



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 25, 1990

Thomas Mann
The Mann Company Inc.
8200 Mountain Road NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR CARROW'S RESTAURANT @ MONTANO PLAZA (E-12/D3A)
ENGINEER'S STAMP DATED MAY 22, 1990

Dear Mr. Mann:

Based on the information provided on your May 22, 1990 submittal, the above referenced drainage plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

Bernie J. Montoya
for Fred Aguirre, P.E.
Hydrology Division

BJM:jc
WP+1887

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



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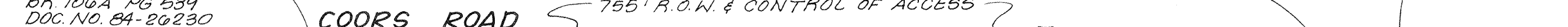
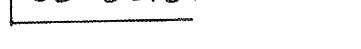
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Tract 1-A-2-A Lands of Joel P. Taylor

6200 Coors Road NW

BENCHMARK

Coors Road and Montana Road.
Elevation 5006.41

Elevation = 3006.41

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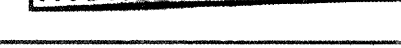
APPROVAL DATE _____ DISAPPROVED _____

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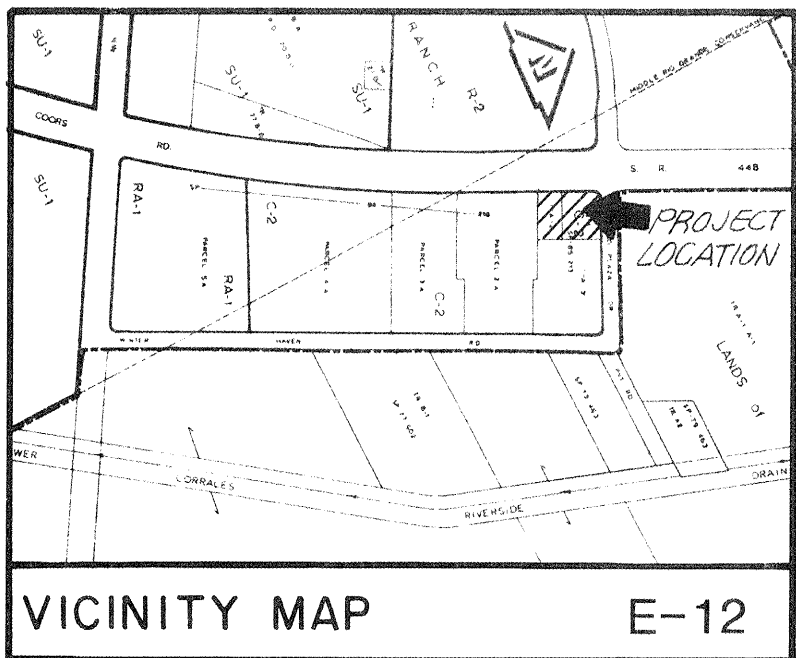
CARROWS RESTAURANT

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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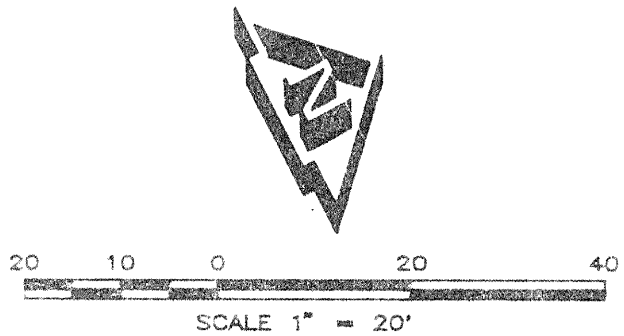
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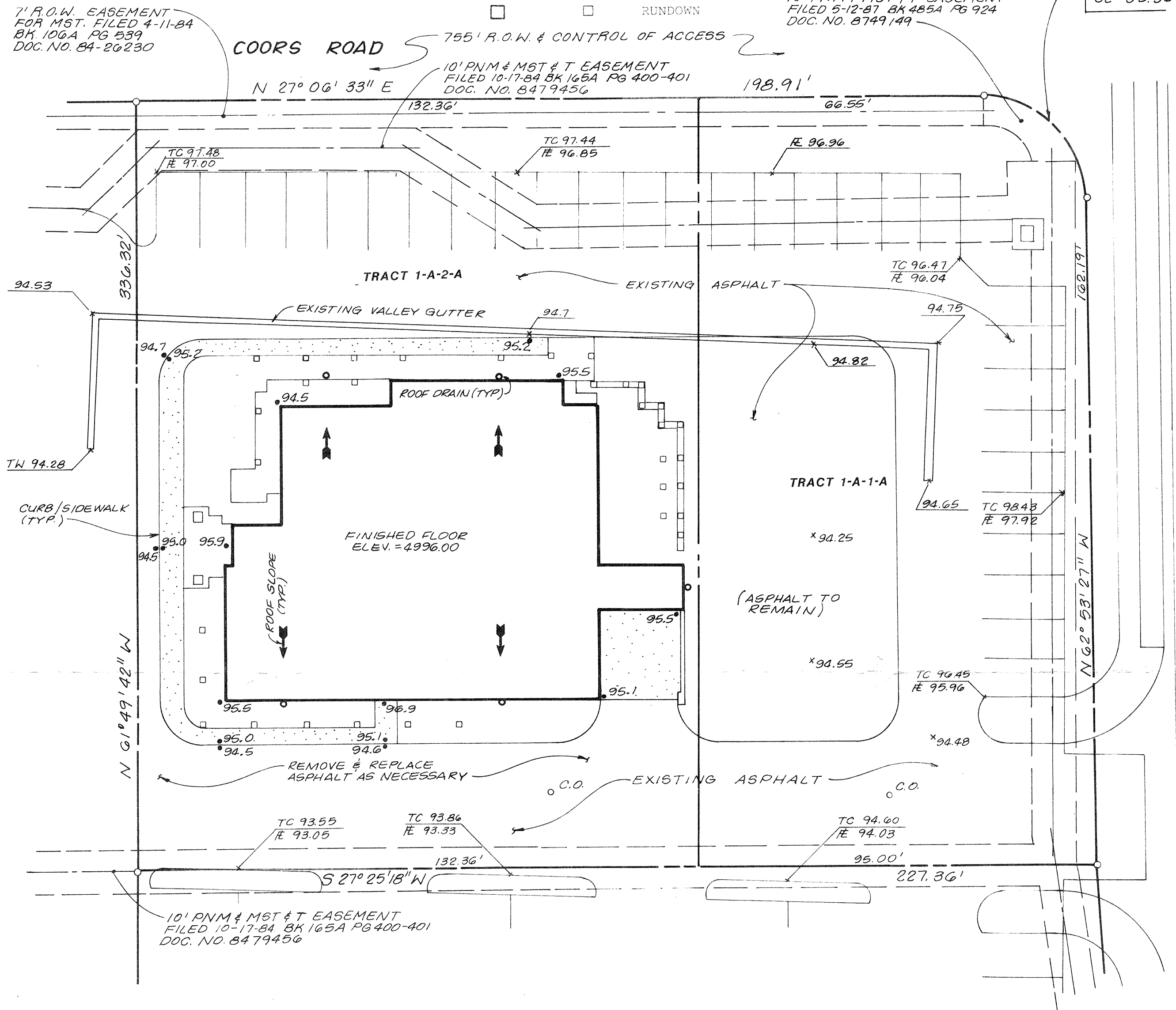


LEGEND

| EXISTING | NEW | DESCRIPTION |
|----------|-----|---------------------|
| | | CURB & GUTTER |
| | | SPOT ELEVATION |
| | | CONTOUR |
| | | BUILDING |
| | | DRAINAGE PIPE |
| | | PROPERTY LINE |
| | | BASIN DIVISION LINE |
| | | ROOF DRAINS |
| | | RUNDOWN |



$\Delta = 90^{\circ}00'00''$
 $R = 25.00'$
 $L = 39.27'$
 $CB = N 72^{\circ}53'27''E$
 $CL = 35.36'$



LEGAL DESCRIPTION

Tract 1-A-2-A Lands of Joel P. Taylor

ADDRESS

6200 Coors Road NW

BENCHMARK

City of Albuquerque Brass Cap
NM-448-N7 located at intersection of
Coors Road and Montano Road.
Elevation = 5006.41

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

CONSTRUCTION NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 260-1590, FOR THE LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

DRAINAGE PLAN

The following items concerning the Carrows Restaurant Grading and Drainage Plan are contained hereon.

1. Vicinity Map
2. Grading Plan

The site, as shown by the Vicinity Map, is located within the Montano Plaza Shopping Center at Coors Road NW and Montano Road NW. The site is a "pad" site in the parking area of the center. The majority of the center is developed. At present, the site is paved. The site slopes from north to south. The site does not lie within a flood hazard zone. A drainage plan for the entire center was prepared by Chaves Grieves. This plan is consistent with theat plan.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'-0" intervals, 2) continuity between existing and proposed elevations, 3) the limit and character of existing improvements and 4) the limit and character of proposed improvements. The proposed improvements will consist of a restaurant and associated landscaping. Existing asphalt will be removed to allow for this construction. Runoff will continue to the south as it currently does and conform to the previously approved drainage plan.

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HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT

ENGINEER B. J. Mann DATE 5/24/90

INSPECTION REQUESTED DATE _____

APPROVAL DATE _____ DISAPPROVED _____

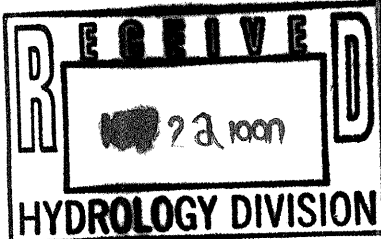
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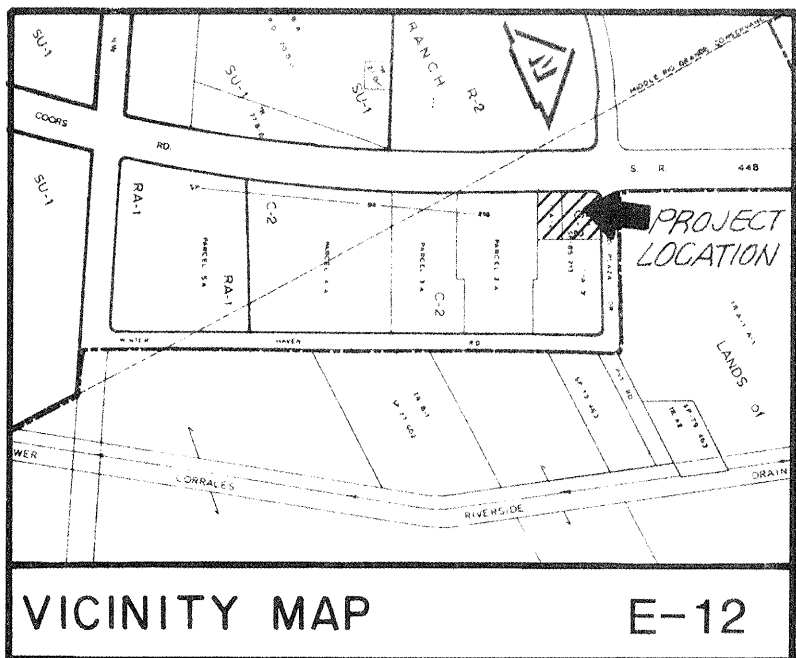
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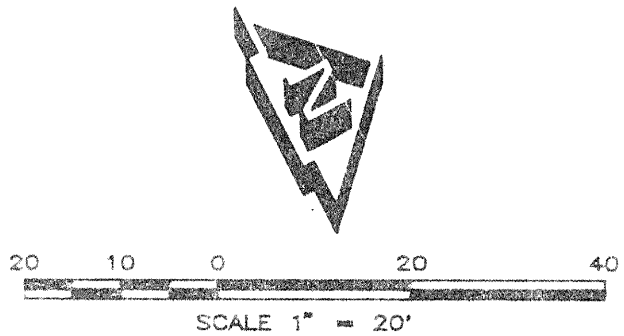


| NO. | DESCRIPTION | DATE |
|--|-------------|--------------|
| REVISIONS | | |
| CARROWS RESTAURANT GRADING AND DRAINAGE PLAN | | |
| THE MANN COMPANY, INC. 8200 MOUNTAIN ROAD N.E. SUITE 102 ALBUQUERQUE, NEW MEXICO 87110 (505) 286-3555 | | |
| JOB NO. | DATE | DESIGN BY |
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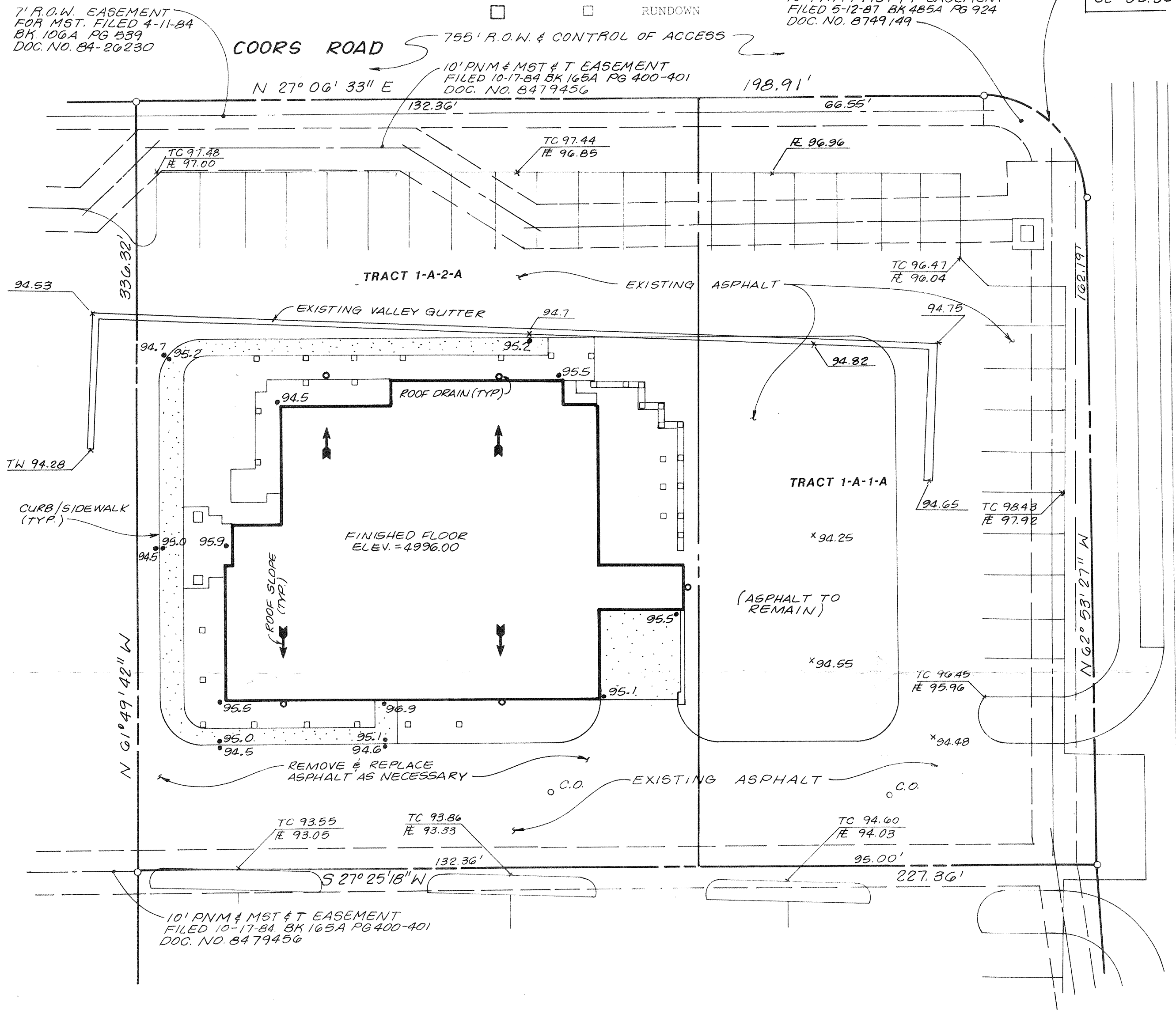


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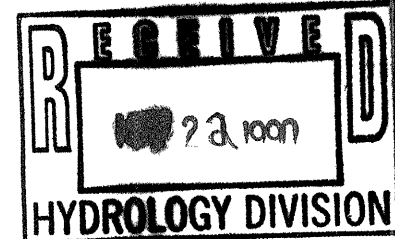
S019 APPROVAL DATE _____

SURVEY DATE _____

HYDROLOGY BOOK NO./PAGE NO. _____

SUBMITTED BY _____

COMMENTS _____



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| DRAWN BY | CHECKED BY | SHEET NUMBER |
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