

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 12, 2023

David Thompson, PE  
Thompson Engineering Consultants, Inc.  
PO Box 65760  
Albuquerque, NM 87193

**RE: Taylor Ranch Fire Station 18 - Addition  
6100 Taylor Ranch Dr. NW  
Grading & Drainage Plan  
Engineer's Stamp Date: 12/24/22  
Hydrology File: E11D019**

Dear Mr. Thompson:

PO Box 1293

Based upon the information provided in your submittal received 12/29/2022, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

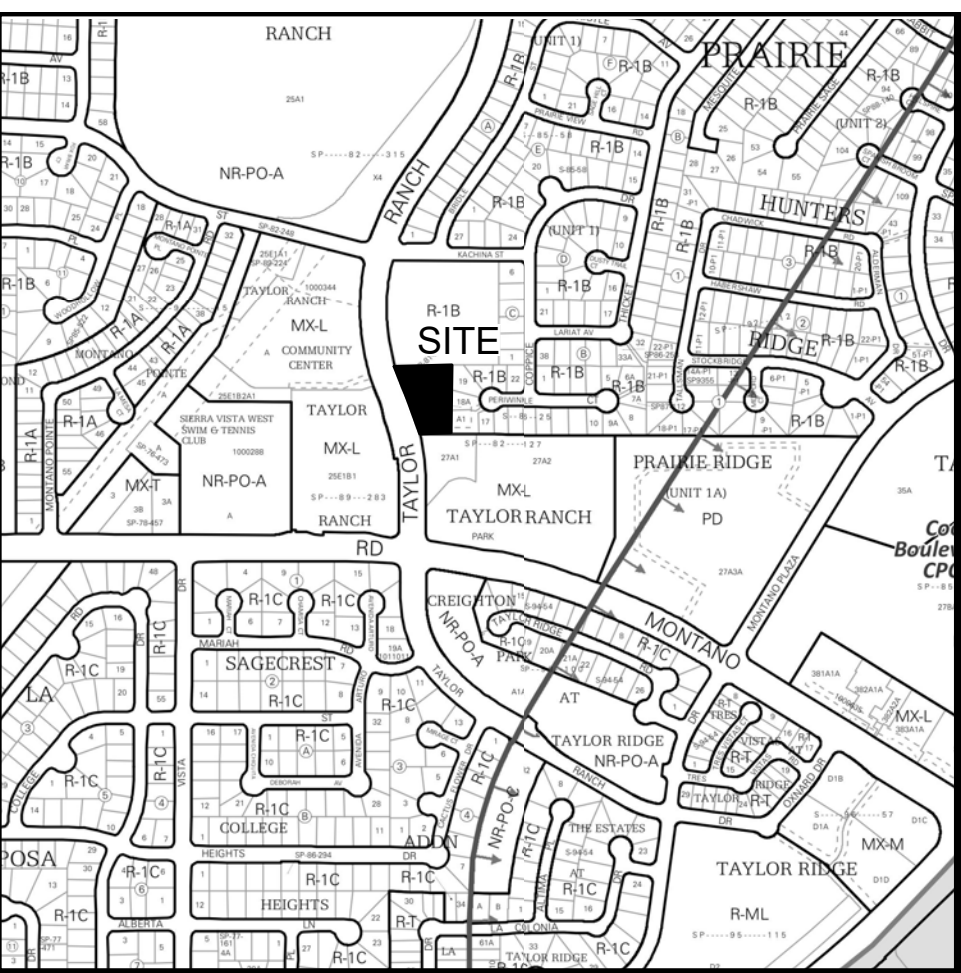
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





## LEGEND

- |  |                         |
|--|-------------------------|
|  | EXISTING CONTOURS       |
|  | PROPERTY LINE           |
|  | EXISTING CONCRETE       |
|  | EXISTING C&G            |
|  | PROPOSED SPOT ELEVATION |
|  | PROPOSED FLOW DIRECTION |
|  | PROPOSED CONCRETE       |
|  | BASIN BOUNDARY          |

DRAINAGE PLAN:

LEGAL DESCRIPTION: TRACT S-1-A, TAYLOR RANCH

AREA OF ADDITION: 0.1490 ACRES

BENCHMARK: ACS MONUMENT 1 E11, ELEV=5116.831

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED AUGUST 16, 2012 (PANEL NO. 35001C0114H) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING DRAINAGE CONDITIONS:

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH CHAPTER 6, ARTICLE 6-2, SECTION 6-2(A), ENTITLED "PROCEDURE FOR 40-ACRE AND SMALLER BASINS." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 6-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 1 SO THE 100-YEAR, 6-HOUR STORM EVENT IS 2.17 INCHES.

THE PROPERTY IS LOCATED A6100 TAYLOR RANCH DR. NW. THERE IS FIRE STATION CURRENTLY ON THE PROPERTY. SINCE THE GARAGE DRAINS TO THE NORTH TO THE AREA OF THE ADDITION TO THE BUILDING, THE CURRENT RUNOFF IS 0.48 CFS. THE RUNOFF DRAINS TO TAYLOR RANCH DRIVE. THERE ARE NO OFF-SITE FLOWS THAT REACH THE PROPERTY

### DEVELOPED DRAINAGE CONDITIONS

THIS PROJECT INVOLVES CONSTRUCTING AN ADDITION TO THE EXISTING FIRE STATION NORTH OF THE EXISTING BUILDING. THE ROOF OF THE NEW ADDITION WILL ACCEPT FLOWS FROM THE GARAGE ROOF AND CONTINUE TO DRAIN TO THE NORTH. THE ROOF WILL DRAIN TO A SWALE ALONG THE NORTH SIDE OF THE NEW ADDITION AND CONVEY SLOWS TO THE WEST TO A WATER QUALITY POND ADJACENT TO TAYLOR RANCH DRIVE. THE NEW CONCRETE DRIVE WILL ALSO DRAIN TO THE WATER QUALITY POND. THE WATER QUALITY POND WILL DRAIN TO TAYLOR RANCH POND THROUGH A 12" SIDEWALK CULVERT. THE WATER QUALITY POND HAS VOLUME OF 173 CUBIC-FEET.

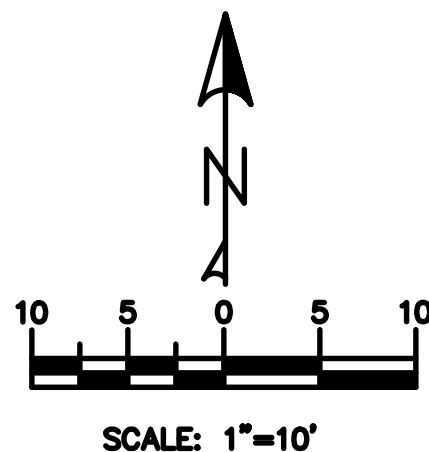
$$\text{WATER QUALITY VOLUME} = (0.42\text{IN}/12\text{IN}/\text{FT}) \times ((0.1490 \times 0.76)) \times 43,560\text{SF}/\text{AC} = 173 \text{ CF}$$



SIDEWALK CULVERT CAPACITY, WEIR EQUATION =  $(2.7) \times (1\text{FT}) \times (7\text{IN}/12\text{IN}/\text{FT})^{1.5} = 1.2 \text{ CFS}$

REV. 01/22/21

Private Drainage Facilities within City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.



SHEET No.	CITY/COUNTY REVIEW			TAYLOR RANCH FIRE HOUSE 6100 TAYLOR RANCH DR NW		PROJECT: DATE: HORIZ. SCALE: VERT. SCALE:	DRAWN BY: DEM CHECKED BY: APPROVED BY: FILE:		tsconm@yahoo.com PHONE: (505) 271-2199 FAX: (505) 650-5246 P.O. BOX 65760 ALBUQUERQUE, NM 87119
	DEPARTMENT	SIGN-OFF	DATE						
	WASTEWATER MGMT. DIV.								
	WATER SERVICES								
	SUBDIVISION ENG.								
	STREETS								
	TRAFFIC								
	FOR CITY/COUNTY USE ONLY								