

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 12, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 31 Block 5 Unit 5 SAD 227**
Unser Cliffs
8036 Victoria NW
Grading and Drainage Plan
Engineers Stamp Date 10/18/19 (E10D067)

Dear Mr. Soule,

Based upon the information provided in your submittal received 3/28/19, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Clean and sweep street and sidewalk.
- Still working on PAD.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning
Division Manager

RR/SB
C: File E10D067



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 8036 Victoria **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 31 BLOCK 5 Volcano Cliffs unit 5
City Address: 8036 Victoria

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

										100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs			
ALLOWED	11275.00	0.259	0%	0	20% 0.052	46% 0.1191	34% 0.088	1.259	0.027	0.83		
PROPOSED	11275.00	0.259	0%	0	18% 0.047	37% 0.0958	45% 0.116	1.373	0.030	0.88		
COMPARISON										0.002		

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Qa= 1.29
Eb= 0.44
Qb= 0.67
Ec= 0.99
Qc= 2.87
Ed= 1.97
Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	144	367
FLOOD CONTROL	107	367

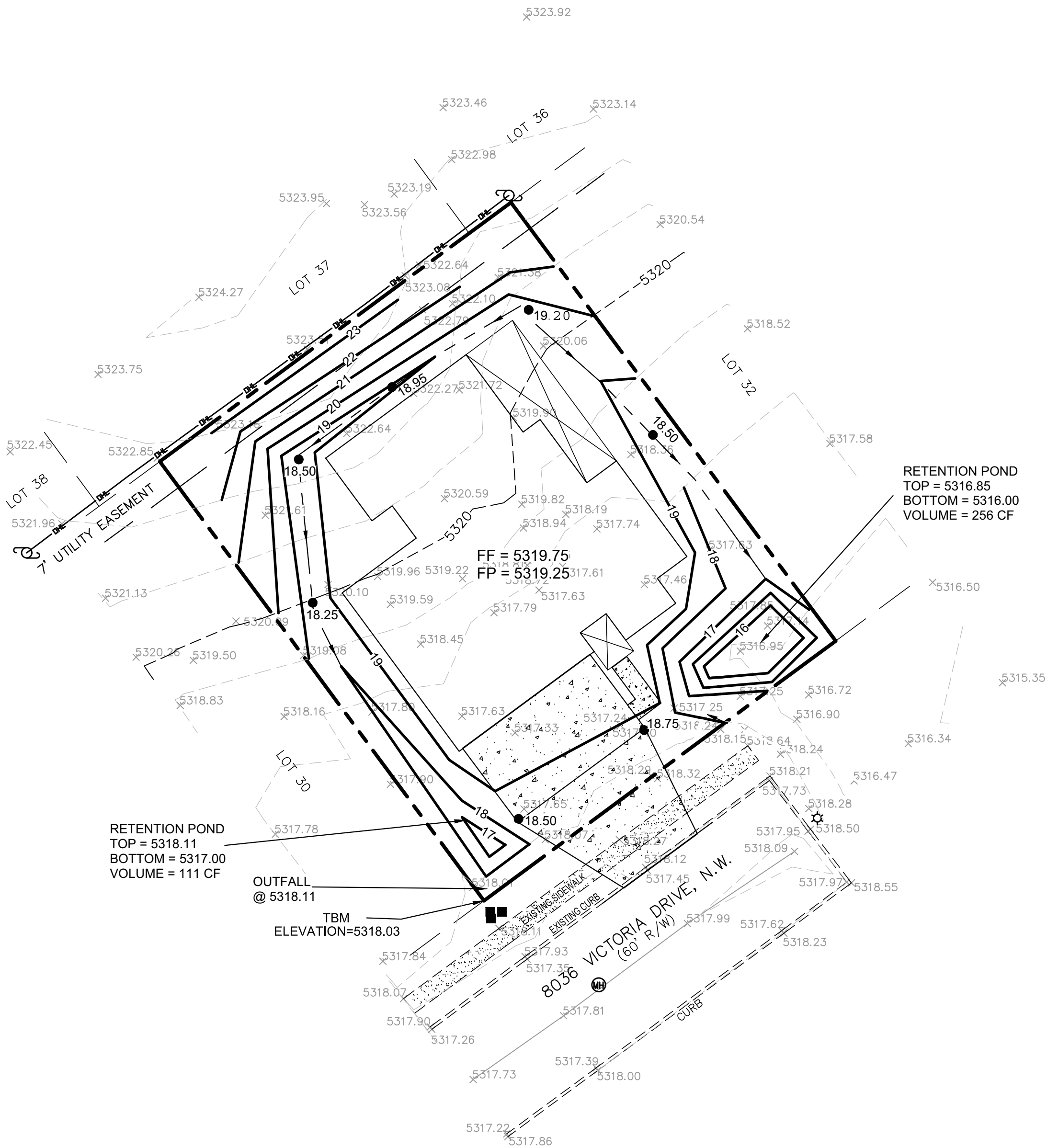
Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway lot to south per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan exceeds the allowed impervious area therefore we are required to retain the overage. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 10/18/19

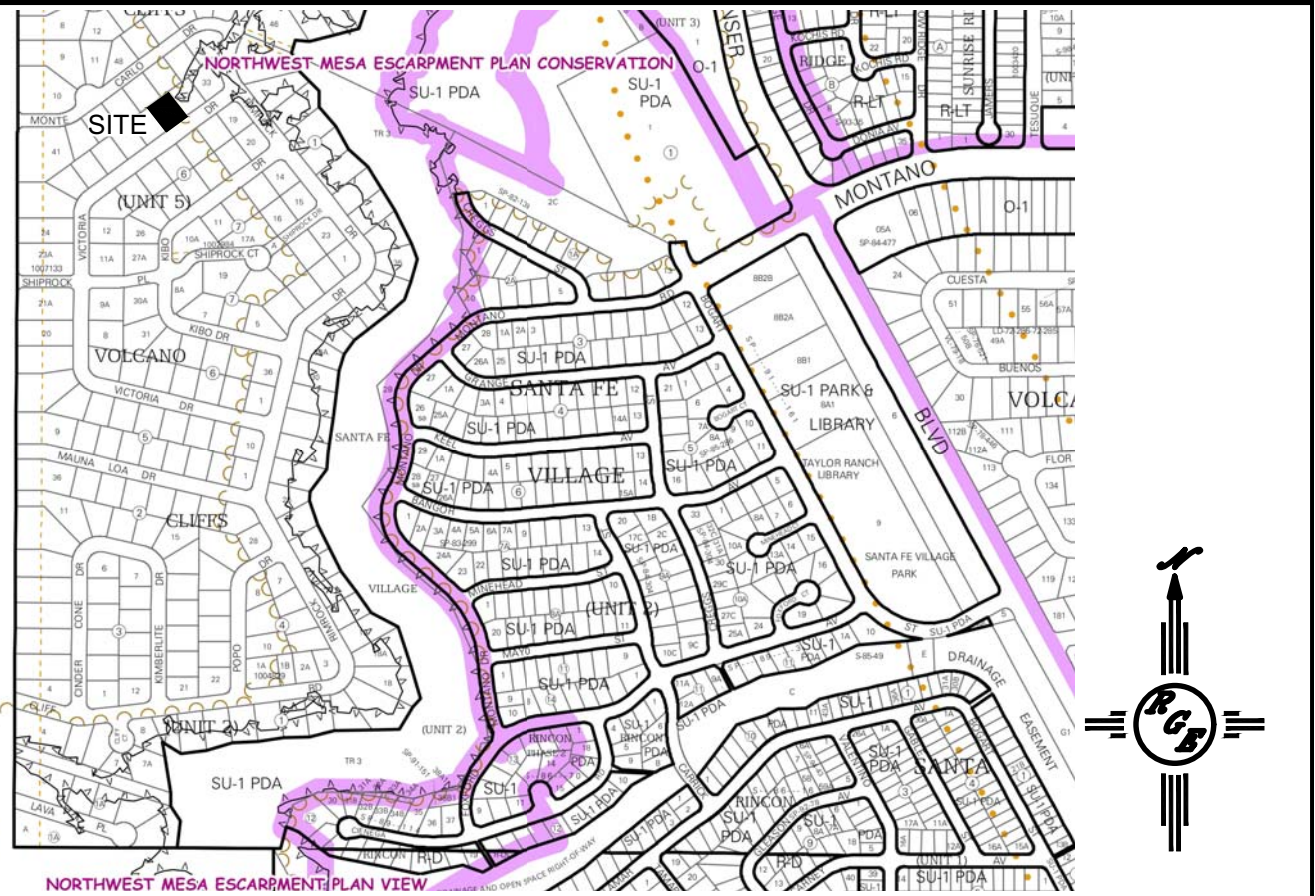


12/11/19

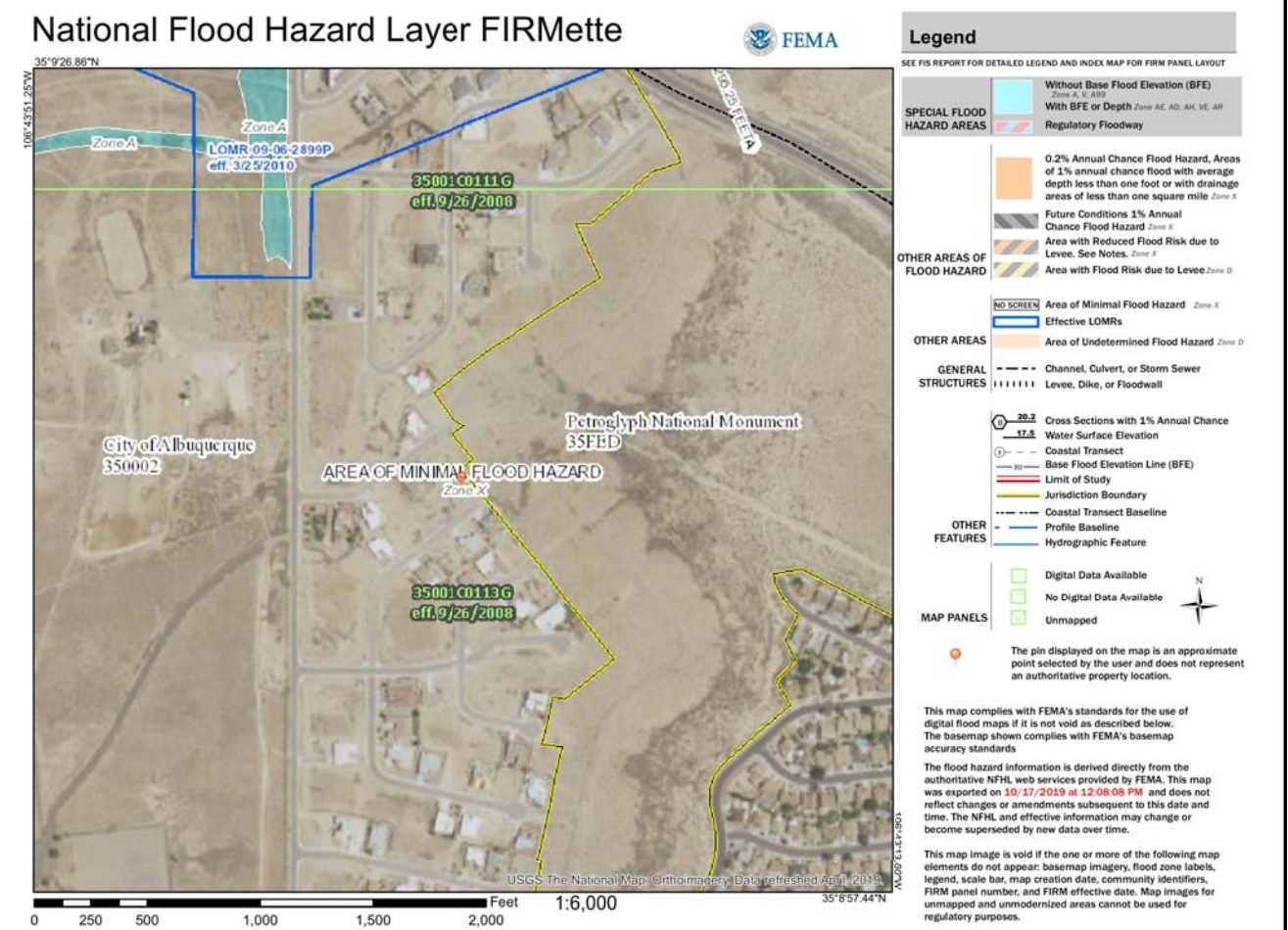


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 31, BLK5 VOLCANO CLIFFS UNIT 5
BERNALILLO COUNTY, NEW MEXICO

NOTES:

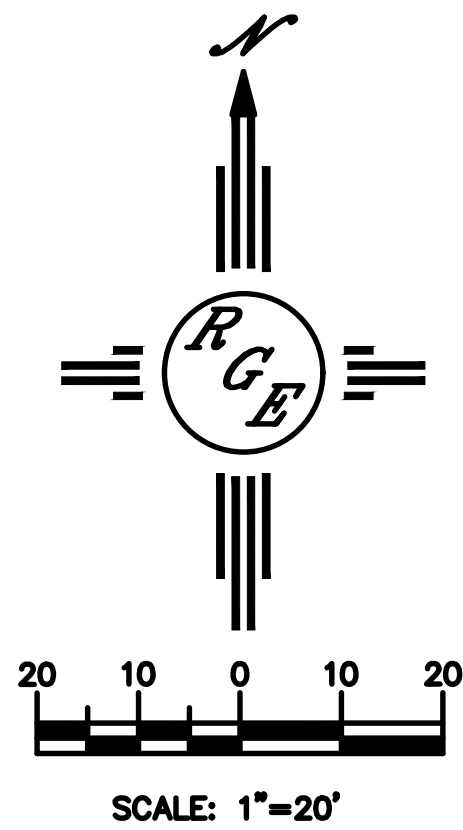
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

---	XXXX	---	EXISTING CONTOUR
---	XXXX	---	EXISTING INDEX CONTOUR
---	XXXX	---	PROPOSED CONTOUR
---	XXXX	---	PROPOSED INDEX CONTOUR
+	XXXX		EXISTING SPOT ELEVATION
●	XXXX		PROPOSED SPOT ELEVATION
---	---	---	BOUNDARY
---	---	---	PROPOSED EARTHEN SWALE
---	---	---	ADJACENT BOUNDARY
==	==	==	EXISTING CURB AND GUTTER
---	---	---	PROPOSED CONCRETE DRIVEWAY

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	LOT31, BLK5 VOLCANO CLIFFS U5 8036 VICTORIA DRIVE, N.W.	DRAWN BY DEM
DAVID SOULE REGISTERED PROFESSIONAL ENGINEER 10/18/19	GRADING AND DRAINAGE PLAN	DATE 10-18-19
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0899	LOT31 BLKS U5 VOLCANO CLIFFS.DWG
		SHEET # C1
		JOB #