

VICINITY MAP E-12-Z
(NOT TO SCALE)

EROSION CONTROL MEASURES:

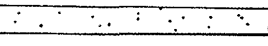

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = 72'-08.47'
CURB FLOWLINE ELEVATION = 72'-08.97'
EXISTING SPOT ELEVATION = 72'-08.25'
EXISTING CONTOUR ELEVATION = 72'-08.00'
PROPOSED SPOT ELEVATION = 72'-08.00'
PROPOSED CONTOUR ELEVATION = 72'-08.00'
PROPOSED OR EXISTING CONCRETE SURFACE = 
EXISTING FENCE LINE = 

LEGAL DESCRIPTION:

Parcels "1-A-1-A" and "1-A-2-A", Lands of Joel P. Taylor, to the City of Albuquerque, New Mexico; (said parcels being replatted into one parcel).

BENCH MARK REFERENCE:

ACS Station "NM448-N8", Elevation of 5018.92 (SLD-1929); Project T.B.M. as shown on the plan hereon.

FLOOD ZONE DETERMINATION:

The subject property (as shown hereon) lies within zone "X" (areas determined outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0118-E, effective Date 11-19-03.

UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

NOTE: DAY LIGHT NEW ASPHALT DRIVE, AROUND NEW BUILDING TO EXISTING ASPHALT.

"CUT-OUT" EXISTING ASPHALT DRIVE FOR PROPOSED BUILDING PAD SITE.

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-10. PEAK INTENSITY (IN/Hr at 4-6.2 hour)	
Zone	Intensity
1	4.70 (1.84, 3.14)
2	5.38 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)

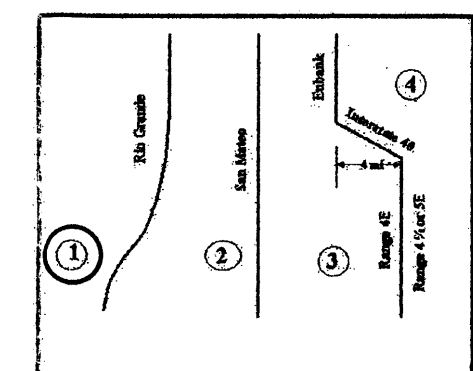


TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfilled Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-9. PEAK DISCHARGE (cfs/acre)	
Zone	Treatment
	100-YR (2-YR, 10-YR)
1	A 1.52 (0.00, 0.24) B 2.03 (0.33, 0.76) C 2.87 (0.47, 1.49) D 4.57 (1.69, 2.89)
2	A 1.56 (0.00, 0.38) B 2.28 (0.08, 0.95) C 3.14 (0.60, 1.71) D 4.70 (1.86, 3.14)
3	A 1.87 (0.00, 0.58) B 2.60 (0.21, 1.19) C 3.45 (0.78, 2.009) D 5.02 (2.04, 3.39)
4	A 2.20 (0.05, 0.87) B 2.92 (0.38, 1.45) C 3.73 (1.00, 2.26) D 5.25 (2.17, 3.57)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located at the Southeast corner of the intersection of Coors Blvd. N.W. and Montano Plaza Drive N.W., within the Montano Plaza Center, in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "E-12-Z").

The subject site, 1.) is at the present time almost 100% impervious as portion of an existing paved parking area, 2.) is to have a building pad for retail shops, 3.) is portion of an existing overall drainage plan for said Montano Plaza Center and will have no alterations to the existing drainage pattern, 4.) accepts and will continue to accept offsite flows from the landscape areas within the aforementioned street right-of-ways.

Calculations

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area: 0.91 Acres

Precipitation Zone: One (1)

Peak Intensity: In./Hr. at Tc = Twelve (12) minutes, 100-Yr.-6 Hr. = 4.70

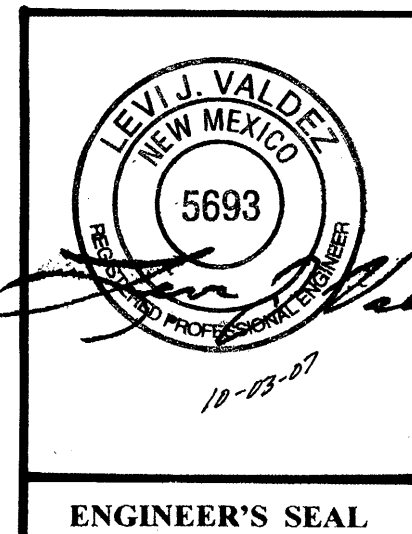
Land Treatment Method for Calculations of "Qp", Tables A-8 & A-9.

"Land Treatment Factors", Table 4-A.

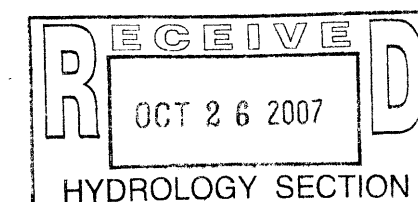
EXISTING AND PROPOSED CONDITIONS:

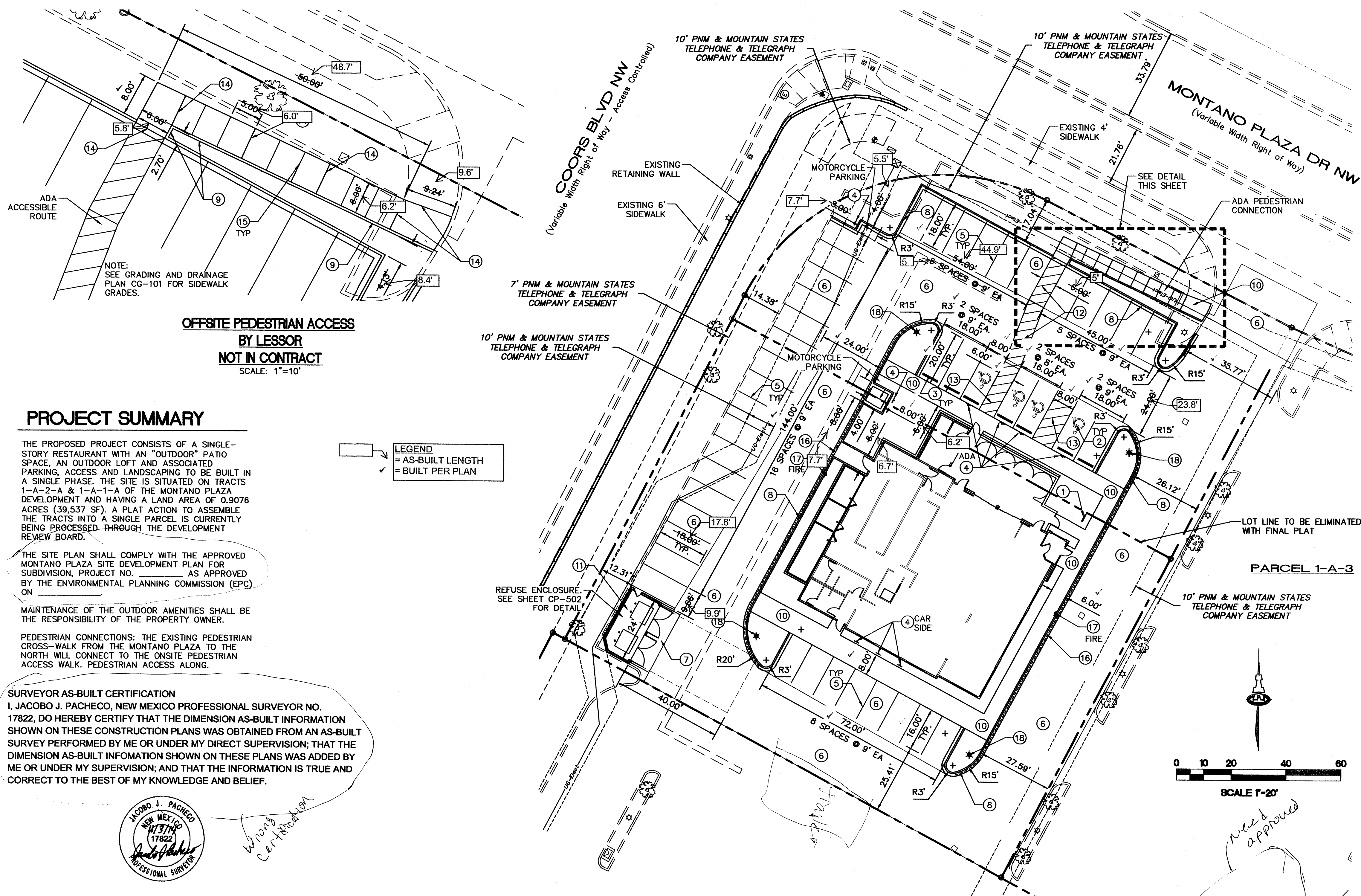
TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.07	X	2.87 = 0.20
D	0.84	X	4.37 = 3.67

"Qp" = 3.87 CFS (NO INCREASE)



A PROPOSED
DRAINAGE PLAN
FOR
RETAIL SHOPS
AT
MONTANO PLAZA
ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 2007





1. SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR MONTANO PLAZA. ONE MONUMENT SIGN IS PROPOSED ALONG MONTANO PLAZA DR. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
2. ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
3. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-0, AREA REGULATIONS OF THE CITY OF COMPREHENSIVE ZONING CODE, AND THE MONTANO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
4. ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
5. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
6. RAINDRAW HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
7. RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.

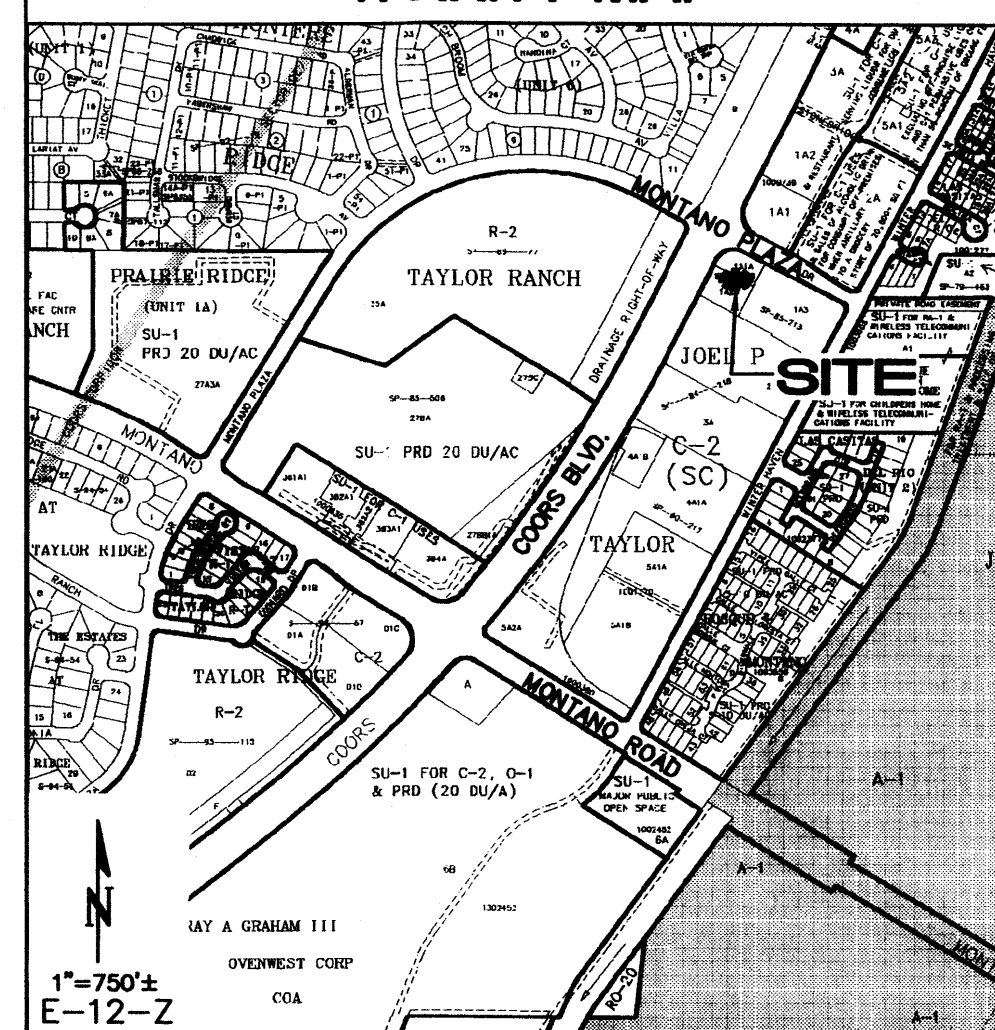
8. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
9. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
10. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
12. ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.

13. SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
14. ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG. 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
15. ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
16. ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
17. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
18. ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
19. ALL CURB RADII AT END OF ISLANDS ARE 3'R UNLESS OTHERWISE DIMENSIONED.

PROJECT NUMBER:	
Application Number:	
Is any infrastructure list required? () Yes () No	If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	

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CANTON, GA 30115

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128 MONROE ST NE
ALBUQUERQUE, NM 87108



LEGAL DESCRIPTION: PARCEL 1-A-1-A, 1-A-2-A, LANDS
OF JOEL P. TAYLOR, CITY OF
ALBUQUERQUE, NM

ZONING: C-2(SC)

AREAS:
TRACT AREA: 39,537 SF
BUILDING FOOTPRINT: 6,475 SF
.F.A.R. 0.164

PROPOSED USE:
RESTAURANT WITH PATIO DINING

TOTAL PARKING SPACES
 REQUIRED = 297 OCCUPANCY/3 = 99 SPACES
 PROVIDED = 43 SPACES SITE,
 845 SHARED SPACES PER MONTAÑO PLAZA
 SITE PLAN DATED 04/06/1988

ADA PARKING SPACES
REQUIRED = 4 SPACES
PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)

MOTOR CYCLE PARKING SPACES
REQUIRED = 3 SPACES
PROVIDED = 3 SPACES

BICYCLE PARKING
REQUIRED = $97/20 = 5$ SPACES
PROVIDED = 5 SPACES

1. BIKE RACK. (MINIMUM 5 SPACES) SEE DETAIL SHEET CP-501.
2. REFLECTORIZED PAVEMENT MARKING HANDICAP SYMBOL; SEE DETAIL SHEET CP-501.
3. PCC WHEEL STOP; SEE DETAIL SHEET CP-501.
4. PARKING SIGNS; SEE DETAIL SHEET CP-501
5. REFLECTORIZED PAVEMENT MARKING 4" SOLID WHITE STRIPE.
6. ASPHALT PAVING, SEE DETAIL SHEET CP-501.
7. CONCRETE PAVING; SEE DETAIL SHEET CP-501.
8. PCC CURB AND GUTTER; SEE DETAIL SHEET CP-501.
9. PCC SIDEWALK CURB; SEE DETAIL SHEET CP-501.
10. PCC HEADWALK; SEE DETAIL SHEET CP-501.
11. DUMPSTER PAD, SEE SHEET CP-502 FOR DETAILS.
12. CROSS WALK TO HAVE DIAGONAL 4" WIDE STRIPES AT 4'-0" O.C.
13. REFLECTORIZED PAVEMENT MARKING 4" WIDE SOLID BLUE STRIPES AT 4'-0" O.C.
14. $\frac{1}{2}$ " EXPANSION JOINT.
15. CONTRACTION JOINT.
16. CURB PAINTED RED WITH SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
17. NO PARKING FIRE LANE SIGN.
18. SITE LIGHT POLES AND FIXTURES, SEE SHEET CP-501 FOR DETAILS.

~~★~~ clean up site

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

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Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iaacivil.com

1984 CP-102.dwg May 19, 2014

Chckloverarchitect

THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision as an instrument of service and is intended for use only on this project. All Drawings, Specifications, ideas and designs, including the overall layout, form, arrangement, and composition of space and elements portrayed, constitute the original, unpublished Work of the Architect. Any reproduction, use, or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

THE ARCHITECT'S DISCLOSURE responsibility for the existing building conditions, including identification of any deficiencies, or any documents, drawings or other instruments paid for by any part of the Project which all bear the Architect's seal. The Architect's disclosure is not intended to constitute a warranty. The Architect's obligation is assumed by the Architect for the benefit of any other party.

RELATED CONDITIONS This Drawing is a single component of all drawings and documents prepared by the Architect for the Project. The Conditions of the Contract, General Requirements, Specifications and other drawings may affect the Work described. Failure to review such documents may result in the Contractor's failure to perform the Work. The Architect does not release the Contractor from preparing a complete Project Program.

CAREFUL With all rules, codes, ordinances and regulations with authorities having jurisdiction. The Contractor shall be responsible for obtaining all permits and shall take all actions and steps necessary to ensure that the Work complies with all applicable laws, codes, ordinances and regulations.

VERY AT RISK Conditions and dimensions prior to construction. Commitment of work correlates verification and acceptance of all dimensions and conditions. The Contractor shall be responsible for any conditions acceptance of final Work, and acceptance shall be established for satisfactory installation.

DIMENSIONS Shown as a basis for Work. Not intended to be a final dimension. DIMENSION & MEASURE are a basis for Work. Not intended to be a final dimension.

project title

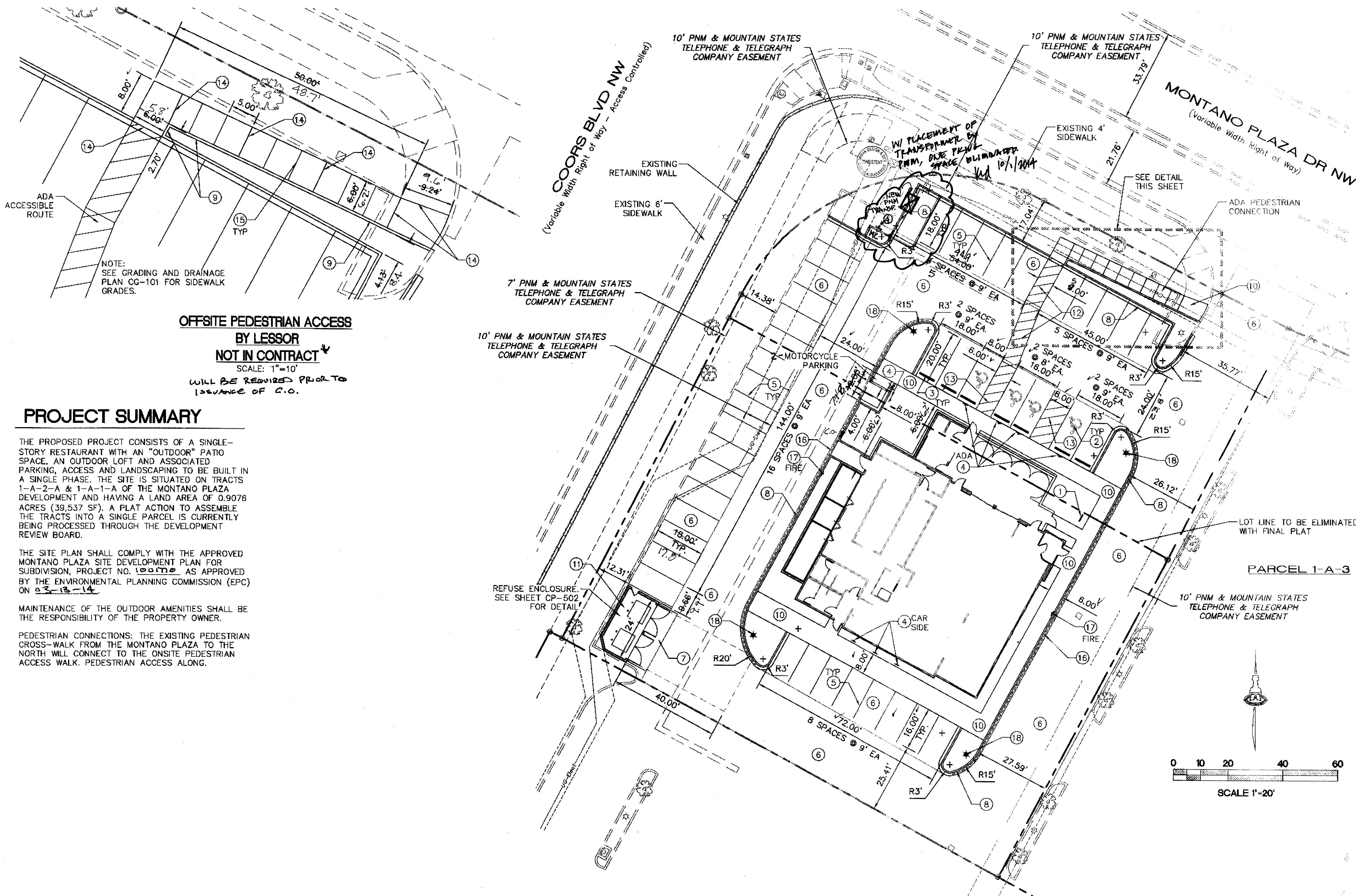
Applebee's
South East Corner of Coors Blvd and Montano Plaza Dr.
ALBUQUERQUE, NEW MEXICO, 12345

project number		
13024.016		
drawing issuance		
BID / PERMIT		05.31.2013
drawing revisions		
No.	Description:	Date:

professional seal

site
plan for
building
permit

cp-102



PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACTS 1-A-2-A & 1-A-1-A OF THE MONTANO PLAZA DEVELOPMENT AND HAVING A LAND AREA OF 0.9078 ACRES (39,537 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL IS CURRENTLY BEING PROCESSED THROUGH THE DEVELOPMENT REVIEW BOARD.

THE SITE PLAN SHALL COMPLY WITH THE APPROVED MONTANO PLAZA SITE DEVELOPMENT PLAN FOR SUBDIVISION, PROJECT NO. 100702, AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 03-19-14.

MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN CROSS-WALK FROM THE MONTANO PLAZA TO THE NORTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK. PEDESTRIAN ACCESS ALONG.

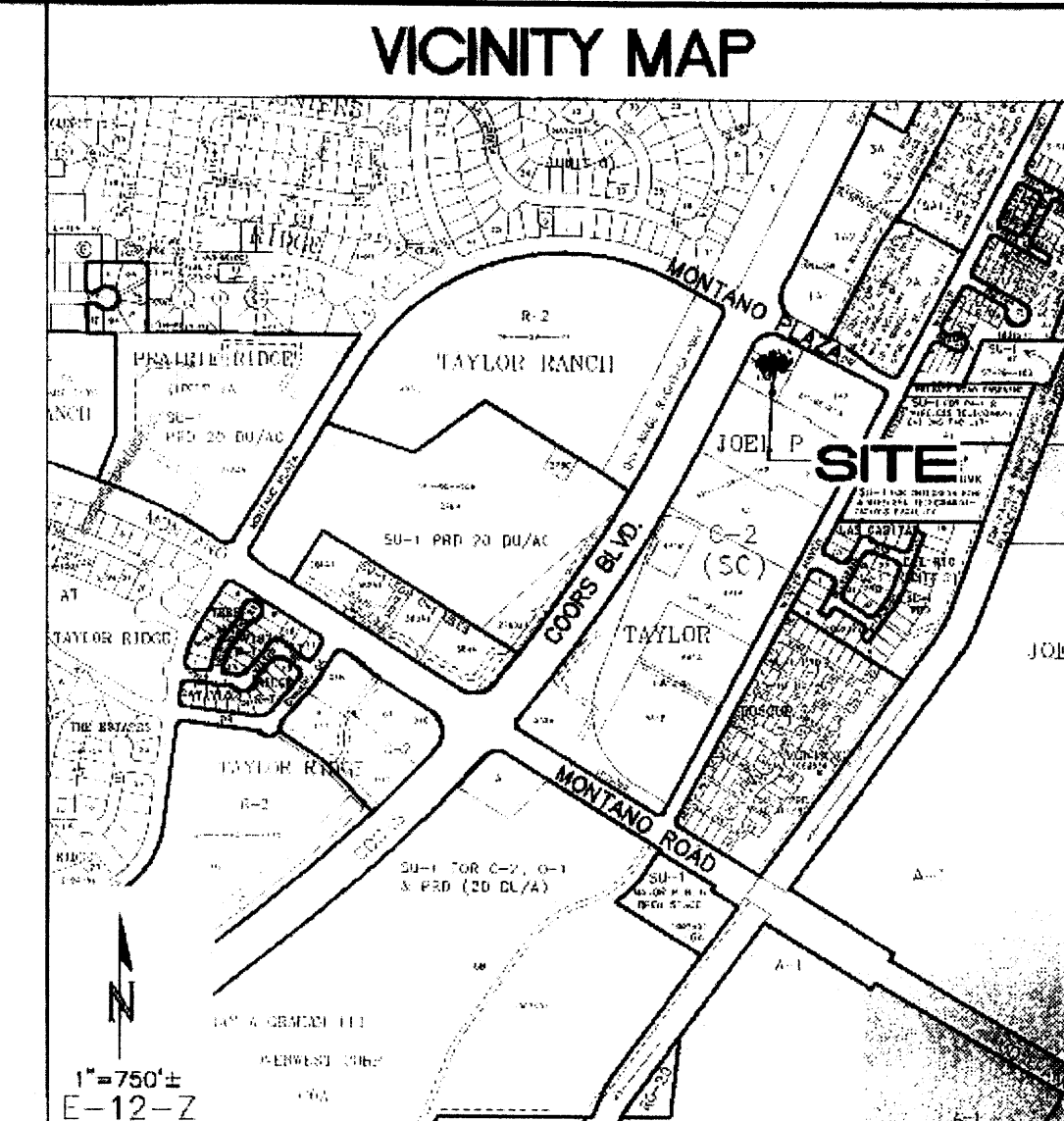
**OFFSITE PEDESTRIAN ACCESS
BY LESSOR
NOT IN CONTRACT**
SCALE: 1"=10'
WILL BE REQUIRED PRIOR TO
ISSUANCE OF C.O.

GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR MONTANO PLAZA. ONE MONUMENT SIGN IS PROPOSED ALONG MONTANO PLAZA DR. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTANO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
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- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
- SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG. 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
- ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
- ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
- ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
- ALL CURB RADII AT END OF ISLANDS ARE 3'R UNLESS OTHERWISE DIMENSIONED.

PROJECT NUMBER: 100770
Application Number: 14 DRB-70151
Is an Infrastructure List required? Yes () No (X) If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:
Traffic Engineering, Transportation Division: 06-02-14
Utilities Division: 05/21/14
City Engineer: 5-21-14
Environmental Health Department (conditional): 6-2-14
Solid Waste Management: 5-6-2014
Public Works Management: 6-2-14
Environmental Health, if necessary:

PREPARED FOR: APPLE INVESTORS GROUP
917 RAVENWOOD WAY
CANTON, GA 30115
PREPARED BY: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE
ALBUQUERQUE, NM 87108



PROJECT DATA

LEGAL DESCRIPTION: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM
ZONING: C-2(SC)

AREAS: TRACT AREA: 39,537 SF
BUILDING FOOTPRINT: 6,475 SF
F.A.R.: 0.164

PROPOSED USE: RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

TOTAL PARKING SPACES
REQUIRED = 297 OCCUPANCY/3 = 99 SPACES
PROVIDED = 432 SPACES SITE, 845 SHARED SPACES PER MONTANO PLAZA SITE PLAN DATED 04/06/1988
ADA PARKING SPACES
REQUIRED = 4 SPACES
PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)
MOTOR CYCLE PARKING SPACES
REQUIRED = 3 SPACES
PROVIDED = 3 SPACES
BICYCLE PARKING
REQUIRED = 97/20 = 5 SPACES
PROVIDED = 5 SPACES

KEYED NOTES

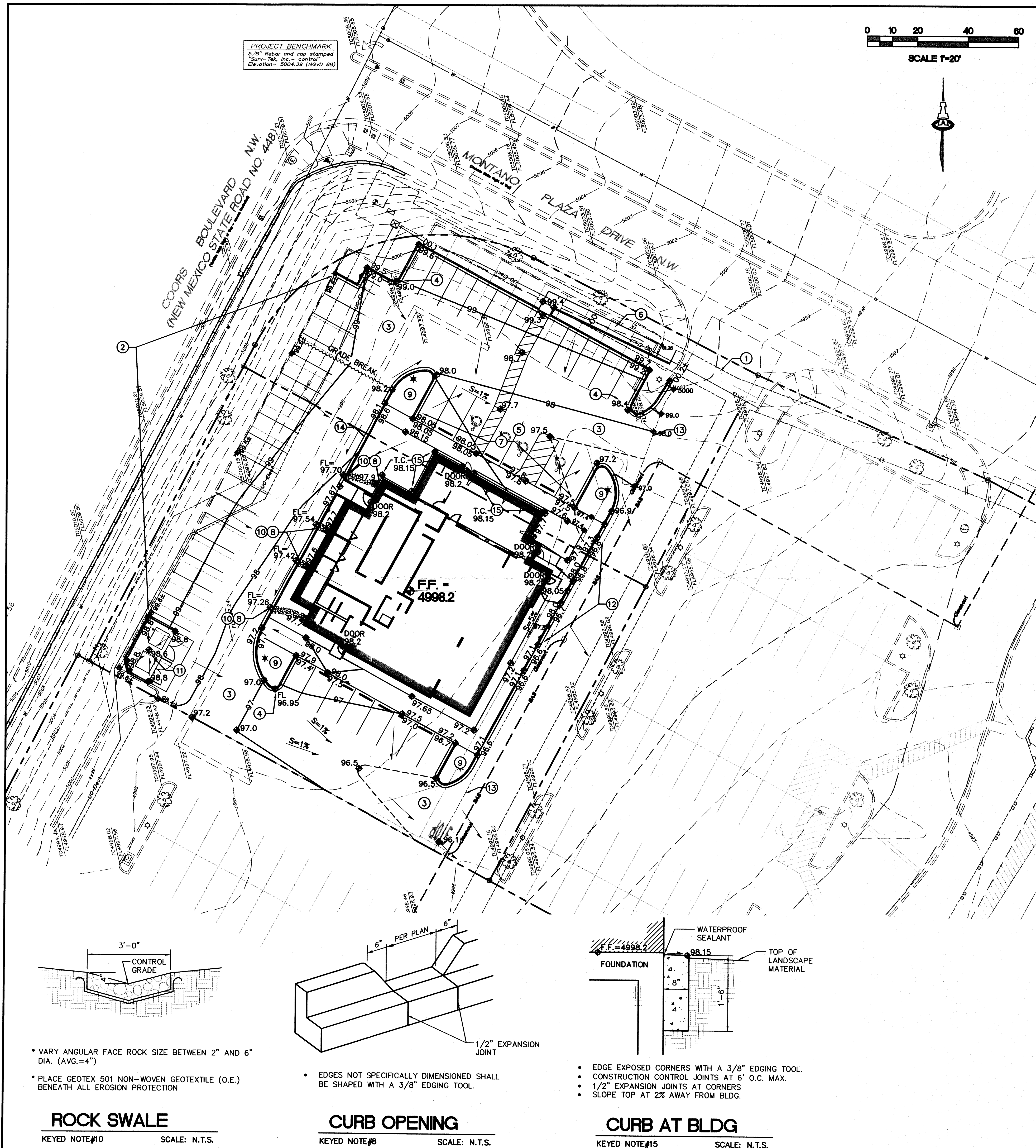
- BIKE RACK. (MINIMUM 5 SPACES) SEE DETAIL SHEET CP-501.
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- PCC WHEEL STOP; SEE DETAIL SHEET CP-501.
- PARKING SIGNS; SEE DETAIL SHEET CP-501
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- ASPHALT PAVING. SEE DETAIL SHEET CP-501.
- CONCRETE PAVING. SEE DETAIL SHEET CP-501.
- PCC CURB AND GUTTER; SEE DETAIL SHEET CP-501.
- PCC HEADER CURB; SEE DETAIL SHEET CP-501.
- PCC SIDEWALK; SEE DETAIL SHEET CP-501.
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- REFLECTORIZED PAVEMENT MARKING 4" WIDE SOLID BLUE STRIPES AT 4'-0" O.C.
- 3" EXPANSION JOINT.
- CONTRACTION JOINT.
- CURB PAINTED RED WITH SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
- NO PARKING FIRE LANE SIGN.
- SITE LIGHT POLES AND FIXTURES, SEE SHEET CP-501 FOR DETAILS

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1984 CP-102.dwg May 05, 2014

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Applebee's
South East Corner of Coors Blvd and Montano Plaza Dr.
ALBUQUERQUE, NEW MEXICO, 12345

project title
project number
13024016
drawing issuance
BID / PERMIT 05.31.2013
drawing revisions
No. Description Date
professional seal
site plan for building permit
cp-102



GENERAL NOTES

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- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

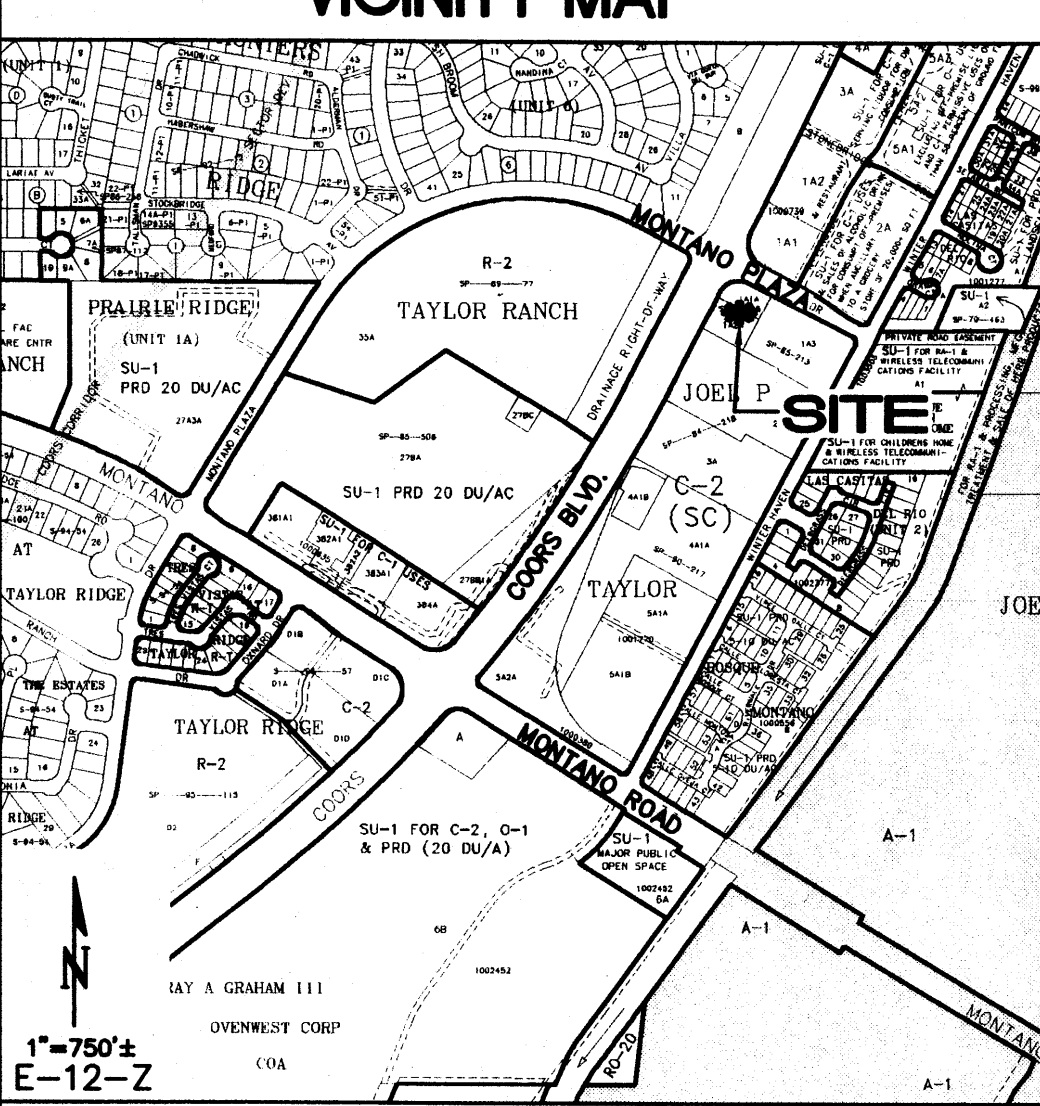
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- SLOPE DUMPSTER PAD AS SHOWN TO DIRECT STORMWATER TO PROPOSED SANITARY SEWER DRAIN. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- CONSTRUCT ADA ACCESSIBLE SIDEWALK TO ENTRY DOOR AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS INCLUDING GUARDRAIL.
- DASHED LINE REPRESENTS APPROXIMATE SAWCUT LINE FOR REMOVAL OF EXISTING ASPHALT PAVEMENT. TRANSITION BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SMOOTH.
- SLOPE IN CONCRETE GUTTER (WEST SIDE) = 0.7% AS SHOWN.
- CONSTRUCT 8" WIDE CONCRETE CURB ADJACENT TO BUILDING THIS AREA TO ACHIEVE GRADES SHOWN. TOP OF CURB AT BUILDING = 98.15.

LEGEND

- × 5414.15
◆ 13.6±
◆ 13.6
— 04 —
— 04.5 —
F.F. =
~~~~~
- EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION AT TRANSITION TO EXISTING  
PROPOSED SPOT ELEVATION  
FLOW DIRECTION  
PROPOSED 1' CONTOUR  
PROPOSED 0.5' CONTOUR  
FINISH FLOOR ELEVATION  
GRADE BREAK

## VICINITY MAP



## PROJECT DATA

PROPERTY: THE SITE IS AN ASPHALT PAVED PAD WITHIN A FULLY DEVELOPED PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP E-12. THE SITE IS BOUND TO THE WEST BY COORS BLVD NW, TO THE NORTH BY MONTANO PLAZA DRIVE NW AND TO THE EAST AND SOUTH BY FULLY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW RESTAURANT WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM

ADDRESS: 6200 COORS BLVD. NW

AREA: 39,537 SF (0.908 ACRE)

BENCHMARK: VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "N4448-N8" HAVING A PUBLISHED ELEVATION OF 5021.65 FEET (NGVD 88)

TEMPORARY BENCHMARKS: 5/8" REBAR AND CAP STAMPED "SURV-TEK, INC. - CONTROL" ELEVATION= 5004.39 (NGVD 88)

OFF-SITE: MINOR OFF-SITE FLOW FROM THE ADJACENT R.O.W. LANDSCAPE SLOPE WILL CONTINUE TO PASS THROUGH THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0118G, THE SITE IS LOCATED WITHIN FLOODZONE 'X' (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG  
SURV-TEK INC.  
9384 VALLEY VIEW DRIVE, N.W.  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: 505-897-3366

DRAINAGE PLAN CONCEPT:

DISCHARGE FROM THE PROPOSED DEVELOPMENT WILL APPROXIMATE THE CURRENT DRAINAGE PATTERNS AND RATES. ROOF DISCHARGE WILL PASS AS SURFACE FLOW THROUGH CURB OPENINGS ON THE WEST SIDE. ALL FLOW WILL BE DIRECTED AROUND THE PROPOSED STRUCTURE (NOTE: HIGH POINT GRADE BREAK AT NORTHWEST END) AND WILL RECOMBINE THE SOUTHEAST END OF THE SITE TO RETURN TO SURFACE SHEETFLOW ACROSS THE EXISTING PAVED PARKING LOT. A MINOR DECREASE IN 100-YEAR 6-HOUR PEAK RATES WILL OCCUR DUE TO INCREASED LANDSCAPING.

CALCULATIONS: Applebee's - Montano Plaza : May 30, 2013  
Based on Drainage Design Criteria for City of Albuquerque  
Section 22.2, DPM, Vol 2, dated Jan. 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 39537 SF = 0.9

HISTORIC FLOWS:

| Area       | Treatment SF | Area       | Flow (cfs) |
|------------|--------------|------------|------------|
| Area A     | 0            | Area A     | 0.00       |
| Area B     | 3162.96      | Area B     | 8.80       |
| Area C     | 0            | Area C     | 0.00       |
| Area D     | 36374.04     | Area D     | 92.20      |
| Total Area | 39537        | Total Area | 100.00     |

DEVELOPED FLOWS:

| Area       | Treatment SF | Area       | Flow (cfs) |
|------------|--------------|------------|------------|
| Area A     | 0            | Area A     | 0.00       |
| Area B     | 0            | Area B     | 0.00       |
| Area C     | 5931         | Area C     | 15.00      |
| Area D     | 33606        | Area D     | 85.00      |
| Total Area | 39537        | Total Area | 100.00     |

EXCESS PRECIP:

| Area       | Flow (cfs) | Area       | Flow (cfs) |
|------------|------------|------------|------------|
| Area A     | 0.00       | Area A     | 0.00       |
| Area B     | 0.00       | Area B     | 0.00       |
| Area C     | 0.67       | Area C     | 0.67       |
| Area D     | 0.99       | Area D     | 0.99       |
| Total Area | 1.97       | Total Area | 1.97       |

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E =  $E_{AA} + E_{AB} + E_{AC} + E_{AD}$

Historic = 1.87 in. Developed E = 1.82 in.

On-Site Volume of Runoff:  $V_{360} = E^*A / 12$

Historic = 6148 CF Developed  $V_{360} = 6006$  CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD} / 43.56$

For Precipitation  $Z_1$

$Q_{pA} = 1.29$   $Q_{pB} = 2.87$

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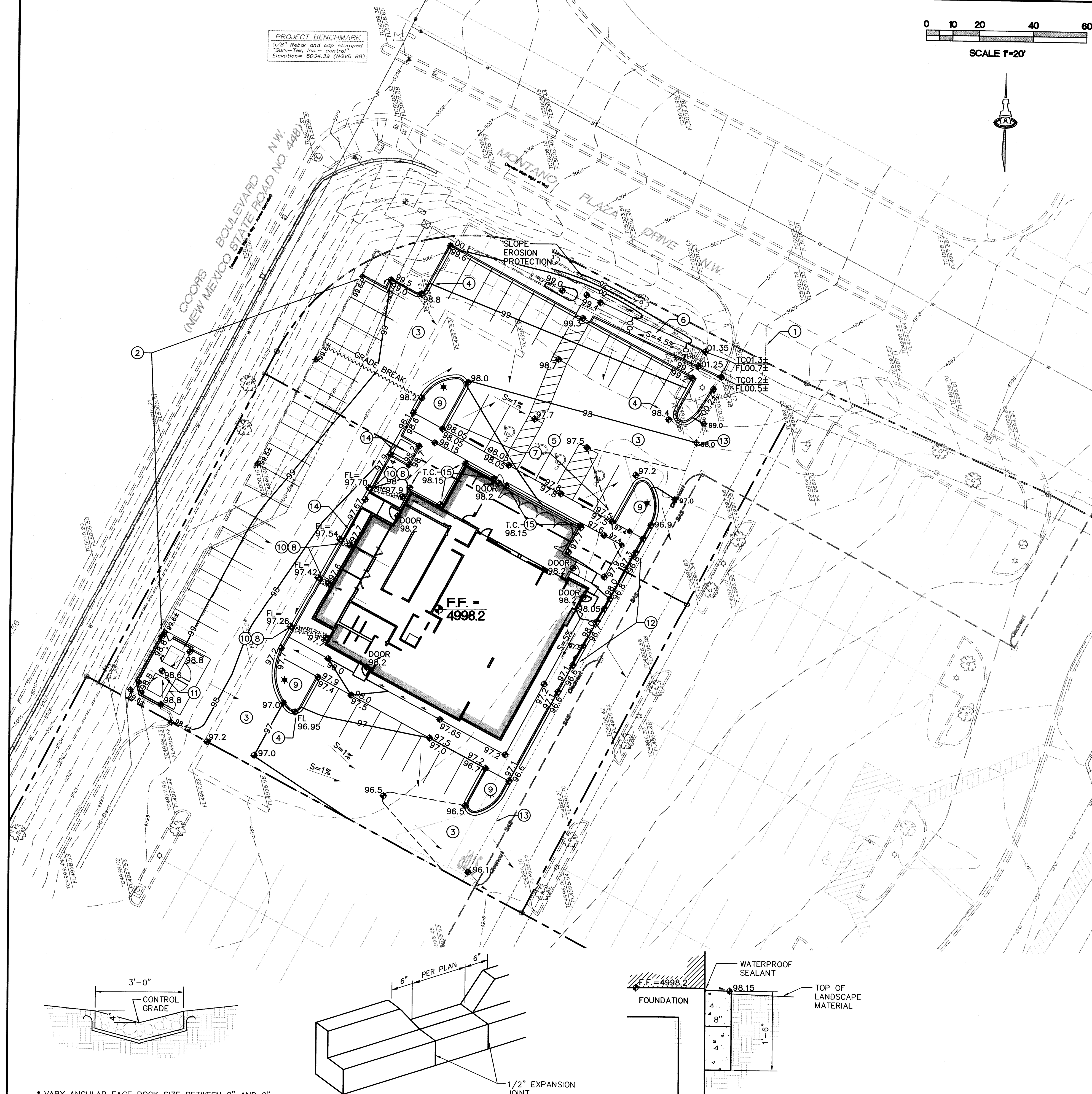
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### ROCK SWALE

KEYED NOTE#10 SCALE: N.T.S.

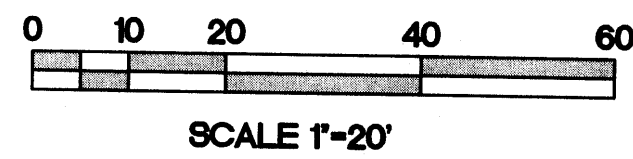
### CURB OPENING

KEYED NOTE#8 SCALE: N.T.S.

### CURB AT BLDG

KEYED NOTE#15 SCALE: N.T.S.

- \* EDGE EXPOSED CORNERS WITH A 3/8" EDGING TOOL.
- \* CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
- \* 1/2" EXPANSION JOINTS AT CORNERS
- \* SLOPE TOP AT 2% AWAY FROM BLDG.



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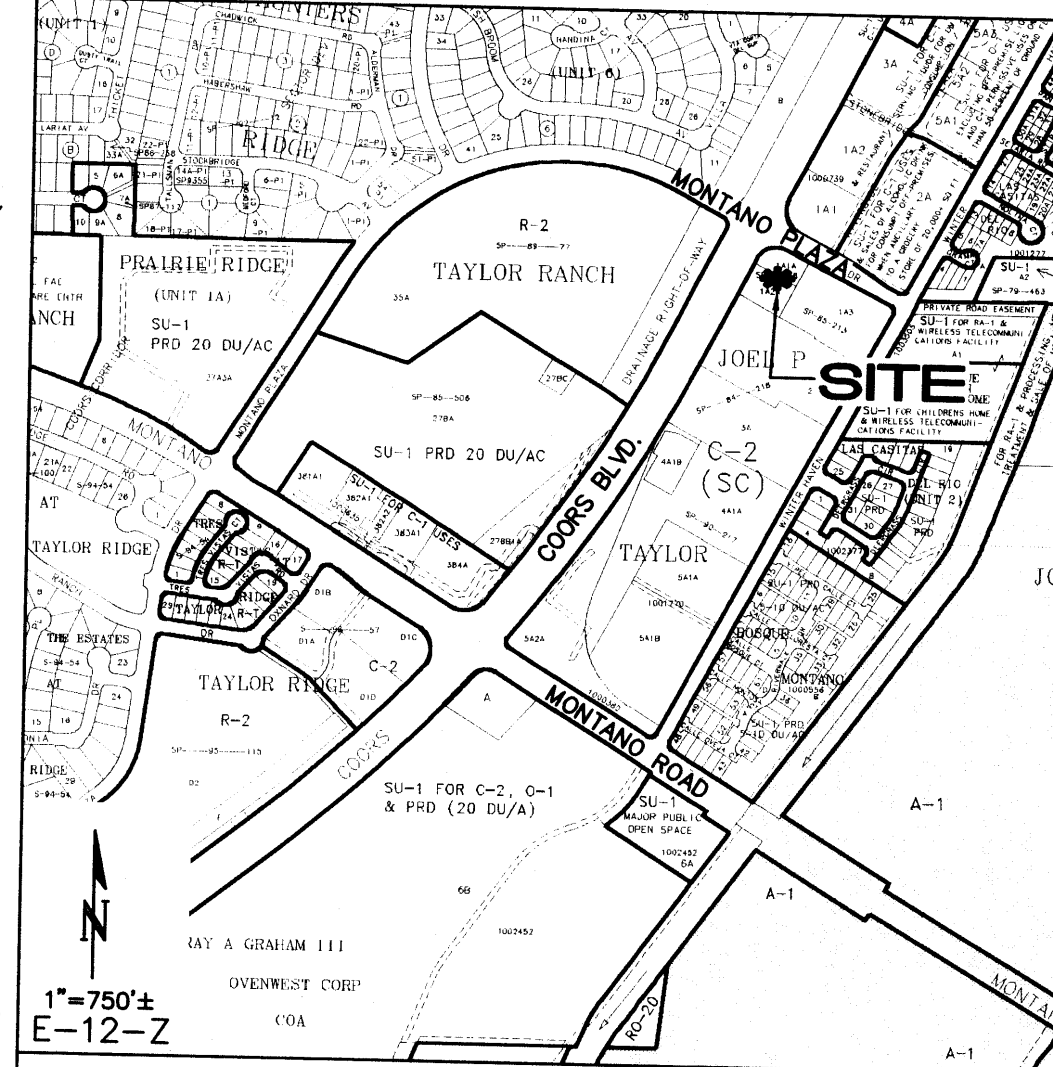
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- INSTALL PRECAST CONCRETE SPLASH PAD AND INSTALL 3' WIDE X 8" DEEP X 4" DEPRESSED FRACTURED FACE ROCK SWALE AT EACH BUILDING ROOF DISCHARGE POINT. EXTEND SWALE TO CURB OPENINGS. SEE DETAIL THIS SHEET.
- SLOPE DUMPSTER PAD AS SHOWN TO DIRECT STORMWATER TO PROPOSED SANITARY SEWER DRAIN. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- CONSTRUCT ADA ACCESSIBLE SIDEWALK TO ENTRY DOOR AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS INCLUDING GUARDRAIL.
- DASHED LINE REPRESENTS APPROXIMATE SAWCUT LINE FOR REMOVAL OF EXISTING ASPHALT PAVEMENT. TRANSITION BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SMOOTH.
- SLOPE IN CONCRETE GUTTER (WEST SIDE) = 0.7% AS SHOWN.
- CONSTRUCT 8" WIDE CONCRETE CURB ADJACENT TO BUILDING THIS AREA TO ACHIEVE GRADES SHOWN. TOP OF CURB AT BUILDING = 98.15.

## LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION AT TRANSITION TO EXISTING
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- PROPOSED 1' CONTOUR
- PROPOSED 0.5' CONTOUR
- FINISH FLOOR ELEVATION
- GRADE BREAK

## VICINITY MAP



## PROJECT DATA

PROPERTY: THE SITE IS AN ASPHALT PAVED PAD WITHIN A FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP E-12. THE SITE IS BOUND TO THE WEST BY COORS BLVD NW, TO THE NORTH BY MONTANO PLAZA DRIVE NW AND TO THE EAST AND SOUTH BY FULLY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW RESTAURANT WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM

ADDRESS: 6200 COORS BLVD. NW

AREA: 39,537 SF (0.908 ACRE)

BENCHMARK: VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "NM448-N8" HAVING A PUBLISHED ELEVATION OF 5021.65 FEET (NGVD 88)

TEMPORARY BENCHMARKS: 5/8" REBAR AND CAP STAMPED "SURV-TEK, INC.- CONTROL" ELEVATION= 5004.39 (NGVD 88)

OFF-SITE: MINOR OFF-SITE FLOW FROM THE ADJACENT R.O.W. LANDSCAPE SLOPE WILL CONTINUE TO PASS THROUGH THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0118G, THE SITE IS LOCATED WITHIN FLOODZONE "X" (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG  
SURV-TEC INC.  
9384 VALLEY VIEW DRIVE, N.W.  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: 505-897-3366

DRAINAGE PLAN CONCEPT:

DISCHARGE FROM THE PROPOSED DEVELOPMENT WILL APPROXIMATE THE CURRENT DRAINAGE PATTERNS AND RATES. ROOF DISCHARGE WILL PASS AS SURFACE FLOW THROUGH CURB OPENINGS ON THE WEST SIDE. ALL FLOW WILL BE DIRECTED AROUND THE PROPOSED STRUCTURE (NOTE HIGH POINT GRADE BREAK AT NORTHWEST END) AND WILL RECOMBINE AT THE SOUTHEAST END OF THE SITE TO RETURN TO SURFACE SHEETFLOW ACROSS THE EXISTING PAVED PARKING LOT. A MINOR DECREASE IN 100-YEAR 6-HOUR PEAK RATES WILL OCCUR DUE TO INCREASED LANDSCAPING.

CALCULATIONS: Applebee's - Montano Plaza - May 30, 2013

Based on Drainage Design Criteria for City of Albuquerque  
Section 22.2, DPM Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS 100-YEAR, 6-HOUR STORM

AREA OF SITE: 39537 SF = 0.9

HISTORIC FLOWS:

| Area       | Treatment SF |      |
|------------|--------------|------|
| Area A     | 0            | 0%   |
| Area B     | 3162.96      | 8%   |
| Area C     | 0            | 0%   |
| Area D     | 36374.04     | 92%  |
| Total Area | 39537        | 100% |

DEVELOPED FLOWS:

| Area       | Treatment SF | EXCESS PRECIP: |
|------------|--------------|----------------|
| Area A     | 0            | 0%             |
| Area B     | 0            | 0%             |
| Area C     | 5931         | 15%            |
| Area D     | 33606        | 85%            |
| Total Area | 39537        | 100%           |

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E =  $E_A A_A + E_B A_B + E_C A_C + E_D A_D$

$E_A A_A + E_B A_B + E_C A_C + E_D A_D$

Historic = 1.87 in. Developed E = 1.82 in.

On-Site Volume of Runoff:  $V_{360} = E \cdot A / 12$

Historic V = 6148 CF Developed V = 6006 CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43.56$

For Precipitation Z 1

$Q_{pA} = 1.29$   $Q_{pC} = 2.87$

$Q_{pB} = 2.03$   $Q_{pD} = 4.37$

Historic C = 3.8 CFS Developed  $Q_p = 3.8$  CFS

ISAACSON & AREMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.

Albuquerque, New Mexico 87108

Ph. 505-268-8828 www.iaacil.com

1984 CG-101.dwg May 19, 2014

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project title

project number

13024.016

drawing issuance

BID / PERMIT 05.31.2013

drawing revisions

No. Description: Date:

professional seal

FRED C. AREMAN

NEW MEXICO

7322

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MAY 20 2014

LAND DEVELOPMENT SECTION

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