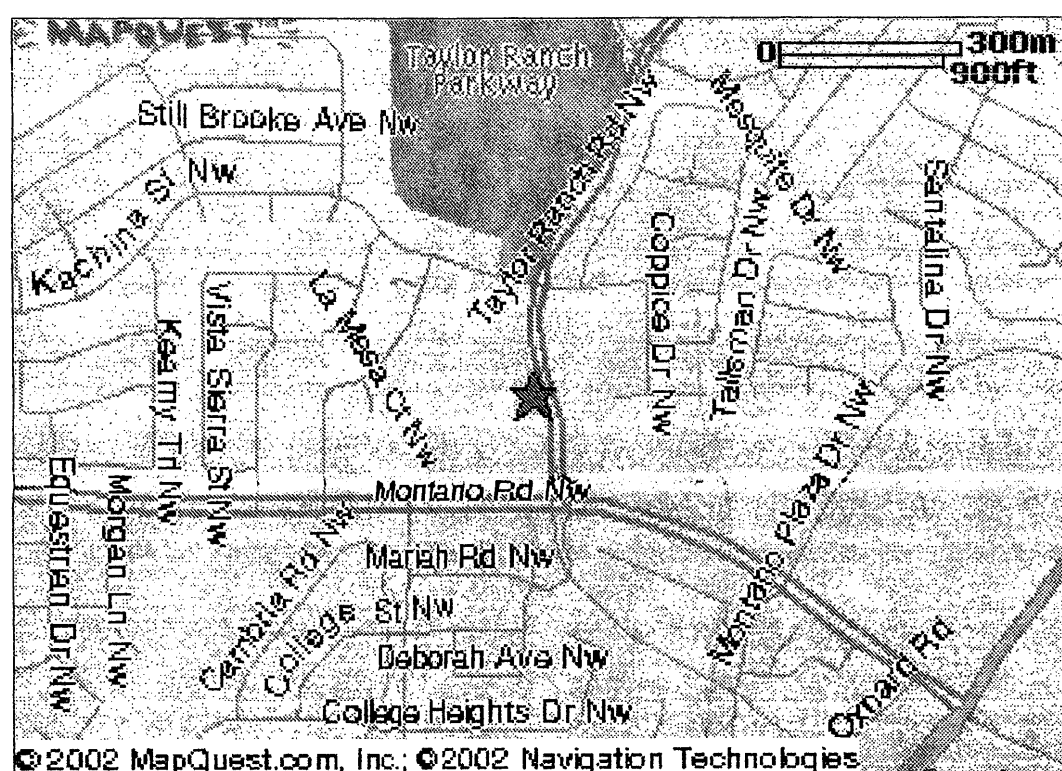


SITE VICINITY MAP



SITE DATA

1. PARKING DATA:
 WORKSHOP SIZE: 312 SEATS
 FUTURE WORKSHOP: 450 SEATS
 ALBUQUERQUE ZONING CODE 14-16-3-11 SP/AC PER 4 SEATS
 SPACES REQUIRED = 312/4 = 78
 SPACES REQUIRED IN PHASE II = 450/4 = 113

A. EXISTING PARKING (SOME SPACES RESTRICTED) 105
 B. PHASE I NEW PARKING 41
 C. FUTURE PHASE II PARKING 46
 TOTAL PHASE I PARKING 146
 TOTAL FUTURE PARKING 151
 20 SMALL CAR SPACES = 10% OF TOTAL PHASE I PARKING

D. EXISTING HC PARKING 6
 6 REQUIRED AT PHASE I (SPACES RESTRICTED)
 7 REQUIRED AT PHASE II (ADD IN FUTURE)

E. BICYCLE PARKING 6 SPACES IN PHASE I

BUILDING ADDITION DATA	
EXISTING BUILDING	8648 SF
PHASE I	
LOBBY ADDITION	391 SF
OFFICE/FUT. KITCHEN	1940 SF
CLASSROOM	9140 SF
TOTAL PHASE I BUILDING	20119 SF
PHASE II	
SANCTUARY	5962 SF
CLASSROOM	5520 SF
TOTAL PHASE II BUILDING	31601 SF
OTHER STRUCTURES	
TEMPORARY CLASSROOM BUILDING	1798 SF
STORAGE SHED	248 SF

3/23/02 PM
 Backlog signed letter of cost

3/19/02 called PM
 back to let him know that he didn't know what letter was

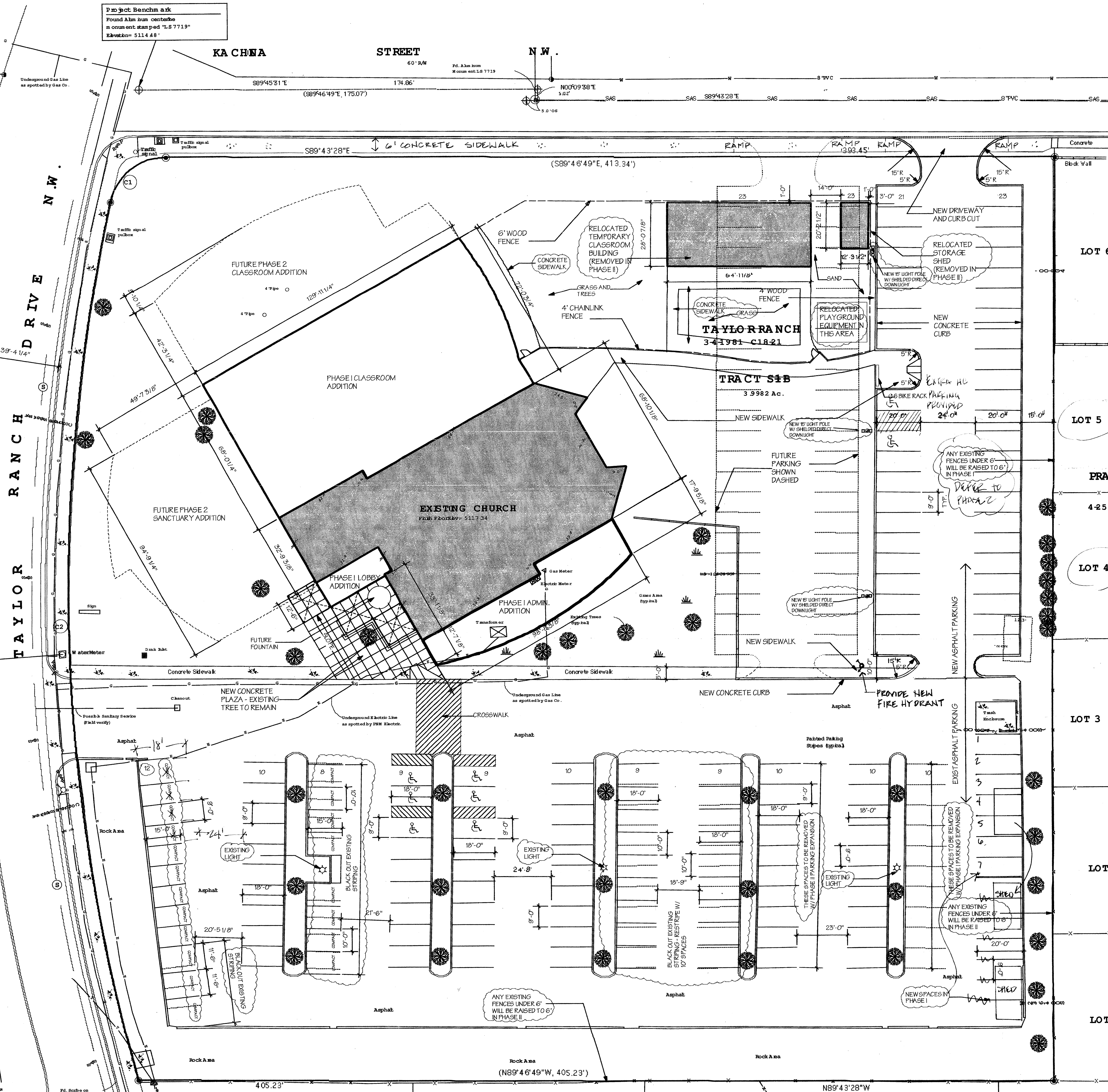
GENERAL NOTES:

1. CHURCH SIGNAGE WILL REMAIN AS EXISTING. ANY POSSIBLE FUTURE CHANGES WILL CONFORM TO CITY REQUIREMENTS.

2. ALL FREE-STANDING LIGHT FIXTURES SHALL MEET OFF-SITE LUMINANCE AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE IN SECTION 14-16-3-9.

CITY APPROVALS: PROJECT NO: 1000116

NA	DATE
CITY SURVEY	11-22-02
TRAFFIC ENGINEERING	11/20/02
CHRISTINA SANDORAL	12-3-02
REGINA A. GREEN	DATE
UTILITY DEVELOPMENT DIVISION	DATE
NA	DATE
REAL PROPERTY DIVISION	DATE
N/A	DATE
AMAFCA	11/20/02
ENGINEER	11/20/02
SHAWN MALONE	11-20-02
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
Michael Holton	DATE
SOLID WASTE	DATE
NA	DATE
ENVIRONMENTAL HEALTH	DATE



TRACT S-1 A
 TAYLOR RANCH
 34-1981 C18-21

TRACT S-1 B
 TAYLOR RANCH
 34-1981 C18-21

AFD PLANS CHECKING OFFICE
 824-5511
 APPROVED/DISAPPROVED
 HYDRAULIC(S) ONLY
 SIGNATURE & DATE

1 AMENDED SITE DEVELOPMENT PLAN - Revised 3/16/04
 ALL 1"=20'-0"

STATION NINETEEN

Architects - Incorporated
 2001 UNIVERSITY AVENUE SOUTH EAST
 MINNEAPOLIS, MINNESOTA 55414
 PHONE (612) 623.1800
 FAX (612) 623.0012

D+B
 DORMAN and BREEN ARCHITECTS
 13604 REBONITO COURT N.E.
 ALBUQUERQUE, NM 87112
 PHONE (505) 263-5940
 FAX (505) 296-0431

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

NEW MEXICO

Architect
 Registration Number
 11/5/02
 Date
 TDD RVB
 Drawn By Checked By

Revisions...

4244
 Project Number

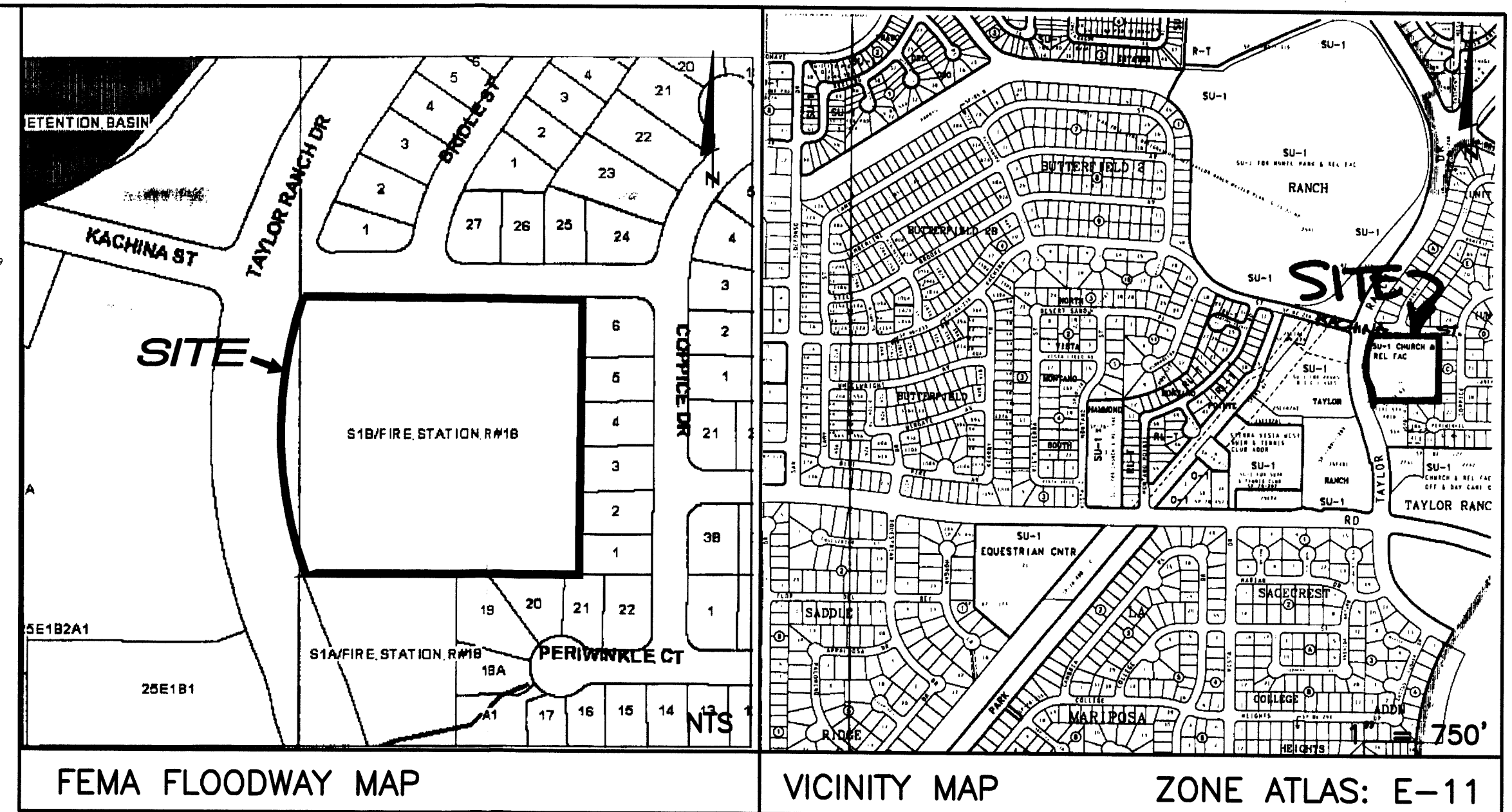
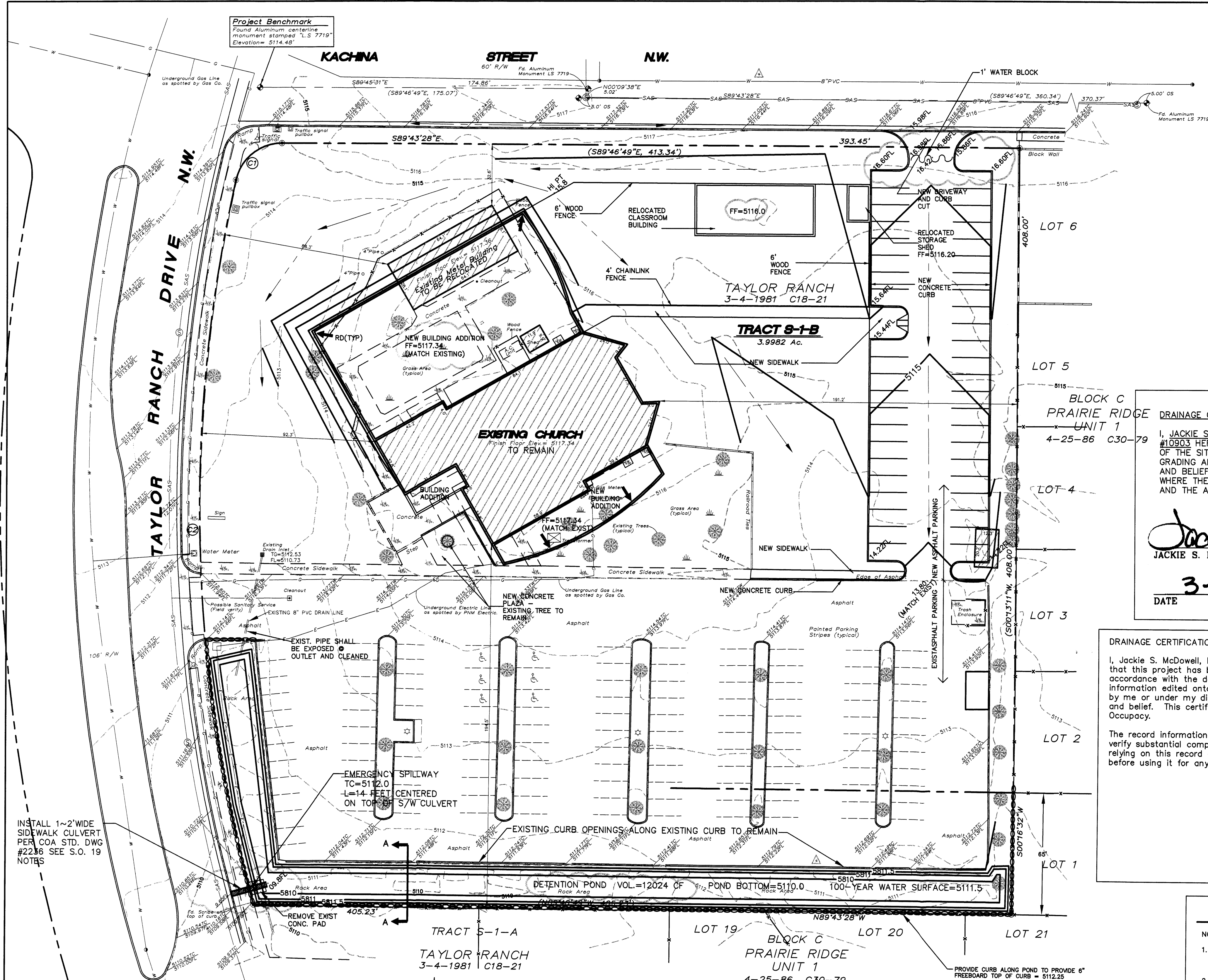
CROSS OF HOPE LUTHERAN CHURCH

ALBUQUERQUE
 NEW MEXICO

RECEIVED
 MAR 19 2004
 HYDROLOGY SECTION

EPC/DRB
 SUBMISSION

SITE PLAN



DRAINAGE CERTIFICATION:

I, JACKIE S. MCDOWELL, P.E., OF MCDOWELL ENGINEERING, INC. NMPE #10903 HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED.

Jackie S. McDowell
JACKIE S. MCDOWELL, P.E.

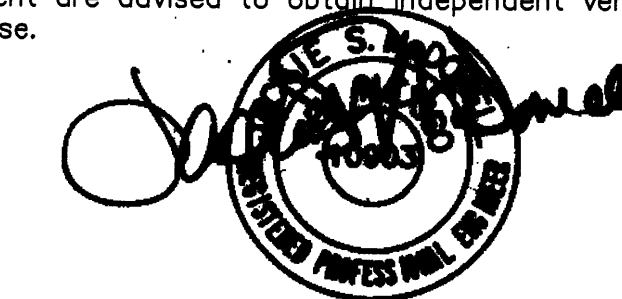
3-18-04
DATE



DRAINAGE CERTIFICATION

I, Jackie S. McDowell, NMPE #10903, of the firm of McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated July 27, 2003. The record information edited onto the attached revised original Cad design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.



3-10-06

S.O. 19 NOTES

NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
- All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1986 as amended through the latest edition.
- Two working days prior to any excavation, contractor must contact New Mexico One Call System, 260-1990, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to _____ street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

DESIGN APPROVAL	Hydrology Section	Date
INSPECTION APPROVAL	Trans./Street Maint.	Date
ACCEPTANCE	Construction Mgt. Div.	Date

ROUTE AS-BUILT DWG. TO MAPS AND RECORDS
ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION

LEGEND

EXISTING PROPOSED

- CONTOUR
- PROPERTY LINE
- ROAD
- SETBACK
- CURB & POND (ELEV=5112.25)
- AS BUILT SPOT ELEVATION

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
- PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
- THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
- ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDING WITH NATIVE SEEDING MATERIAL.
- THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY).
- AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDING IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

Jackie S. McDowell
10-7-02
REV. 7-27-03
RECEIVED
MAR 20 2006
HYDROLOGY SECTION

BERNALILLO COUNTY NEW MEXICO

TRACT S-1-B
TAYLOR RANCH

CROSS OF HOPE LUTHERAN CHURCH GRADING & DRAINAGE PLAN

McDowell Engineering Inc.

Designed JSM Drawn STAFF Checked JSM Sheet of
File COH0102L Date OCTOBER,2002 1 1

SURVEY GENERAL NOTES

- Bearings are grid, based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "NM448-N7A"
- Distances are ground.
- Record bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "L.S. 9750" unless otherwise indicated hereon.
- Said Tract S-1-B is subject to all conditions, restrictions and agreements as designated on said plat of record filed in the office of the County Clerk of Bernalillo County, New Mexico on March 4, 1981 in Volume C18, Folio 21.
- Vertical datum shown hereon is based upon the Albuquerque Control Survey Monument "5-E11" having an elevation of 5106.566 feet. (SLD 1929)
- Contour interval shown hereon is one (1') foot.
- Existing utilities as shown hereon were located by field survey where utilities appear visually on the surface. As-built drawings were obtained from the respective utility companies and line locations were scaled approximately from said drawings. All utilities should be field verified before commencement of any construction.

GRAPHIC SCALE

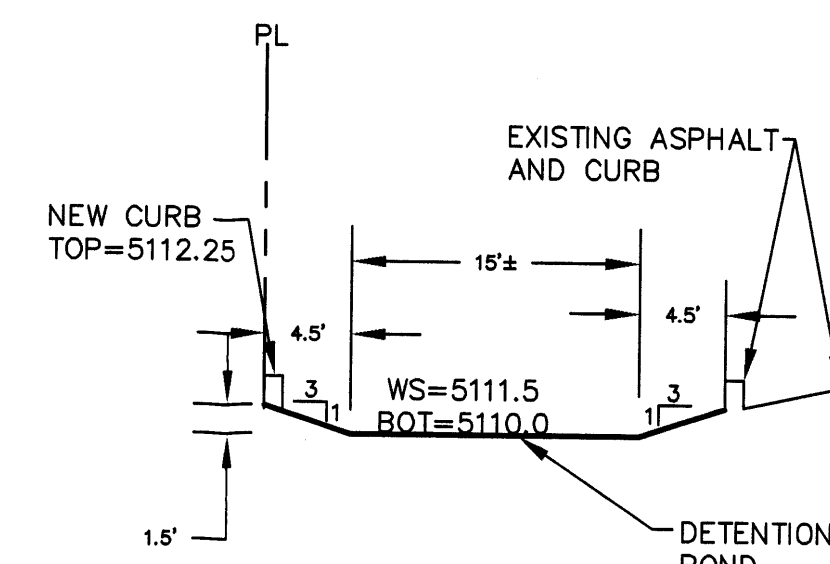


Curve Table

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	25.00'	33.92'	20.15'	31.38'	N51°23'22"E
C2	797.00'	392.46'	200.29'	388.51'	N01°35'23"W

LEGAL DESCRIPTION

Tract S-1-B of Taylor Ranch as the same is shown and designated on the plat entitled "SUMMARY PLAT, TAYLOR RANCH, TRACT S-1, NOW COMPRISING TRACTS S-1-A, S-1-B AND S-1-C, SECTIONS 23, 25 AND 26, T11N, R.2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on March 4, 1981 in Volume C18, Folio 21.



SECTION A-A

NTS