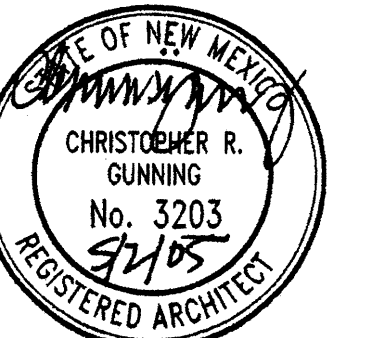


**Dekker
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dps@dpsabq.com

ARCHITECT



ENGINEER

**ISSUED FOR
BUILDING
PERMIT**

PROJECT

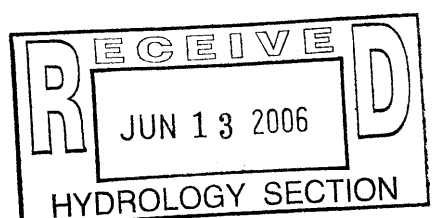
**RIVERSIDE PLAZA
TRACT 5-A1
ALBUQUERQUE, NM**

REVISIONS

△
△
△
△

DRAWN BY **DPS**
REVIEWED BY **DPS**
DATE **08/02/05**
PROJECT NO. **08081**
DRAWING NAME

SITE PLAN



SHEET NO.

A001
OF

SHEET NOTES

- A CONCRETE CURBS IMMEDIATELY SURROUNDING BUILDING ARE EXISTING TO REMAIN
B RE. LOOI FOR LANDSCAPING

KEYED NOTES (X)

- 1 TRASH ENCLOSURE, EXISTING TO REMAIN
- 2 SPLASHBLOCK, PRECAST CONCRETE
- 3 TREGRATE, STEEL, TO MATCH EXISTING ADJACENT
- 4 CURB RAMP, CENTERED ON LOADING ZONE, RE. A2/A091
- 5 LINE OF AREA FOR UTILITY METERS
- 6 WROUGHT IRON FENCE, 3'-0" HIGH
- 7 EXISTING FIRE HYDRANT
- 8 BICYCLE RACK FOR 5 BICYCLES, RE. B5/A091
- 9 CONCRETE SIDEWALK, A5/A091
- 10 CONCRETE SIDEWALK, A3/A091
- 11 ADA SIGNAGE, WALL MOUNTED, CENTERED ON ADA PARKING SPACE, RE. B2/A091
- 12 GUEST TELEPHONE PEDESTAL, RE. ELECTRICAL
- 13 EXISTING CURB RAMP
- 14 CONCRETE CURB AND GUTTER, RE. CIVIL FOR EXTENTS
- 15 TRANSFORMER, RE. ELECTRICAL AND B4/A091 FOR EXACT LOCATION
- 16 PARKING STRIPES AND ADA SYMBOL, PAINTED, RE. B4/A091 FOR ADDITIONAL INFORMATION
- 17 NEW FIRE HYDRANT, RE. C102

LEGEND

AREA OF INTEGRALLY COLORED CONCRETE,
COLOR - LIGHT ROSE (MATCH EXISTING ADJACENT)

AREA OF INTEGRALLY COLORED CONCRETE,
COLOR - DARK ROSE (MATCH EXISTING ADJACENT)

EXISTING LIGHT POLE TO REMAIN

EXISTING CONSTRUCTION TO REMAIN

PROPERTY LINE

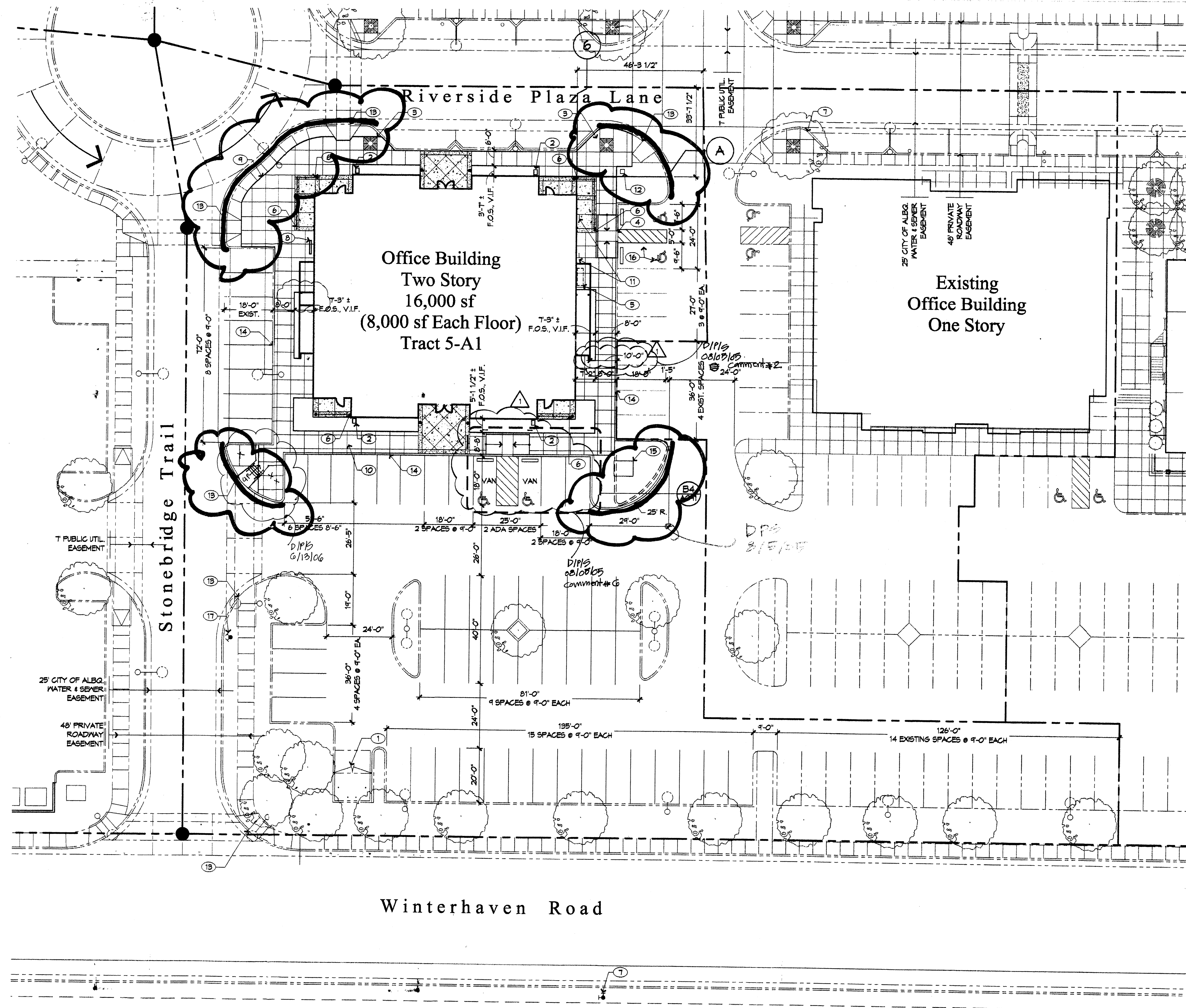
FIRE HYDRANT

PARKING SPACES

76 PARKING SPACES
PROVIDE PAINTED
RED CURB,
WITH THE WORDS, "FIRE
LANE NO PARKING"

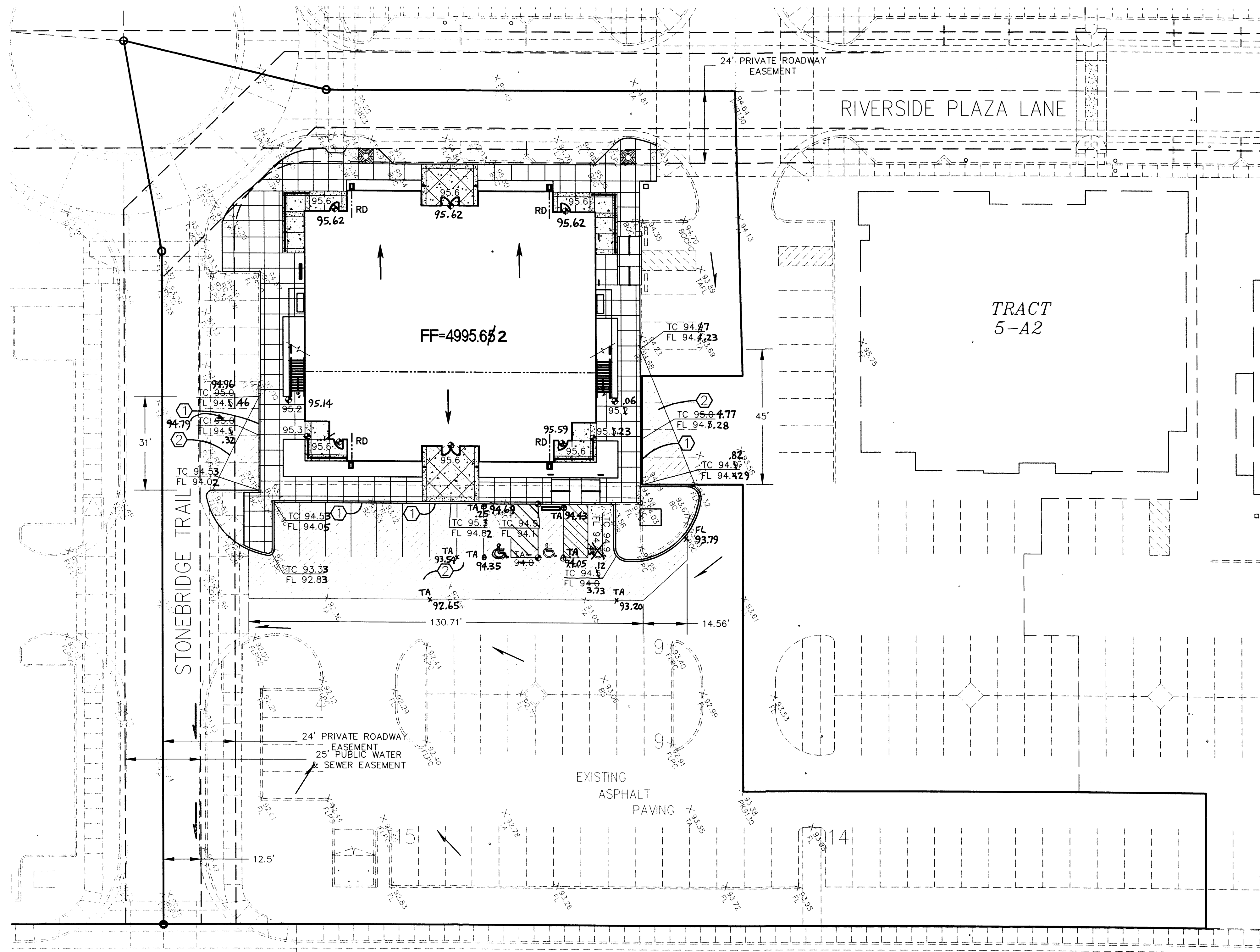
DPS
8/5/05

ALBUQUERQUE
BUILDING & SAFETY
MAY 10 2005
IBC
PLAN CHECK SECTION

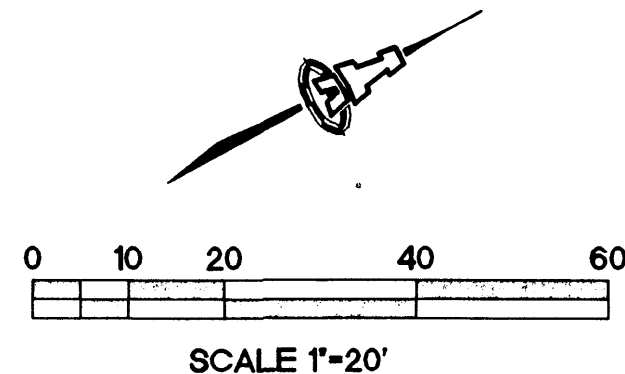


SITE PLAN

0 10' 20'
1"=20'-0"



WINTER HAVEN ROAD, NW



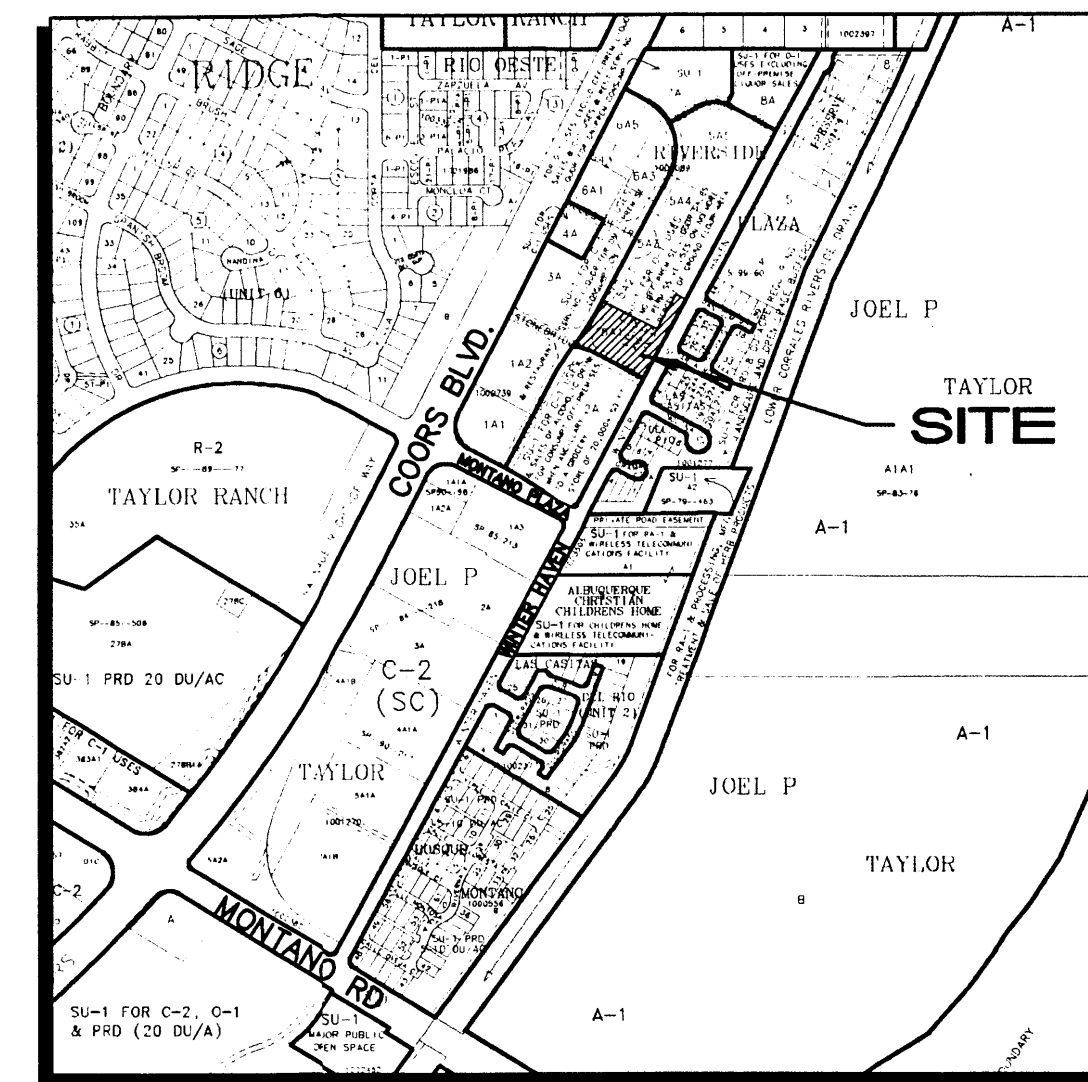
ENGINEER'S CERTIFICATION

I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN (CITY APPROVAL LETTER DATED 05/18/05). AS-BUILT GRADES WERE FIELD VERIFIED BY TM SURVEYING, INC., NMLS NO. 13982 ON 06/16/06 IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978).

Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



DATE 7/12/06



E-12-Z VICINITY MAP 1"=750'±

LEGAL DESCRIPTION: RIVERSIDE PLAZA TRACT 5A-1

AREA: 1.3780 ACRES

OFFSITE FLOW: THIS SITE ACCEPTS FLOW & WILL CONTINUE TO ACCEPT FLOW FROM TRACT 5-A2.

EXISTING CONDITIONS: THIS SITE IS A PAVED PARKING AREA WITH AN UNDEVELOPED BUILDING PAD. RUNOFF IS CARRIED NORTH TO SOUTH VIA ASPHALT PAVING AND DISCHARGES TO STONEBRIDGE TRAIL AND THEN WINTER HAVEN RD N.W.. THE MASTER DRAINAGE PLAN FOR RIVERSIDE PLAZA ACCOUNTED FOR THE DEVELOPMENT AS SHOWN.

PREPOSED CONDITIONS: A 16,000 S.F. (2-STORY) BUILDING IS PROPOSED ON THE PAD AS SHOWN. MINOR REMOVAL AND REPLACEMENT OF PERIMETER CURBING AND ASPHALT PAVING IS PROPOSED TO PROVIDE A.D.A. PARKING AND ACCESS TO DOORWAYS.

HYDROLOGY: ZONE: 1
LAND TREATMENT: 5% B, 6% C, & 89% D
Q= (.07)(2.03)+(0.08)(2.87)+(1.23)(4.37)
Q= 5.7 CFS

KEYED NOTES

1. REMOVE AND REPLACE EXISTING MEDIAN CURB AND GUTTER PER COA STD DWG #2415.
2. REMOVE AND REPLACE EXISTING ASPHALT (3" THICKNESS).

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- TOP OF CURB ELEVATION
- ROOF DRAIN
- AS-BUILT ELEVATION

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

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ARCHITECT

ENGINEER



PROJECT

**RIVERSIDE PLAZA
TRACT 5-A1
ALBUQUERQUE, NM**

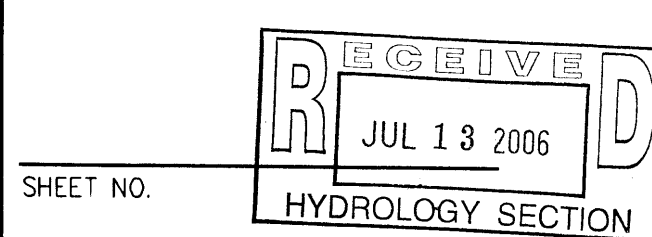
REVISIONS

- △
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DRAWN BY SMM
REVIEWED BY SMM
DATE 5/01/05
PROJECT NO. 05031
DRAWING NAME

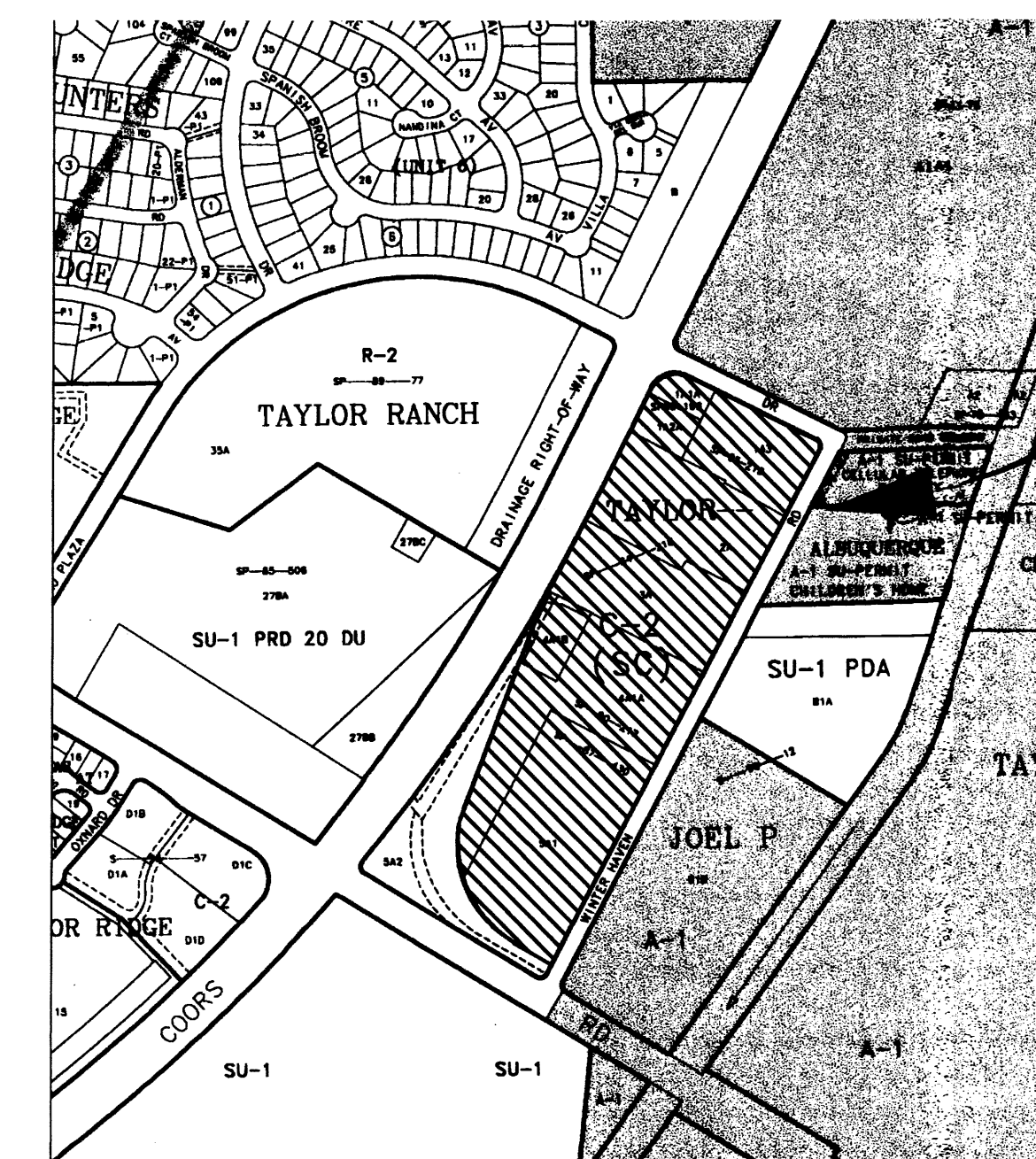
GRADING PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1443GRD.DWG.rth 04/29/05



SHEET NO. C101

OF



SITE

HYDROLOGY

THE HISTORY OF THE DEVELOPMENT OF THIS SITE INCLUDED A RETENTION POND AT THE EAST SIDE. LATER, THE POND WAS MOVED TO THE SOUTHEAST CORNER. THEN, WHEN THE MONTANO BRIDGE PROJECT WAS BUILT, IT INCLUDED A STORM DRAIN THAT RECEIVED THE RUNOFF IN THE POND ALLOWING THE POND TO CHANGED TO A DETENTION MODE REDUCING THE SIZE OF THE POND.

THE ENTIRE SITE DRAINS TO THE POND. THE EAST BASIN, WHERE THE ADDITION WILL BE CONSTRUCTED, DRAINS ON THE SURFACE ALONGSIDE THE EAST CURB AND THE NORTH PORTION OF THE EAST BASIN FLOWS ONTO WINTERHAVEN THROUGH A SIDEWALK CULVERT LOCATED EAST OF THE NORTH SIDE OF THE BUILDING. THE FLOW ON WINTERHAVEN ALSO ENDS UP IN THE DETENTION POND THAT WILL BECOME NOW PAVED. SO THE RUNOFF WILL NOT BE CHANGED EITHER IN QUANTITY OR CHARACTERISTICS. THEREFORE, NO DRAINAGE CHANGES NEED TO BE MADE EXCEPT FOR THE PAVEMENT ADJACENT TO THE NORTH WALL OF THE ADDITION. THAT AREA SHOULD BE GRADED TO AN ELEVATION BELOW FINISHED FLOOR AND TO DRAIN AWAY FROM THE BUILDING.



CURB AND GUTTER	=====
SPOT ELEVATION	54.4
LUMINAIRE STANDARD	☆
CONTOUR	-----4954-----
STORM INLET	

SYMBOL LEGEND

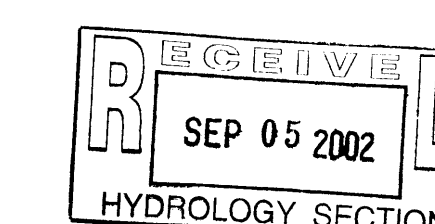
PROPERTY LINE

PROPOSED CONTOUR

PROPOSED SPOT ELEVATIONS

DOWN SPOUT

FLOW DIRECTION



RALEY'S ADDITION
 6200 COORS BLVD NW
 GRADING AND PAVING PLAN

SCALE: 1"=20'