

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 16, 2025

Ronald Bohannon, PE
Tierra West
5571 Midway Park pl NE
Albuquerque, NM 87110

Re: SARANAM Multi Family Dev/ PHASE 1
4651 Montano Rd NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 02-23-22 (E11-D013B)
Certification dated 12-02-2025
TRANS-2025-00352

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 12-05-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

NM 87103

1. Update the Traffic Certification to request a Perm CO. A Temp CO is not permitted for residential projects.
2. Anchor down Bike Rack.
3. Sidewalk culvert must be installed to avoid tripping hazard.

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4. Since the ADA parking spaces have been shifted to the north, please red-mark the approved site plan to reflect this change.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Provide the original approved site plan.

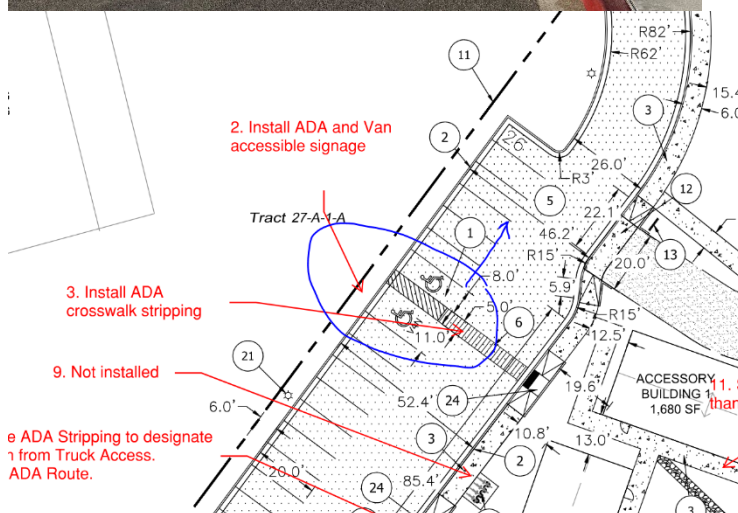


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NM 87103

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7. All the construction activities on the site must be completed before the Perm CO can be issued.

Once this correction is complete, email pictures to malnajar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



December 2, 2025

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN
REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY SARANAM
4701 MONTANO RD, NW ALBUQUERQUE NM 87120**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for issuance of a Temporary Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on November 24 2025, and is in general accordance with the design intent of the Approved Site Plan dated 02-23-2022

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the as-built Site Plan. Therefore, we request approval of the as-built Site Plan for issuance of a Temporary Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

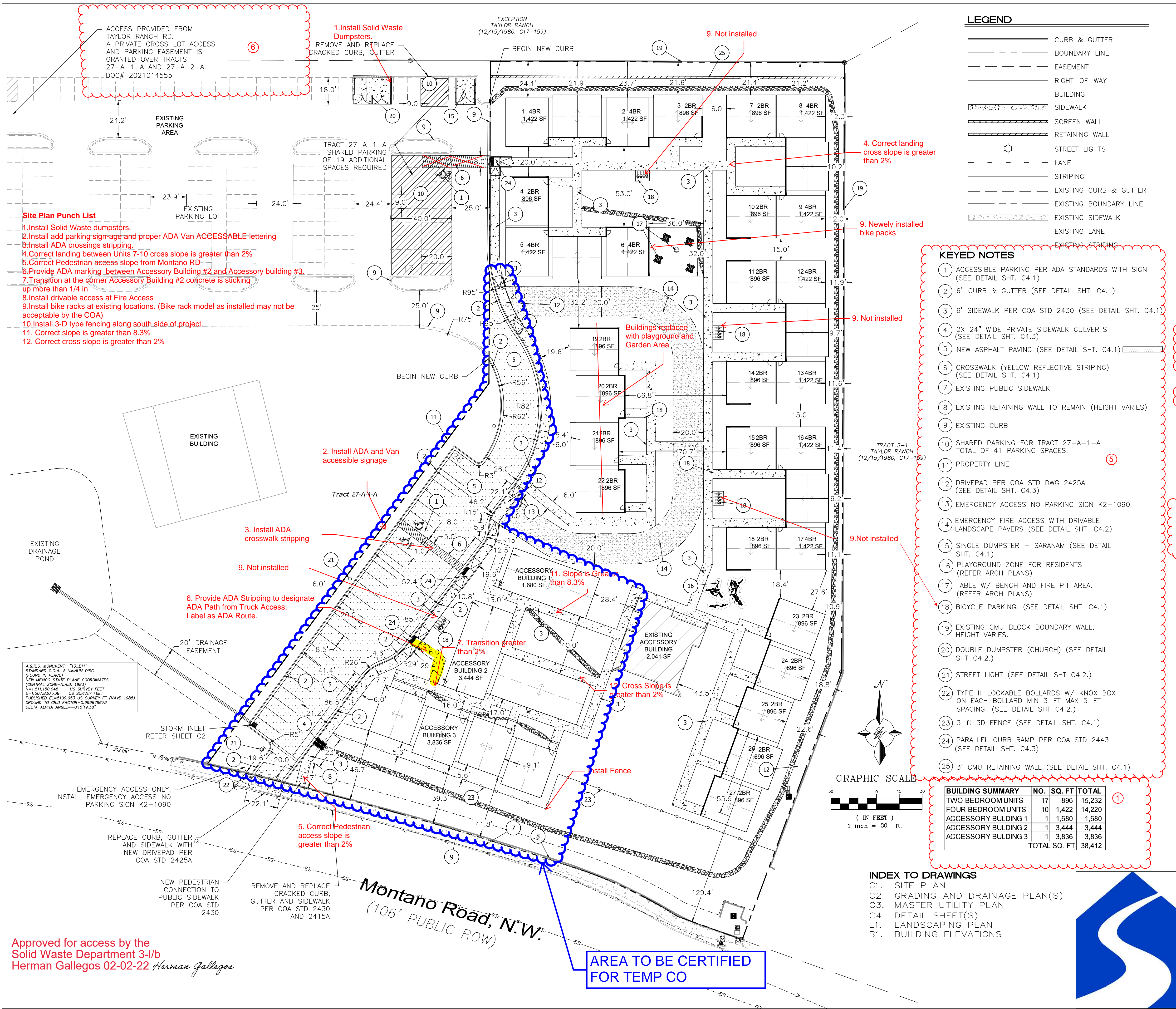
A circular professional engineer seal for Ronald R. Bohannon, a Registered Professional Engineer in New Mexico. The seal contains the text "RONALD R BOHANNAN", "NEW MEXICO", "REGISTERED PROFESSIONAL ENGINEER", and "7868". A blue ink signature is written across the seal, and the date "12/2/25" is written in blue ink to the right of the seal.

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2019080
RRB/LN/BF/AC

2019080 Temp Approved Site Plan Submittal Letter 12-2-25-.docx

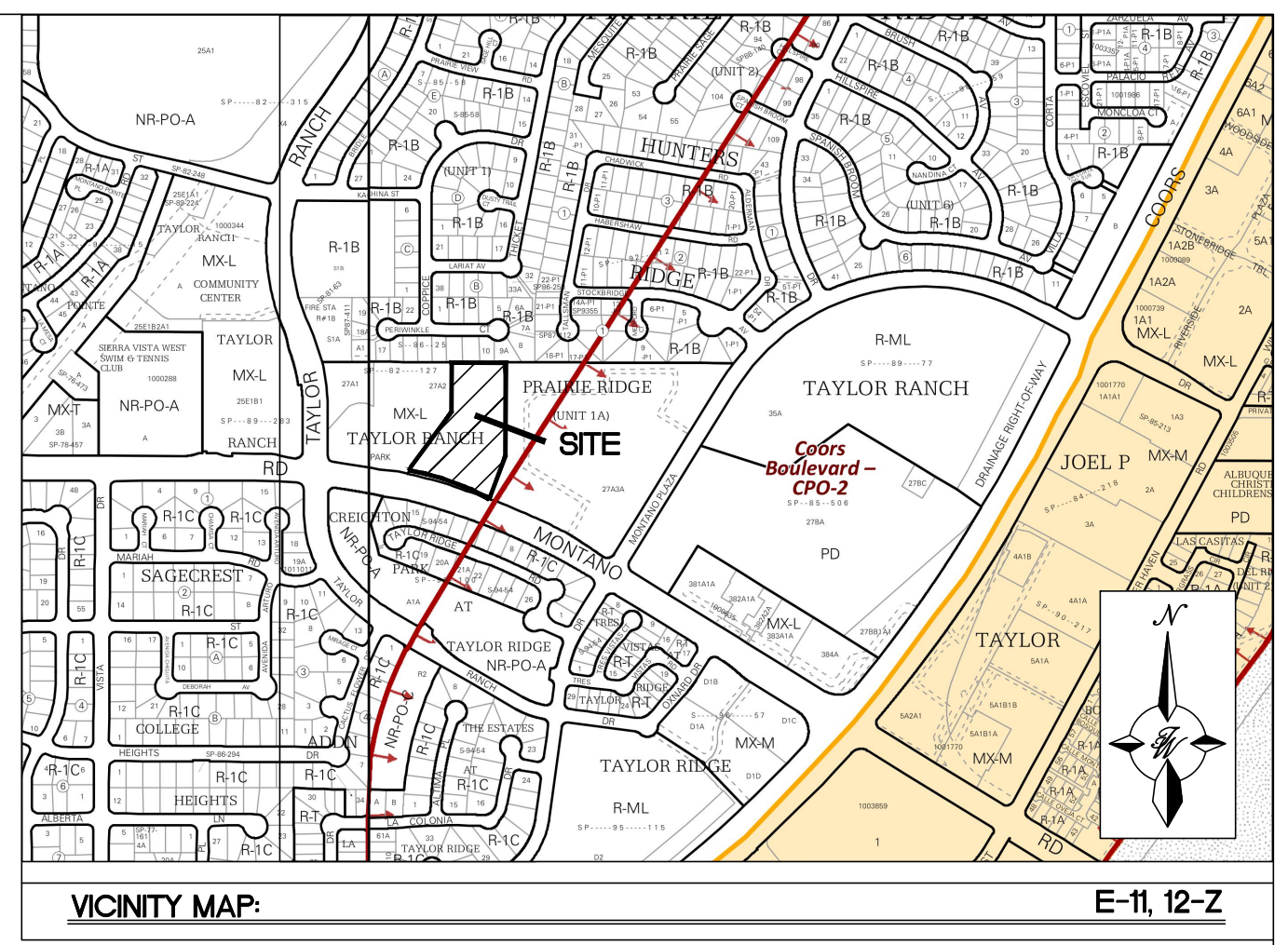


- Site Plan Punch List**
1. Install Solid Waste dumpsters.
 2. Install add parking sign-age and proper ADA Van ACCESSABLE lettering
 3. Install ADA crossings stripping.
 4. Correct landing between Units 7-10 cross slope is greater than 2%
 5. Correct Pedestrian access slope from Montano RD
 6. Provide ADA marking between Accessory Building #2 and Accessory building #3.
 7. Transition at the corner Accessory Building #2 concrete is sticking up more than 1/4 in
 8. Install drivable access at Fire Access
 9. Install bike racks at existing locations. (Bike rack model as installed may not be acceptable by the COA)
 10. Install 3-D type fencing along south side of project.
 11. Correct slope is greater than 8.3%
 12. Correct cross slope is greater than 2%

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C4.1)
 - 2 6" CURB & GUTTER (SEE DETAIL SHT. C4.1)
 - 3 6" SIDEWALK PER COA STD 2430 (SEE DETAIL SHT. C4.1)
 - 4 2X 24" WIDE PRIVATE SIDEWALK CULVERTS (SEE DETAIL SHT. C4.3)
 - 5 NEW ASPHALT PAVING (SEE DETAIL SHT. C4.1)
 - 6 CROSSWALK (YELLOW REFLECTIVE STRIPING) (SEE DETAIL SHT. C4.1)
 - 7 EXISTING PUBLIC SIDEWALK
 - 8 EXISTING RETAINING WALL TO REMAIN (HEIGHT VARIES)
 - 9 EXISTING CURB
 - 10 SHARED PARKING FOR TRACT 27-A-1-A TOTAL OF 41 PARKING SPACES.
 - 11 PROPERTY LINE
 - 12 DRIVEPAD PER COA STD DWG 2425A (SEE DETAIL SHT. C4.3)
 - 13 EMERGENCY ACCESS NO PARKING SIGN K2-1090
 - 14 EMERGENCY FIRE ACCESS WITH DRIVABLE LANDSCAPE PAVERS (SEE DETAIL SHT. C4.2)
 - 15 SINGLE DUMPSTER - SARANAM (SEE DETAIL SHT. C4.1)
 - 16 PLAYGROUND ZONE FOR RESIDENTS (REFER ARCH PLANS)
 - 17 TABLE W/ BENCH AND FIRE PIT AREA. (REFER ARCH PLANS)
 - 18 BICYCLE PARKING. (SEE DETAIL SHT. C4.1)
 - 19 EXISTING CMU BLOCK BOUNDARY WALL, HEIGHT VARIES.
 - 20 DOUBLE DUMPSTER (CHURCH) (SEE DETAIL SHT C4.2.)
 - 21 STREET LIGHT (SEE DETAIL SHT C4.2.)
 - 22 TYPE III LOCKABLE BOLLARDS W/ KNOX BOX ON EACH BOLLARD MIN 3-FIT MAX 5-FIT SPACING. (SEE DETAIL SHT C4.2.)
 - 23 3-ft 3D FENCE (SEE DETAIL SHT. C4.1)
 - 24 PARALLEL CURB RAMP PER COA STD 2443 (SEE DETAIL SHT. C4.3)
 - 25 3' CMU RETAINING WALL (SEE DETAIL SHT. C4.1)



LEGAL DESCRIPTION:
TRACT 27-A-1 AND 27-A-2 OF TAYLOR RANCH, REDIVISION OF TRACT 27A INTO TRACTS 27-A-1 AND 27-A-2 OF THE PLAT OF TRACTS 27-A, S-1, S-2, AND S-3 TAYLOR RANCH, SITUATED WITHIN SECTIONS 23, 25 AND 26 T11N R2E, BLOCK 0000

SITE DATA:

PROPOSED USAGE: MULTI-FAMILY (PER IDO 4-3(B)(7))
 ZONING: MX-L
 LOT AREA: 149,871.07 SF (3.44) ACRE
 SETBACKS: 15' REAR, 5' FRONT/SIDE
 HOUSING UNITS:
 TWO BEDROOM UNITS: 17
 FOUR BEDROOM UNITS: 10
 TOTAL HOUSING UNITS: 27

PARKING REQUIRED: (DWELLING, MULTI-FAMILY 1.5 SPACES/DU) 42 SPACES
TOTAL PARKING PROVIDED: 26 SPACES
 PARKING DEFICIT IS MET BY A CROSS LOT PARKING AGREEMENT (DOC# 2021014555) WITH TRACT 27-A-1-A AS SHOWN ON THIS PLAN FOR 19 SPACES. MIN. PARKING REQUIRED FOR TRACT 27-A-1-A FOR RELIGIOUS INSTITUTIONS IS 16 SPACES. A TOTAL OF 132 SPACES IS PROVIDED AND CAN SUPPORT THE SHARED PARKING WITH THIS DEVELOPMENT.

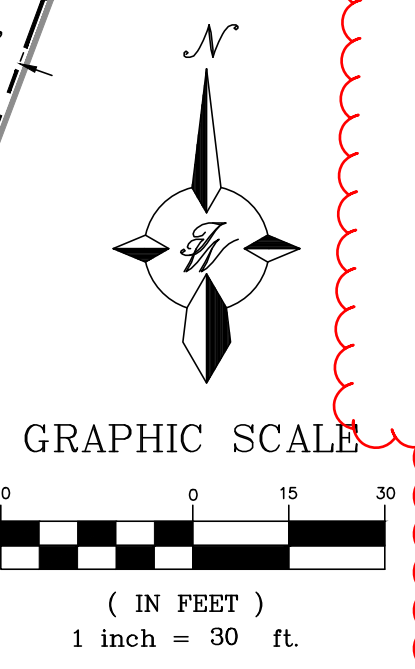
HC PARKING REQUIRED: 2 SPACES
 HC PARKING PROVIDED: 3 SPACES
 1 SPACE VAN ACCESSIBLE

BICYCLE PARKING REQUIRED: 5 SPACES
 BICYCLE PARKING PROVIDED: 16 (8 RACKS WITH 4 SPACES)

OPEN SPACE REQUIRED IDO 14-16-2-4(B)(2):
 (2BR: 250 SQ. FT. / UNIT) 4,250 S.F.
 (>3BR: 300 SQ. FT. / UNIT) 3,000 S.F.
 TOTAL OPEN SPACE REQUIRED: 7,250 S.F.
 OPEN SPACE PROVIDED: 13,340 S.F.

BUILDING SUMMARY

BUILDING	NO.	SQ. FT	TOTAL
TWO BEDROOM UNITS	17	896	15,232
FOUR BEDROOM UNITS	10	1,422	14,220
ACCESSORY BUILDING 1	1	1,680	1,680
ACCESSORY BUILDING 2	1	3,444	3,444
ACCESSORY BUILDING 3	1	3,836	3,836
TOTAL SQ. FT			38,412



- INDEX TO DRAWINGS**
- C1. SITE PLAN
 - C2. GRADING AND DRAINAGE PLAN(S)
 - C3. MASTER UTILITY PLAN
 - C4. DETAIL SHEET(S)
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATIONS

PROJECT NUMBER: PR-2020-003461

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

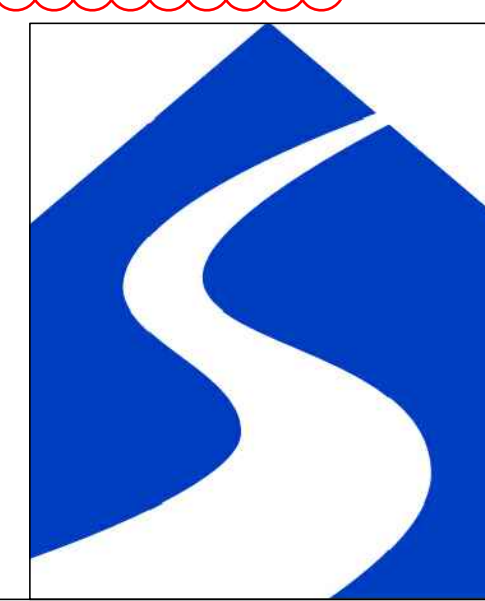
Is an infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i>	02-02-22
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

Approved for access by the Solid Waste Department 3-1/b Herman Gallegos 02-02-22 *Herman Gallegos*

AREA TO BE CERTIFIED FOR TEMP CO



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 02/03/2022	SARANAM AT 4701 MONTANO RD NW	DRAWN BY LN DATE 10/20/2021
	SITE PLAN	SHEET # C1
 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2019080	