

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Prairie Ridge Unit 6 ZONE ATLAS/DRNG. FILE #: E-12 104F
 LEGAL DESCRIPTION: Tract 34, Taylor Ranch
 CITY ADDRESS: Coors Road at Montano Plaza Dr., N.W.

ENGINEERING FIRM: Community Sciences Corporation CONTACT: Michael Yost

ADDRESS: P. O. Box 1328, Corrales, NM 87048 PHONE: 897-0000

OWNER: Bellamah Community Development CONTACT: Bob Ryals

ADDRESS: P. O. Box 3300, Albuquerque, NM 87190 PHONE: 884-6606

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Community Sciences Corporation CONTACT: Skip Carleton

ADDRESS: P. O. Box 1328, Corrales, NM 87048 PHONE: 897-0000

CONTRACTOR: _____ CONTACT: _____

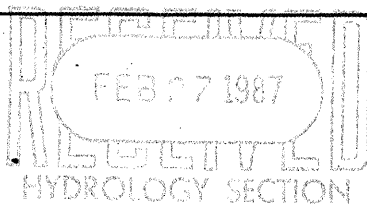
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. 86-436

EPC NO. _____

PROJ. NO. 3053

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/27/87

BY: Michael Yost

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644
September 22, 1986

Michael Yost, P.E.
Community Sciences Corporation
Post Office Box 1328
Corrales, New Mexico 87048

RE: DRAINAGE REPORT WITH CONCEPTUAL GRADING & DRAINAGE PLAN OF
PRAIRIE RIDGE, UNIT VI, RECEIVED SEPTEMBER 9, 1986 FOR
PRELIMINARY PLAT APPROVAL (E-12/D4F)

Dear Mike:

The above referenced submittals dated September 1986, are approved for Preliminary Plat and Infrastructure Listing approval by the City Engineer.

Prior to construction plans being reviewed and approved at DRC, a Final Grading Plan must be submitted to this office for review and approval.

Prior to Final Plat sign-off by the City Engineer, the following items are required:

1. An executed Subdivision Improvements Agreement.
2. The design calculations for the "Triple C" catch basin at the end of the cul-de-sac.

Be advised that all drawings submitted for review and approval are required to be stamped, signed, and dated by an engineer.

If you have any questions, call me at 766-7644.

Cordially,

for Roger A. Green, P.E.
C.E./Hydrology Section

cc: Andre Houle, DRC
Bob Ryals, BCD

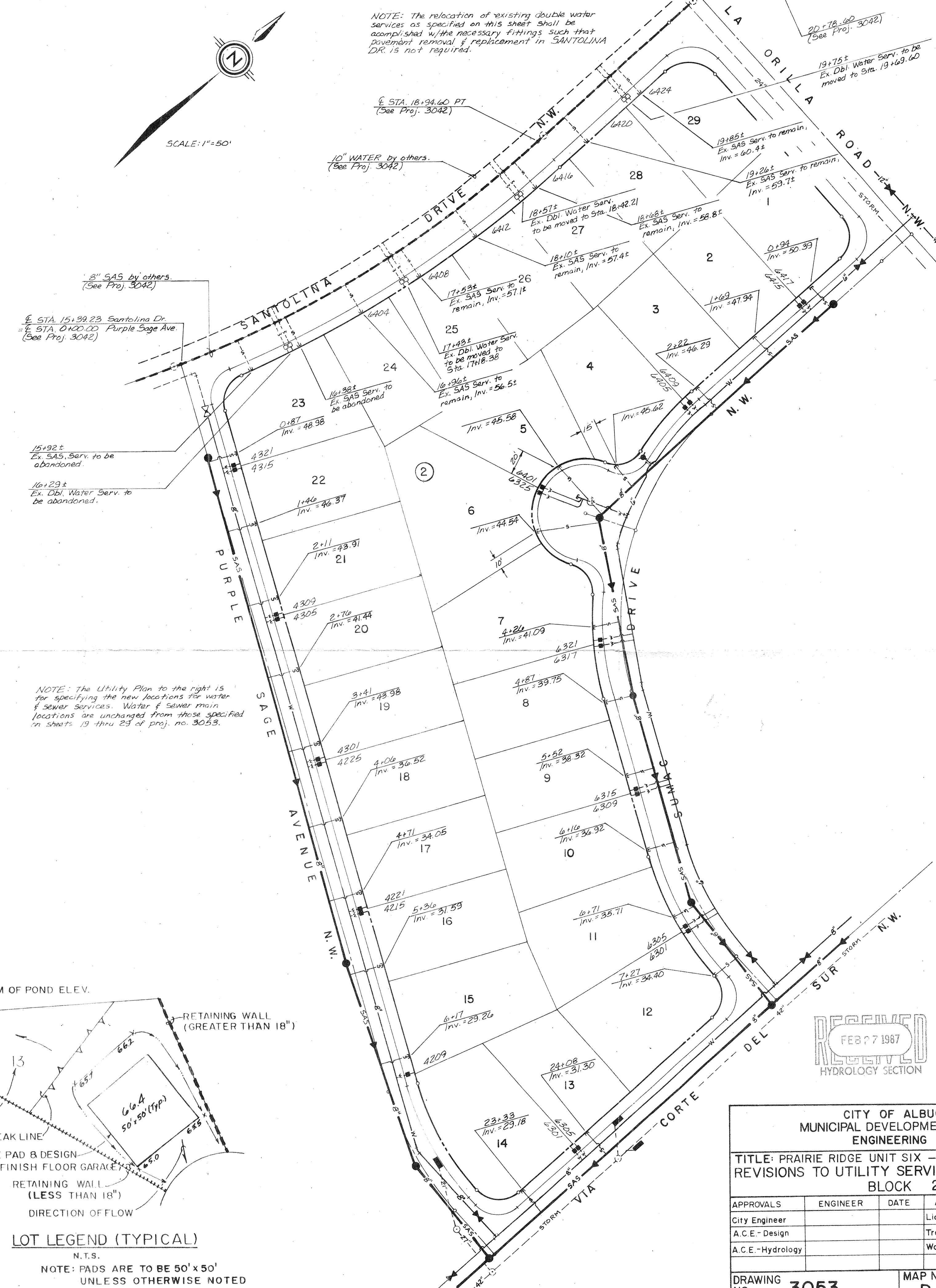
RAG/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500



LOT LEGEND (TYPICAL)
N.T.S.
NOTE: PADS ARE TO BE 50' x 50'
UNLESS OTHERWISE NOTED

NOTE: The relocation of existing double water services as specified on this sheet shall be accomplished, where necessary, fittings such that pavement removal & replacement in SANTOLINA DR. is not required.

20' + 78.60
(See Proj. 3042)

19' + 75.5
Ex. Dbl. Water Serv. to be moved to Sta. 19+69.60

19' + 85.5
Ex. SWS Serv. to remain, Inv. = 60.42

19' + 26.5
Serv. to remain,

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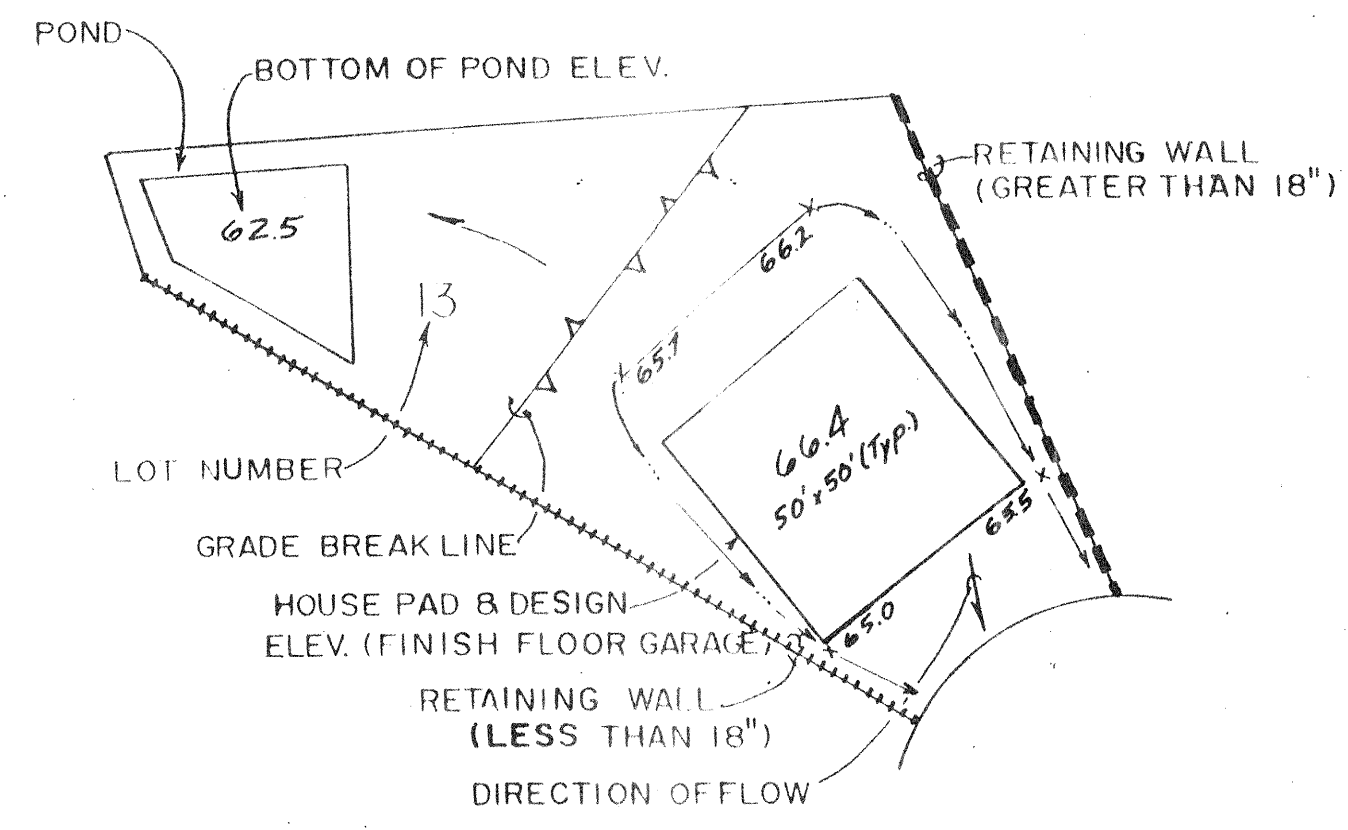
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NOTE: The Utility Plan to the right is for specifying the new locations for water & sewer services. Water & sewer main locations are unchanged from those specified on sheets 19 thru 23 of proj. no. 3053.

[illegible]

