

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 5, 1990

Daniel Morehead
Greiner, Inc.
5971 Jefferson Street, NE
Albuquerque, New Mexico 87109

RE: REVISED DRAINAGE PLAN FOR THE TAYLOR RANCH LDS CHURCH
(E-11/D23) ENGINEER'S STAMP DATED FEBRUARY 23, 1990

Dear Mr. Morehead:

Based on the information provided on your submittal of February 23, 1990, the above referenced plan is approved for Building Permit.

Be advised that if the site construction takes place prior to the SAD for San Idelfonso Drive, the proposed sidewalk culverts into the street can be incorporated with the SAD work. If the street goes in first, then the S.O. #19 process will be used.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Darlene Saavedra

BJM/bsj
(WP+1161)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: TAYLOR LANCH LDS CHURCH ZONE ATLAS/DRAINAGE FILE # E-11/D23

LEGAL DESCRIPTION: TRACT D UNIT 3 VOLCANO CLIFFS

CITY ADDRESS: N/A

ENGINEERING FIRM: GREINER, INC CONTACT: JOHN BLOCK

ADDRESS: 5971 JEFFERSON NE PHONE: 345-3999

OWNER: CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS CONTACT: _____

ADDRESS: 50 EAST TEMPLE ST. SALT LAKE CITY PHONE: _____
UT

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

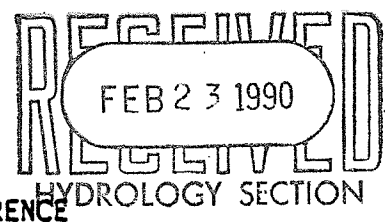
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES

____ NO

____ COPY OF CONFERENCE
RECAP SHEET PROVIDED



DRB NO. 89-302 & 89-122

EPC NO. _____

PROJECT NO. 3923

TYPE OF SUBMITTAL:

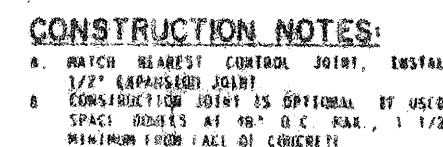
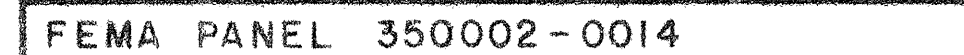
- ____ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ____ CONCEPTUAL GRADING & DRAIN PLAN
- ☒ GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

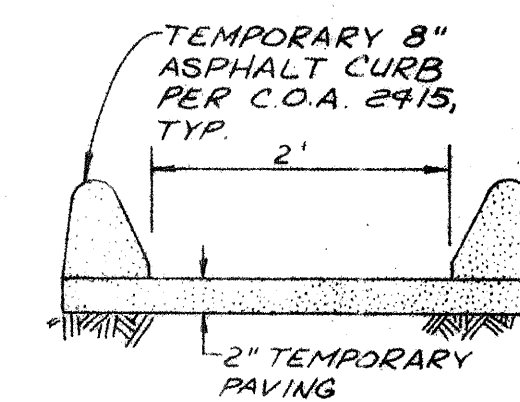
- ____ SECTOR PLAN APPROVAL
- ____ SKETCH PLAT APPROVAL
- ____ PRELIMINARY PLAT APPROVAL
- ____ SITE DEVELOPMENT PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY APPROVAL
- ____ ROUGH GRADING PERMIT APPROVAL
- ____ GRADING/PAVING PERMIT APPROVAL
- ☒ OTHER S.O. 19 (SPECIFY)

DATE SUBMITTED: 2-23-90

BY: John Block



SECTION B-B

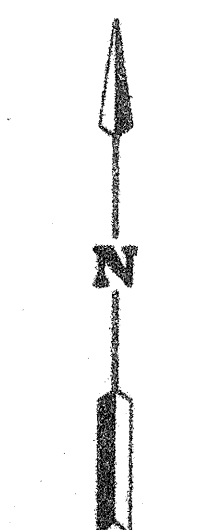
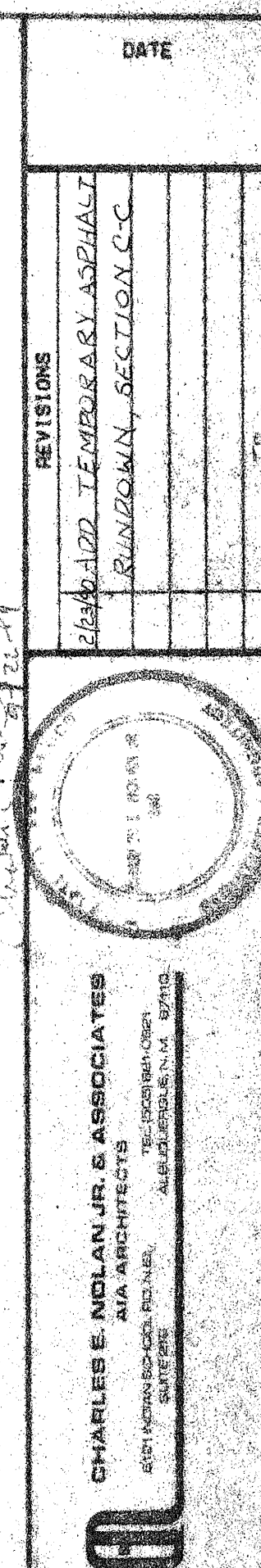


SECTION C-C
NTS

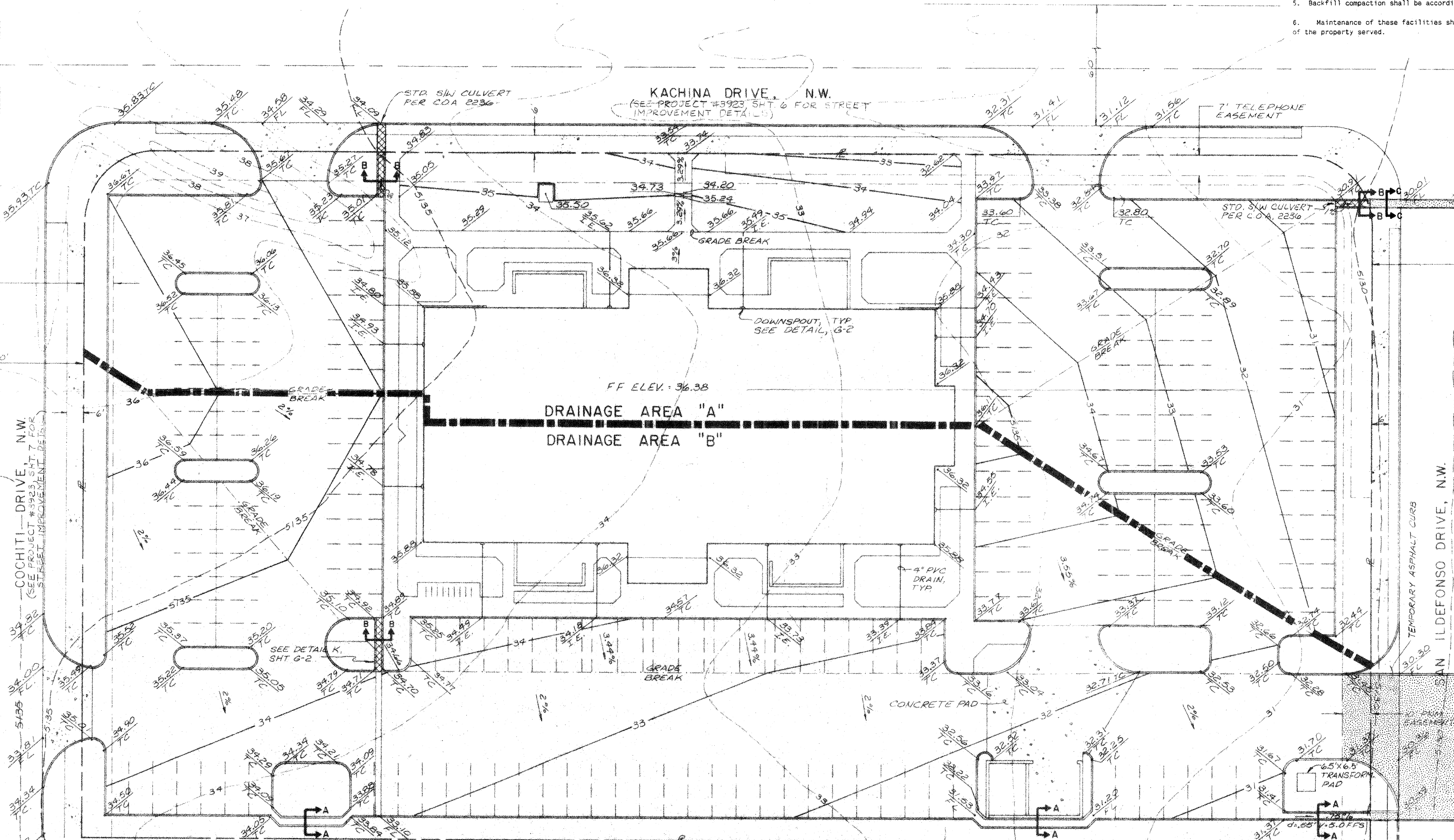
GRADING & DRAINAGE PLAN

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1985.
3. Two working Days prior to any excavation, the contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Residential Street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.



SCALE: 1" = 20'



222-90
for added design!

LEGAL DESCRIPTION:

Lots 1, 2, 9, & 10 Block 2 Unit 3
Volcang Cliffs Subdivision

BENCH MARK:

A chiseled square "□" on top of curb at ESE curb return of the intersection of Montano Rd. and Equestrian Dr.
Elev. 5120.02 (ACS)

NOTES:

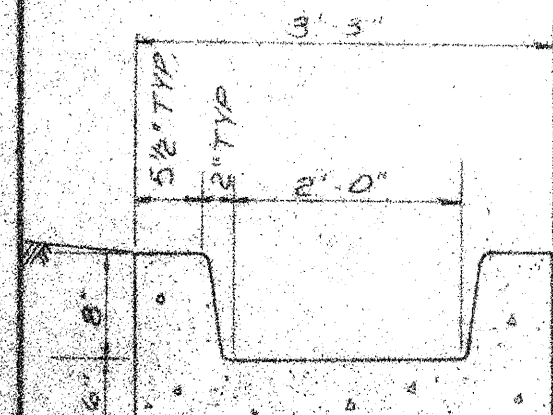
3. All areas not covered by paving, sidewalk or building are to be landscaped per site development plan.
4. The site is currently vacant, no structures or garden walls exist within 25' of the property lines.
5. No drainage facilities exist on site.
6. Due to the existing dirt road on the north and west there are no upstream off site flow.
7. Erosion Control Plan: Development will not be phased. A top soil disturbance permit will be required for grading. Also, erosion control during construction will be the contractor's responsibility. The permanent phase erosion will be controlled by paving and landscaping.

TECHNICAL DATA CORP
FEB 23 1990
HYDROLOGY SECTION
PUBLIC INFRASTRUCTURE I.E.
SEWER, WATER, AND STREETS
KACHINA & COCHITI DESIGNED BY
GREINER INC. IN COMPLIANCE WITH
DRB 89-302.

DRAINAGE DIVISION
FILE #E-117

Greiner

5971 Jefferson Blvd., N.E.
Suite 101
Albuquerque, New Mexico 87109
(505) 345-3999



SECTION A-A

DRAINAGE:

The existing drainage generally sheet flows to the east and is intercepted by San Ildefonso.

Undeveloped Flow

Area = 2.492 ac.
C = 0.40 per "Emergency Rule"
Tc = 10 min by observation
I = 5.284
Q = CIA = 5.3 cfs

Deviated Flow

Area "A"
Area = 1.084 ac.
C = 20% @ .25; 17% @ .90; 55% @
.95 = 0.75
Tc = 10 min
I = 5.284
Q = CIA = 4.3 cfs

Area "B"
Area = 1.408 ac.
C = 28% @ .25
.95 = .75
Tc = 10 min
I = 5.284
Q = CIA = 5.6 cfs

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

Benny Montoya 3/2/90

Construction Section Date

Construction section

LEGEND

- Existing Contours
Proposed Contours
Proposed Spot Elevations
Drainage Boundary
Sidewalk Drain
Property Line
Downspout

SEE COA WORK ORDER
#3923, SHT 7 OF 11
FOR POND INFO.

1
 DANIEL L. MORENO
 6894
 PROFESSIONAL ENGINEER
 8/1/89
 For Review Only

ALBUQUERQUE 13 & TAYLOR RANCH WARDS
ALBUQUERQUE NEW MEXICO STAKE
ALBUQUERQUE NEW MEXICO

SHEET TITLE

GRADING AND DRAINAGE PLAN

DRAWN BY: JTB	CHECKED BY: Z
PROJECT NUMBER 534-2213-77	
DEVELOPMENT NUMBER SA 88-231/232	
SHEET NO. SD-2	