CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

June 30,2022

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, New Mexico 87199

Re: Lot 14 Block 11 SAD 227 Volcano Cliffs Subdivision Unit 24 8004 Emerald Dr. NW Grading and Drainage Plan Engineers Stamp Date 7/30/2021 (E10D103) CO Certification Dated: 6/28/2022

Mr. Soule

PO Box 1293

Based on the Certification received on 6/29/2022, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

NM 87103

Sill

Sincerely,

www.cabq.gov

Ernest Armijo, P.E. Principal Engineer, Planning Dept. Development Review Services

RR/SB C: File E10D103

Developme	of Albuquerque Planning Department ent & Building Services Division TRANSPORTATION INFORMAT	
Project Title: 7801 AGUILA	Building Permit #:	Hydrology File #:
DRB#:LOT 10 BLOCK 2	VOLCANO CLIFFS UNIT 1	<u>9</u> work Order#:
City Address:		
Applicant: DR HORTON		Contact:
Address:		
Phone#:	Fax#:	_E-mail:
Other Contact: RIO GRANDE ENGINE	ERING	Contract: DAVID SOULE
Address: PO BOX 93924 ALB NM		
		_E-mail: david@riograndeengineering.com
TYPE OF DEVELOPMENT: PLAT	<u> </u>	3 SITE ADMIN SITE
Check all that Apply:		
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION TYPE OF SUBMITTAL: XX ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT AT ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING? XXX IS THIS A RESUBMITTAL?:YesNo	BUILDING PE X CERTIFICATE PRELIMINAR SITE PLAN FO SITE PLAN FO FINAL PLAT SIA/ RELEASE PPLIC SIA/ RELEASE FOUNDATION GRADING PE SO-19 APPRO PAVING PERI ADING/ PA WORK ORDER CLOMR/LOME FLOODPLAIN OTHER (SPEC	Y PLAT APPROVAL OR SUB'D APPROVAL OR BLDG. PERMIT APPROVAL APPROVAL E OF FINANCIAL GUARANTEE VPERMIT APPROVAL RMIT APPROVAL VAL MIT APPROVAL D CERTIFICATION APPROVAL R DEVELOPMENT PERMIT CIFY)
DATE SUBMITTED:	• • • • • • •	
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED: FEE PAID:	

	Weighted E Method															
													100-Yea	r, 6-hr.		24 hour
	Basin	Area	Area	Treat	ment A	Treat	ment B	Treatr	ment C	Treatr	ment D	Weighted E	Volume	Flow		Volume
		(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs		(ac-ft)
ĺ	ALLOWED	12781.00	0.293	0%	0	20%	0.059	46%	0.135	34%	0.100	1.259	0.031		0.94	0.035
	PROPOSED	12781.00	0.293	0%	0	20%	0.059	25%	0.0734	55%	0.161	1.465	0.036		1.03	0.042
	COMPARISON												0.005			0.007

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour	storm- zone 1	
	Ea= 0.44	Qa= 1.29
	Eb= 0.67	Qb= 2.03
	Ec= 0.99	Qc= 2.87
	Ed= 1.97	Qd= 4.37
ONSITE Conditons DRAINAGE SUMMARY		
	REQUIRED	PROVIDED

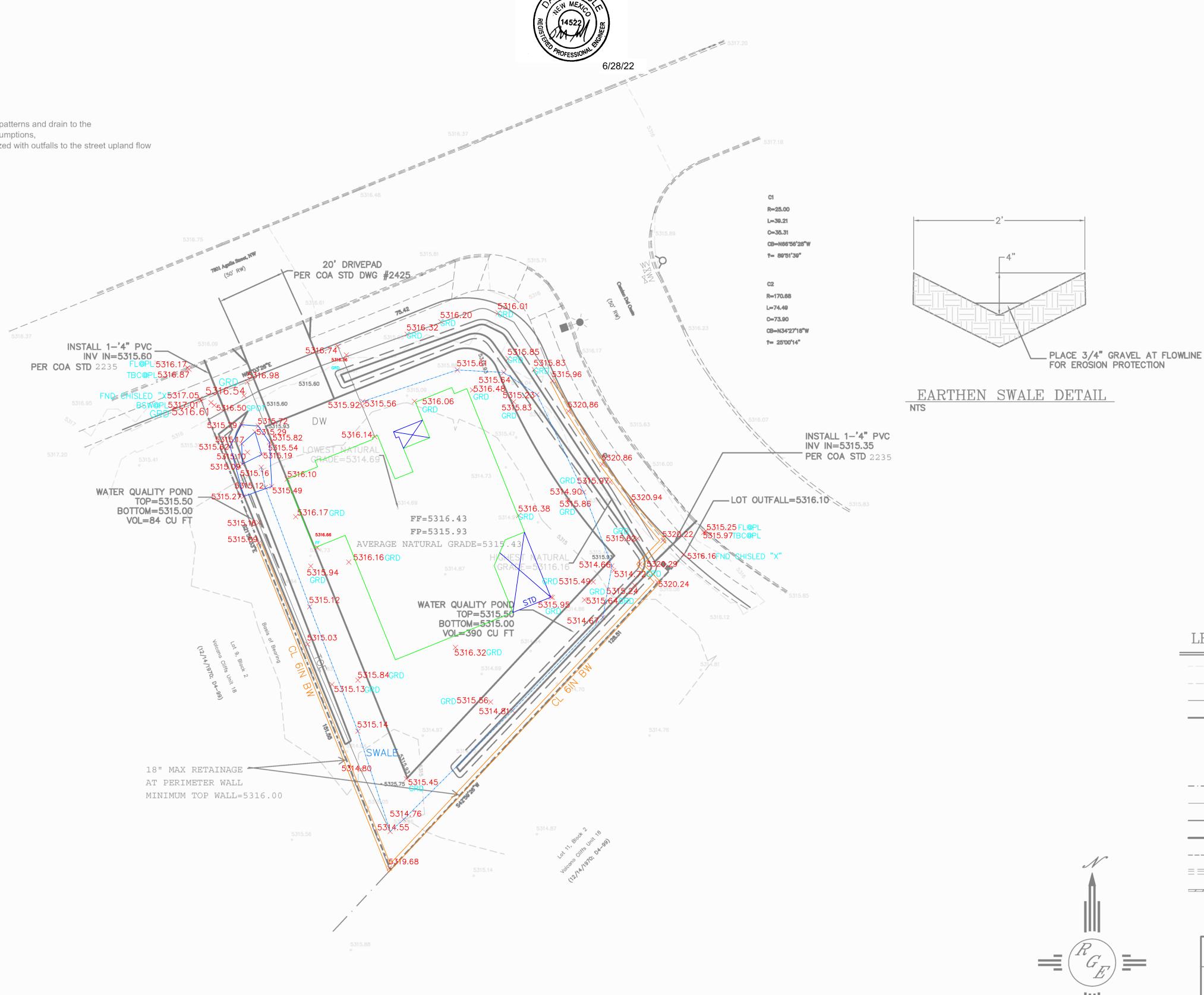
	(CF)	(CF)
WATER QUALITY	0	474
FLOOD CONTROL	322	474

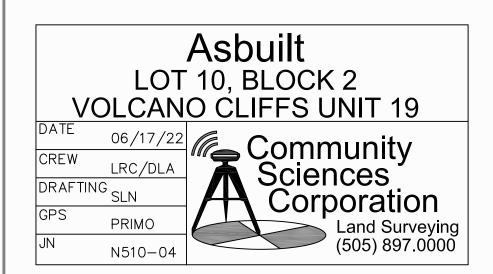
Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the

street per the master drainage plan. The site does exceed the SAD 228 developed conditions assumptions, therefore ponding is required. The site is impacted by height restrictions, therefore ponding is utlized with outfalls to the street upland flow

does not impact the property. This plan is in conformance to the master drainage plan





CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 8/3/21. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The asbuilt survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for <u>PERMANENT CERTIFICATE OF OCCUPANCY</u>. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

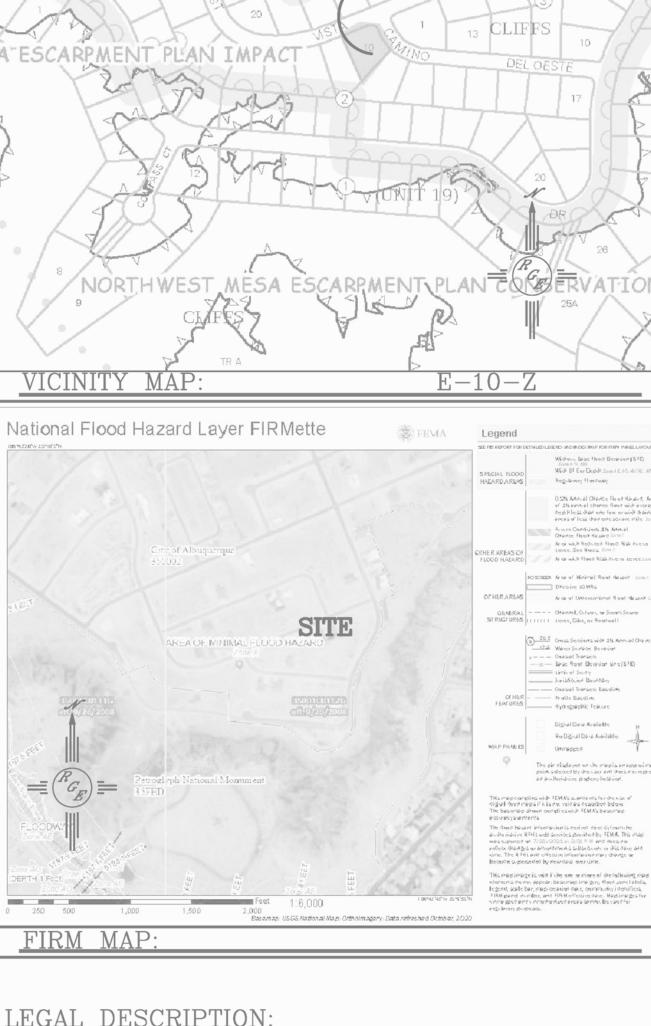
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.





-SITE

LEGAL DESCRIPTION: Lot 10, Block 2, Volcano Cliffs Subdivision Unit 19

NOTES:

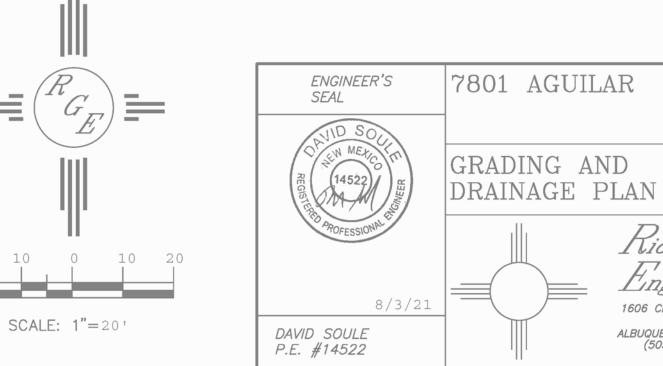
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED. 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING

PRIOR TO CO.

3. NO PONDING WITHIN 10' OF STRUCTURE.

LEGEND

	EXISTING CONTOUR			
	EXISTING INDEX CONTOUR			
XXXX	PROPOSED CONTOUR			
	PROPOSED INDEX CONTOUR			
▶—	SLOPE TIE			
= XXXX	EXISTING SPOT ELEVATION			
ж ХХХХ	PROPOSED SPOT ELEVATION			
	 LOT LINE CENTERLINE RIGHT-OF-WAY PROPOSED 4" PVC SD GRAVEL LINED SWALE EXISTING CURB AND GUTTER PROPOSED CMU SCREEN WALL-DESIGN BY OTHERS 			



Lingineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999

Rio Grande

JOB # 21021075

DRAWN

BY WCWJ

DATE 8-01-21

210210075-LAYOUT-8-01-2

SHEET #