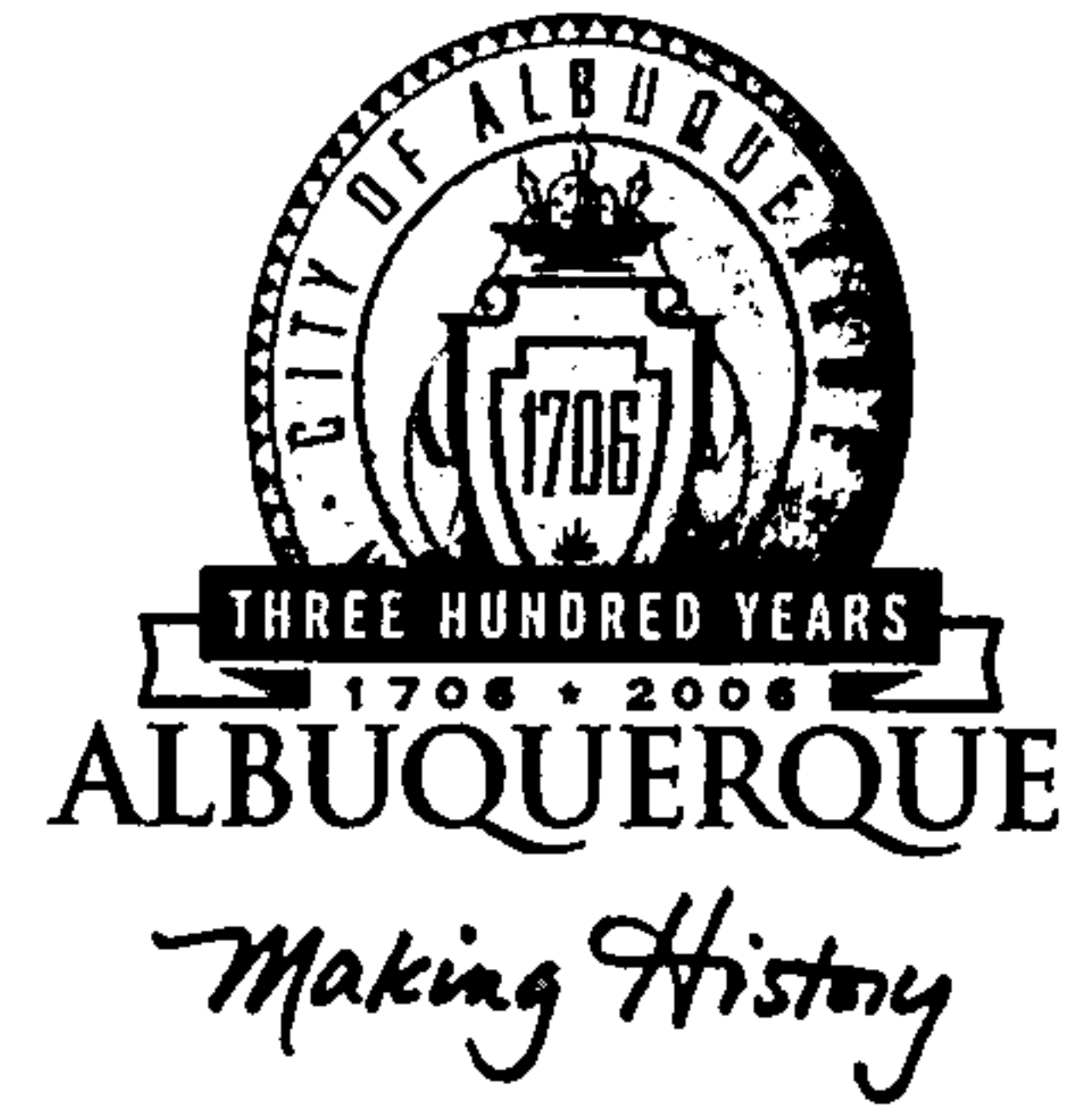


CITY OF ALBUQUERQUE



December 17, 2004

Mr. Dan Aguirre, P.E.
WILSON & COMPANY
2600 The American Rd. SE, Suite 100
Rio Rancho, NM 87124

Re: TAYLOR RANCH COMMUNITY CENTER
4900 Kachina Street NW
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/20/2002 (E-11/D20E)
Certification dated 12/17/2004

Dear Dan,

P.O. Box 1293

Based upon the information provided in your submittal received 12/17/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 19, 2002

Dan Aguirre, PE
Wilson & Company
2600 American Rd, SE, Ste. 100
Rio Rancho, NM 87124

Re: Taylor Ranch Community Center Grading and Drainage Plan
Engineer Stamp 11-20-02 (E11/D20E)

Dear Mr. Aguirre,

Based upon information provided in your submittal dated 11-20-02, the above referenced drawings are approved for Work Order and Building Permit. Please include a copy of this approved plan in the construction sets.

Prior to Certificate of Occupancy release, an Engineer's Certification of the grading plan per the DPM is required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

RONALD D. BROWN, CHAIR
 DANIEL W. COOK, VICE CHAIR
 TIM EICHENBERG, SECRETARY-TREASURER
 LINDA STOVEN, ASST. SECRETARY-TREASURER
 DANNY HERNANDEZ, DIRECTOR

JOHN P. KELLY, P.E.
 EXECUTIVE ENGINEER



**Albuquerque
 Metropolitan
 Arroyo
 Flood
 Control
 Authority**

2600 PROSPECT NE • ALBUQUERQUE, NM 87107

PHONE: (505) 884-2215
 FAX: (505) 884-0214

Post-it® Fax Note 7671		Date 9-10-01	# of pages 2
To BRAD BINGHAM		From LYNN MAZUR	
Co./Dept. HYDROLOGY		Co. AMAFCA	
Phone #		Phone #	
Fax #		Fax #	

File

September 10, 2001

Mr. George Nemeth, P.E.
 Wilson & Company
 2600 The American Road SE, Ste. 100
 Rio Rancho, NM 87124

E-11/D20E

Re: Taylor Ranch Community Center – Conceptual Grading & Drainage Plan

Dear Mr. Nemeth:

AMAFCA has reviewed the referenced plan sheet and approves the drainage concept as shown. The parking lot and driveway to Kachina Street are allowed per the Grant of Easement for Control of Surface Elevation (Document No. 82-50401, September 1982) since they are below the maximum allowable elevation of 5114.8 feet.

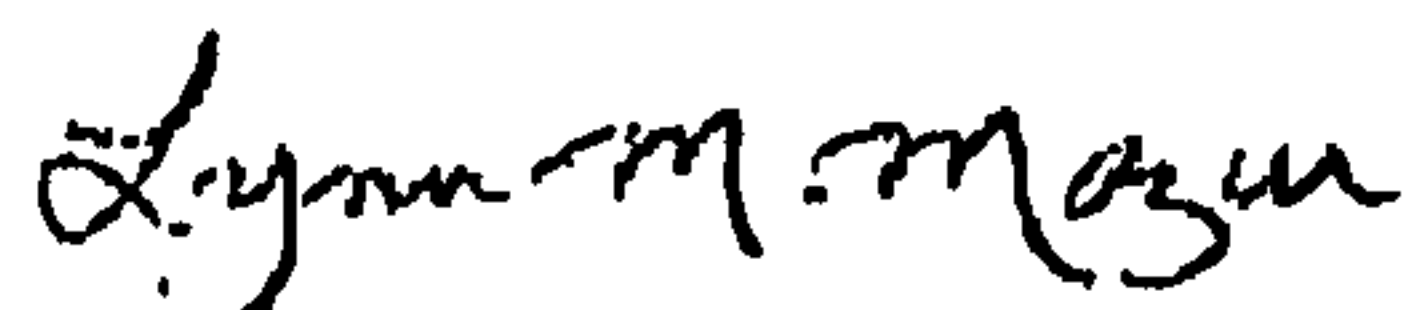
Please provide the following with the final DRC plans:

1. Clearly label the AMAFCA right-of-way.
2. Who will be responsible for maintaining the onsite storm drain? If the City will be maintaining, AMAFCA will grant a storm drain easement to the City for the outfall into the Mariposa Diversion Channel.
3. Use the standard AMAFCA pipe to channel connection detail for the outfall pipe.
4. We have compiled a set of standard notes to be added to plans for construction within AMAFCA right-of-way (see attached). Please add these along with the signature block.
5. Some type of onsite water quality treatment should be incorporated into the drainage system, such as "SNOUT" inlets or a small debris basin. AMAFCA can provide details.
6. What type of hydrologic analysis was used? Reference City DPM, AHYMO, etc. Also list rainfall and land treatment factors.
7. AMAFCA recommends a hydraulic grade line analysis for construction plans. Consult AMAFCA for starting water surface elevation in the Mariposa Channel.

We would like to add that AMAFCA takes exception to the comment in the supplemental report regarding "rigorous analysis" for grading within the Control of Surface Elevation Easement. The City sent over a plat early last year, and AMAFCA replied that any construction within the easement would require an analysis by an engineer. We have not been contacted directly by the City's consultant until you sent this Grading & Drainage plan for review. We appreciate your effort to keep us informed, and either John Kelly or I will be willing to sit down and discuss any proposal you may have.

Please coordinate with AMAFCA to determine if a License Agreement for construction within the Mariposa Channel right-of-way will be required before final DRC sign-off. If you have any questions, please call me at 884-2215.

Sincerely,
AMAFCA



Lynn M. Mazur, P.E.
Development Review Engineer

Enclosure

Cc: John Kelly, AMAFCA
Brad Bingham, COA Hydrology



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 4, 2001

George Nemeth, P.E.
Wilson & Company
2600 American Road SE, Suite 100
Rio Rancho, NM 87124

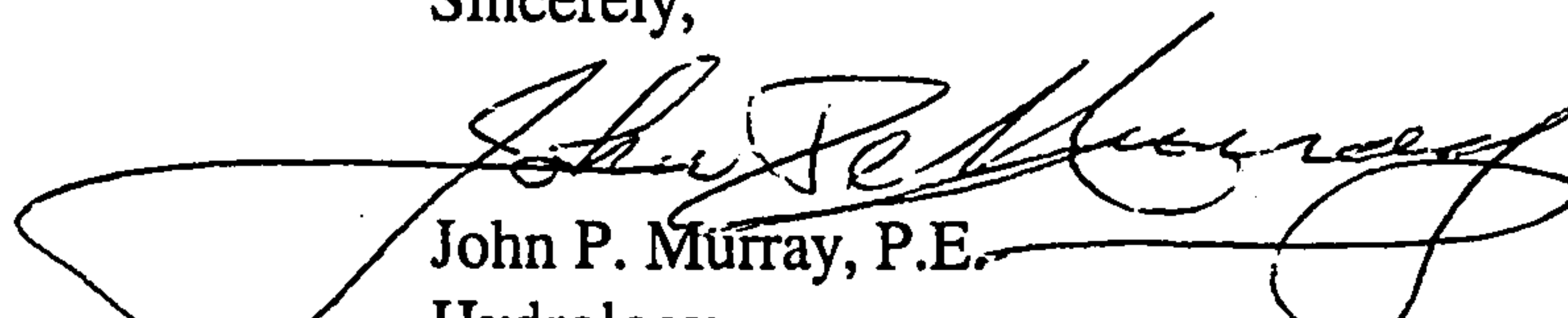
***RE: TAYLOR RANCH COMMUNITY CENTER (E11-D20E). Conceptual GRADING
AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT APPROVAL. ENGINEER'S STAMP DATED AUGUST 28, 2001.***

Dear Mr. Nemeth:

Based on the information provided on your August 28, 2001 submittal, the above referenced project is approved for Site Development Plan for Building Permit. G & D Plan should be labeled "CONCEPTUAL".

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

E-11 | D 20E

TAYLOR RANCH COMMUNITY CENTER

CONCEPTUAL GRADING & DRAINAGE PLAN

AUGUST 2001

Prepared for:

City of Albuquerque
Department of Family
And
Community Services

Prepared by:

Wilson & Company.
2600 The American Rd. SE, Suite 100
Rio Rancho, NM 87124

WC Project No. X0218065

SITE GRADING AND DRAINAGE

The *existing (undeveloped)* site drainage sheet flows from northeast to southwest. Storm water runoff eventually flows into the Mariposa Basin outlet channel approximately 560 feet downstream from the basin. The property to the south of the subject property also discharges into the channel at this point. The existing concrete rundown into the channel is at approximate elevation 5107. The existing channel invert at the rundown is at approximate elevation 5101.

An existing easement, in favor of AMAFCA, encumbers the northern most portion of the site. The easement is for the preservation of elevation and extends from the north property line to approximately 175 feet to the south. It is associated with the Mariposa Basin emergency spillway. AMAFCA will not allow regrading of this area without a "rigorous analysis" to shown no adverse impacts will result from any proposed regrading. The cost of this analysis would be substantial.

The *proposed (developed)* site drainage would also flow from northeast to southwest across the proposed asphalt paved parking lot. However, sheet flow is not possible and, therefore, a buried storm sewer system will be constructed to accommodate site drainage. This system will need to discharge into the Mariposa Basin outlet channel approximately 530 feet downstream from the basin.

The existing AMAFCA easement will NOT be regraded. The existing grades will be maintained and the area seeded with grass. The remainder of the site will be regraded to accommodate the proposed building and parking lot. The maximum anticipated vehicular and pedestrian accessible grade is about 8%. Some inaccessible areas may require grades up to about 3H to 1V.

RUNOFF COMPUTATIONS

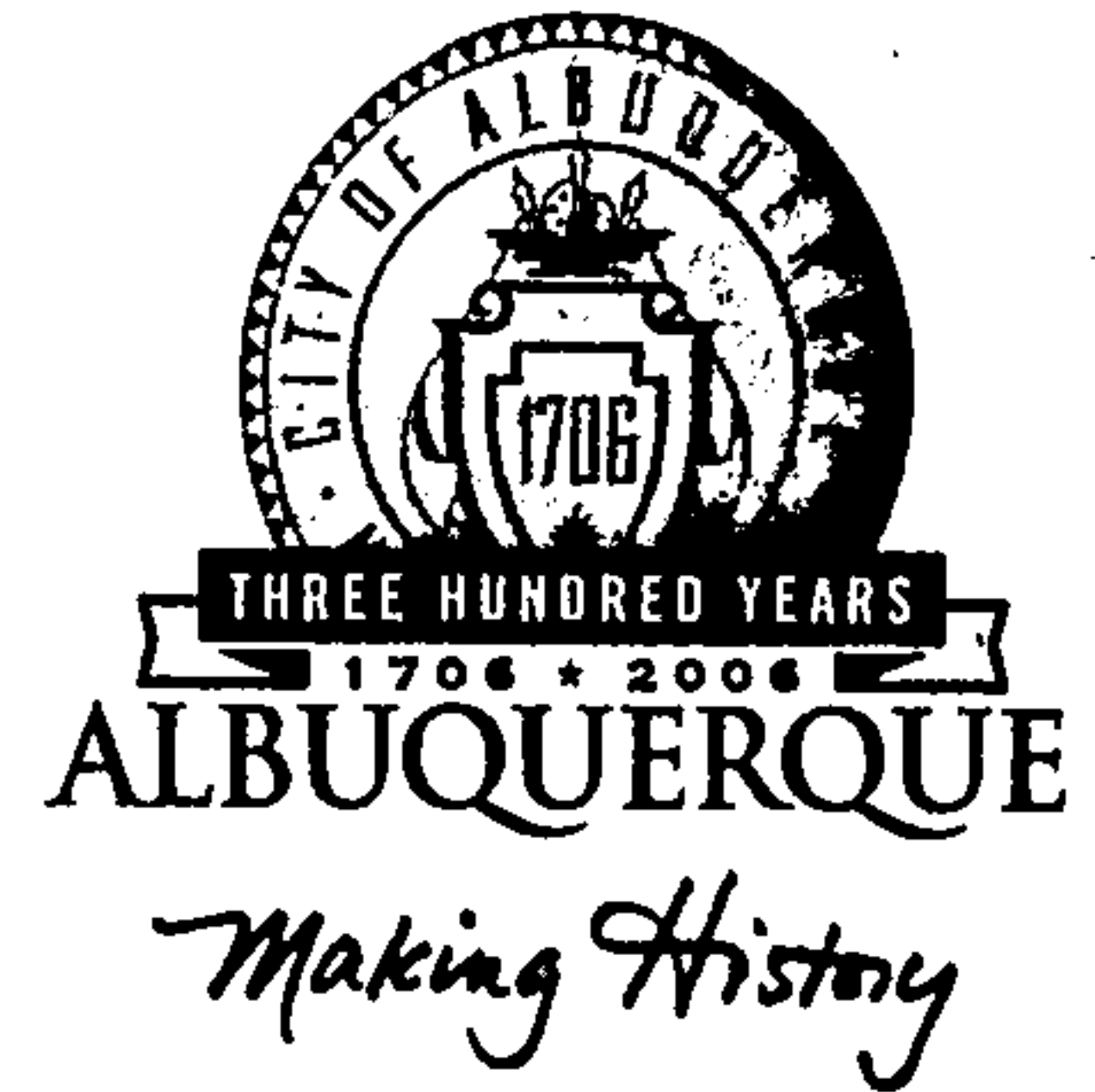
Taylor Ranch community center is located on a 5.5 acre parcel of land. In order to size drainage pipes to carry the 100 year 6 hour storm event this parcel was divided into 4 basins. These basins range in size and are shown on the grading and drainage plan. The calculations are shown below in table 1.

Table 1

Basin	V ₃₆₀ (acre-feet)	Q _P (CFS)
1	0.0913	2.48
2	0.1335	3.69
3	0.0135	0.38
4	0.3794	10.47

These calculations helped to size the diameter of pipe we needed to sufficiently carry the capacity that this site would generate in runoff. All of the pipe sizes and lengths are shown on the grading and drainage plan. Also shown are the slopes that each pipe should be placed at. All of the flow from the site will be from east to west and will be discharged into an existing concrete channel. The total amount of runoff that the new site will discharge into the channel is 17.02 cfs. This is due to the fact that we are going from a parcel that is totally pervious to a finished site that is almost totally impervious.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 17, 2004

Jonathan S. Craig, Registered Architect
400 Gold SW, Ste 880
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Taylor Ranch Community Center, [E-11 / D20E]
4900 Kachina St NW
Architect's Stamp Dated 12/14/04

Dear Mr. Craig:

P.O. Box 1293

The TCL / Letter of Certification submitted on December 15, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

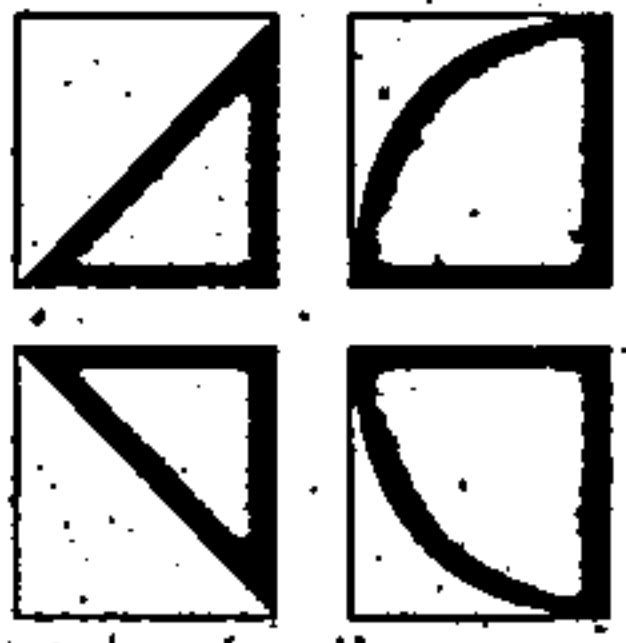
Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk



E-11/D20E

December 14, 2004

Nialo Salgado Fernandez, Senior Traffic Engineer
City of Albuquerque, Planning Department
600 2nd Street SW
Albuquerque, NM 87102

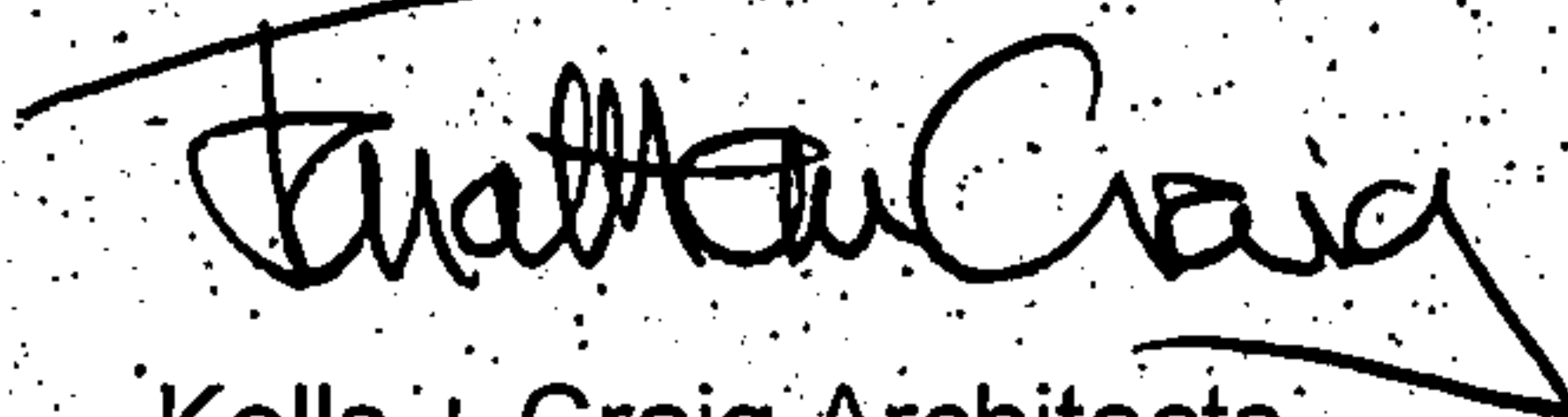
Re: Taylor Ranch Community Center, City of Albuquerque, Project No. 597192
Site Plan Certification for Permanent Certificate of Occupancy

Dear Mr. Salgado Fernandez:

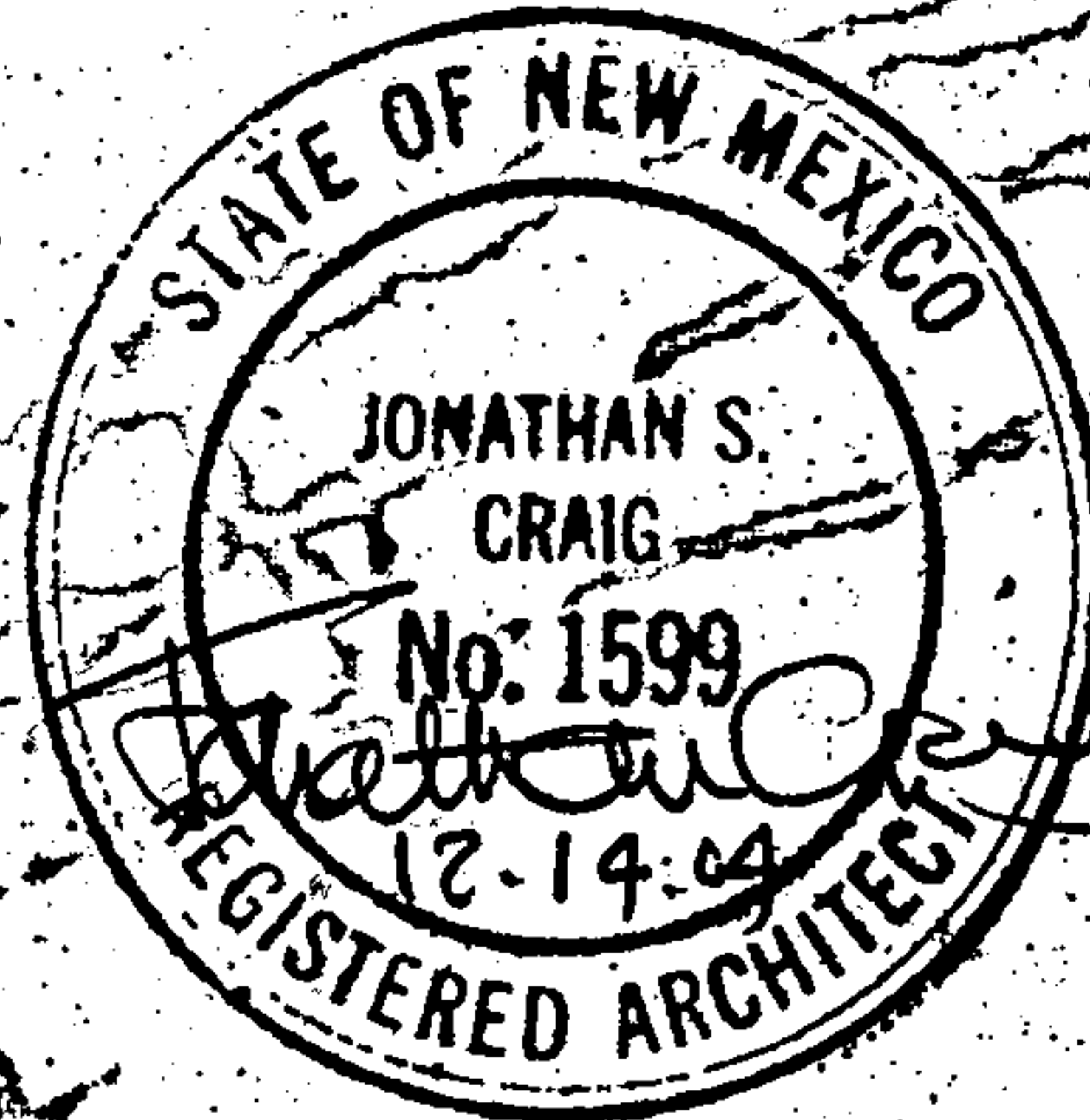
This is to confirm that the above project has been completed and is in substantial compliance with the approved site plan included in the City Permit sets, a copy of which is attached to this letter.

If you have any questions, please call.

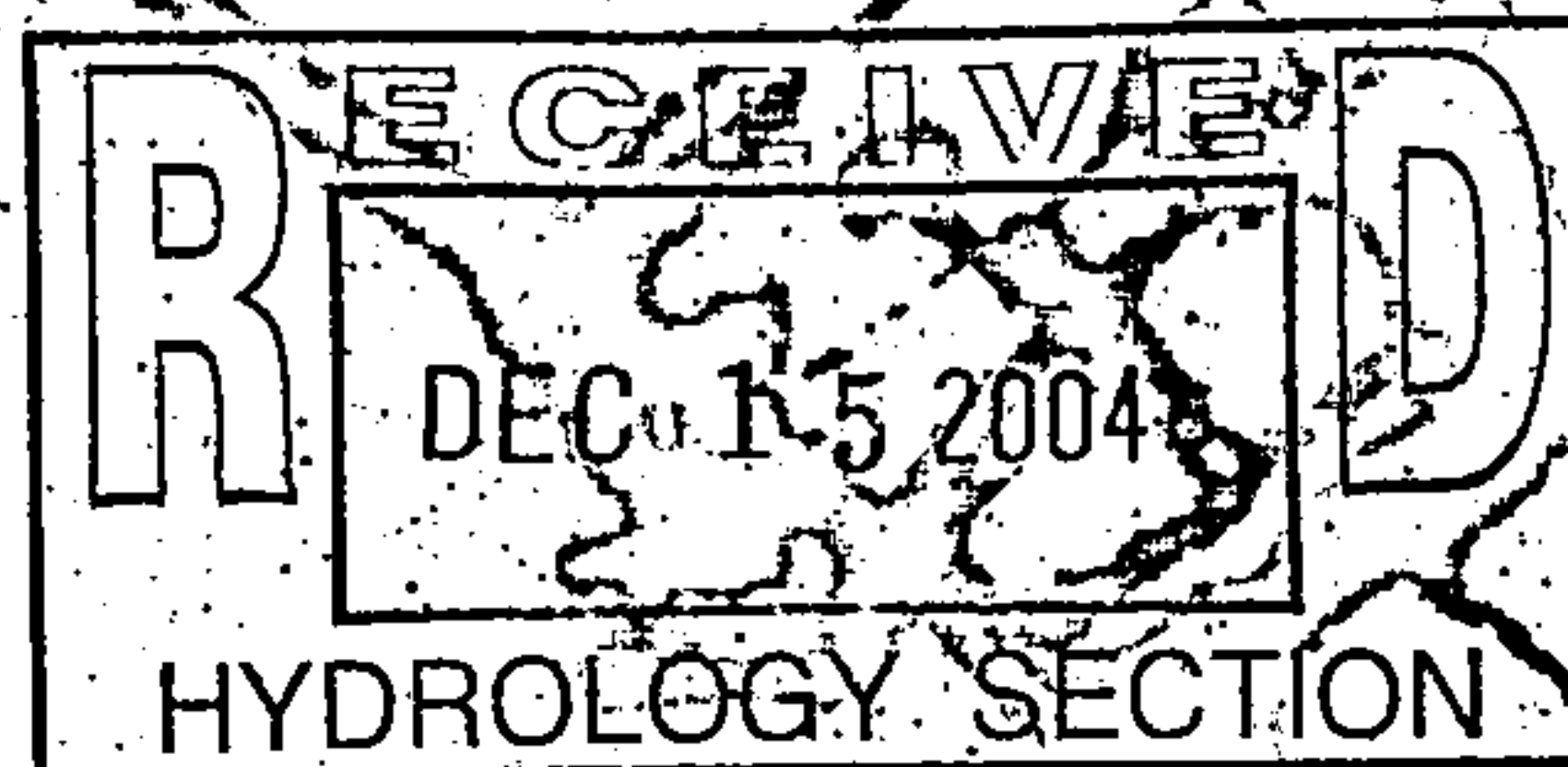
Sincerely,



Kells + Craig Architects
Jonathan Craig, AIA



cc: Sylvia Fettes, City of Albuquerque Department of Family and Community Services, file.



Kells + Craig
Architects, Inc. AIA

400 Gold SW Suite 880
Albuquerque NM 87102

e-mail: kelcraig@nmia.com
Phone: 505 • 243 • 2724
FAX: 505 • 842 • 5804