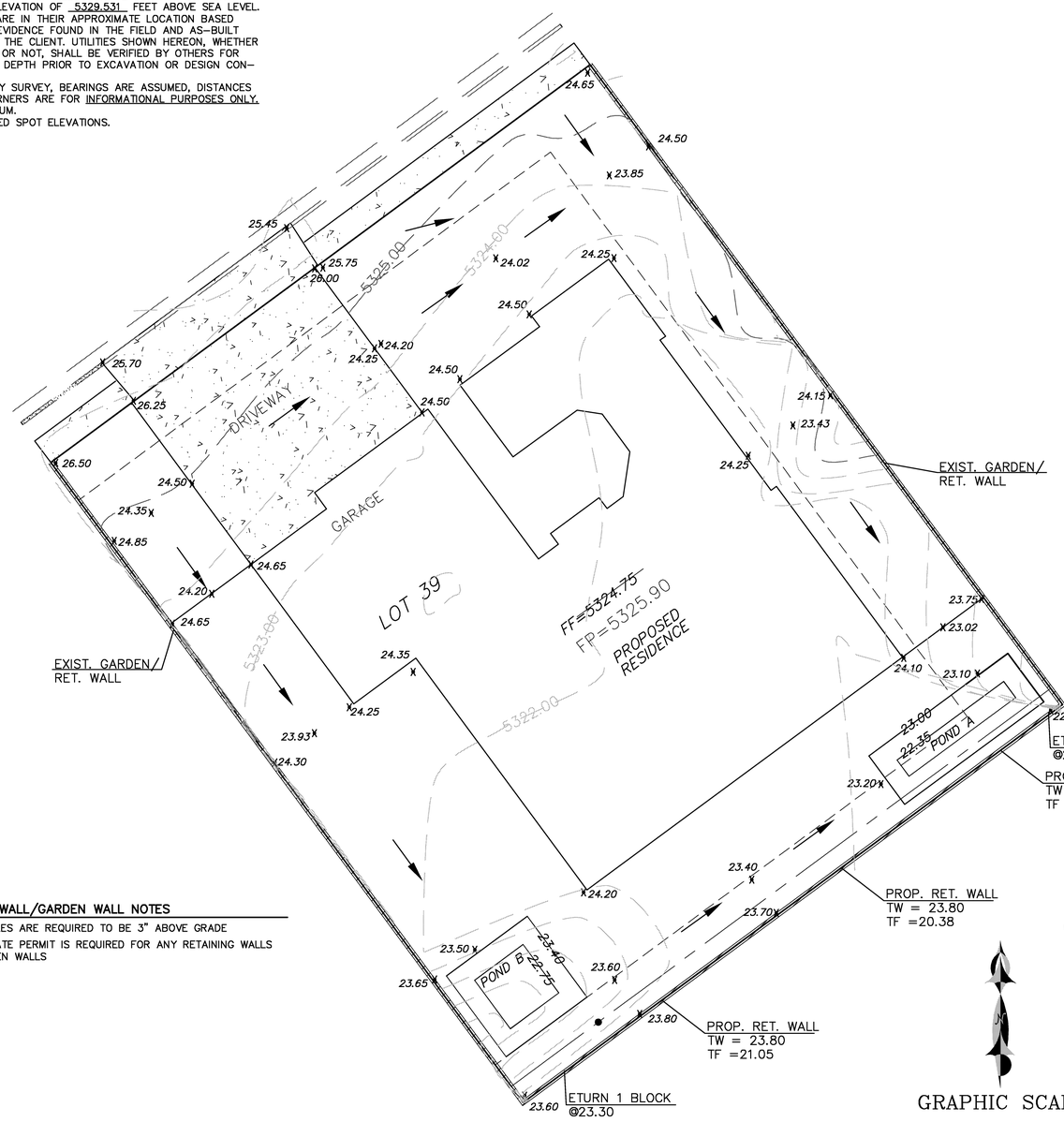
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:
1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION CAL_SAT_A, HAVING AN ELEVATION OF 5329.531 FEET ABOVE SEA LEVEL.
3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5: SLOPES ARE AT 3:1 MAXIMUM.
6: ADD 5300 TO ALL PROPOSED SPOT ELEVATIONS.

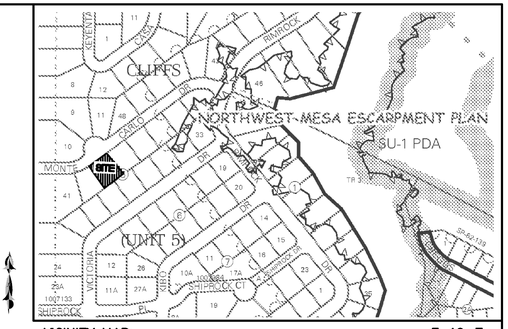
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

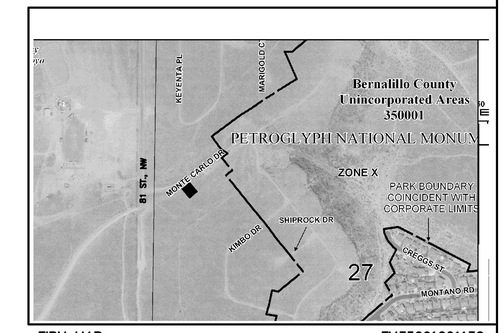


RETAINING WALL/GARDEN WALL NOTES

1) WEEP HOLES ARE REQUIRED TO BE 3" ABOVE GRADE
2) A SEPARATE PERMIT IS REQUIRED FOR ANY RETAINING WALLS OR GARDEN WALLS



VICINITY MAP: E-10-Z



FIRM MAP: FM35001C0113G

LEGAL DESCRIPTION:
Lots 39, BIOCK 5, VOLCANO CLIFFS SUBDIVISION, UNIT 5

ADDRESS: 8020 MONTE CARLO DR N.W.

LEGEND

—5030—	EXISTING CONTOUR (MAJOR)
—5029—	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
X 28.50	PROPOSED SPOT ELEVATION
X 5029.16	EXISTING GRADE
X 5075.65 FL	EXISTING FLOWLINE ELEVATION
	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TF=28.50	TOP OF FOOTING
TRW=28.00	TOP OF RETAINING WALL
HP	HIGH POINT
86.65 ~~85.47~~	AS-BUILT GRADES
X 5325.64 ~~FF=5326.60~~ FP=5325.90	AS-BUILT SPOT ELEVATIONS

GRAPHIC SCALE
10 5 0 10
SCALE: 1"=10'

REZA AFAGHPOUR NEW MEX.I.CO 11814 2/28/2021 LICENSED PROFESSIONAL ENGINEER

REZA AFAGHPOUR
P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

Lots 39, Block 5, Volcano Cliffs Subdivision, Unit 5
8020 monte Carlo Dr., NW
GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
202104-GD.DWG	SH-B	2-22-21	1

LAST REVISION: 4-28-2019