



Richard J. Berry, Mayor

November 14, 2017

Craig Hagelgantz, P.E.
ABQ Engineering Inc.
8102 Menaul Blvd NE, Suite D
Albuquerque, NM, 87120

RE: Legacy Home Health – 3610 Bosque Plaza Lane NW
Grading and Drainage Plan
Stamp Date: 11/02/17
Hydrology File: E12D006F

Dear Mr. Hagelgantz:

PO Box 1293

Based upon the information provided in your submittal received 11/09/2017, the Grading and Drainage Plan **is not** approved for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Since this submittal is for DRB action, please add the word “Conceptual” to the sheets title and add a note stating “Not for Construction”.

NM 87103

2. Please provide the flood plain effective date to the FIRM information.

3. Please label the existing 40 feet Drainage Easement on the site.

www.cabq.gov

4. Please add the note, “Lot 1 is subject to all restrictions, conditions, and requirements as set forth in that certain “Bosque Plaza Declaration of Easements, Covenants, and Restrictions”, filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book A81, Page 5448.

Once this project is ready for building permit, then please address the following in your submittal of the referenced project:

1. The site currently shows more than 1 acre of disturbance is being proposed. An Erosion and Sediment Control Plan is required and has to be submitted to the storm water quality engineer (Curtis Cherne, PE, ccherne@cabq.gov). Hydrology’s approval for Grading or Building Permit will not be given until the submittal of the ESC Plan.

2. Please include the designed grade points with your submittal.

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

3. Please provide the weir calculations for the curb cut.
4. Please provide a cross section detail of the proposed riprap.
5. To prove the capacity of the first flush volume in the existing detention pond, please provide a cross-section showing the 100 year water surface elevation as designed in the Master Drainage Report for Bosque Plaza prepared by Tierra West with engineer's stamp date of 9/25/2002. Then show that there is additional capacity for the first flush volume.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

PO Box 1293

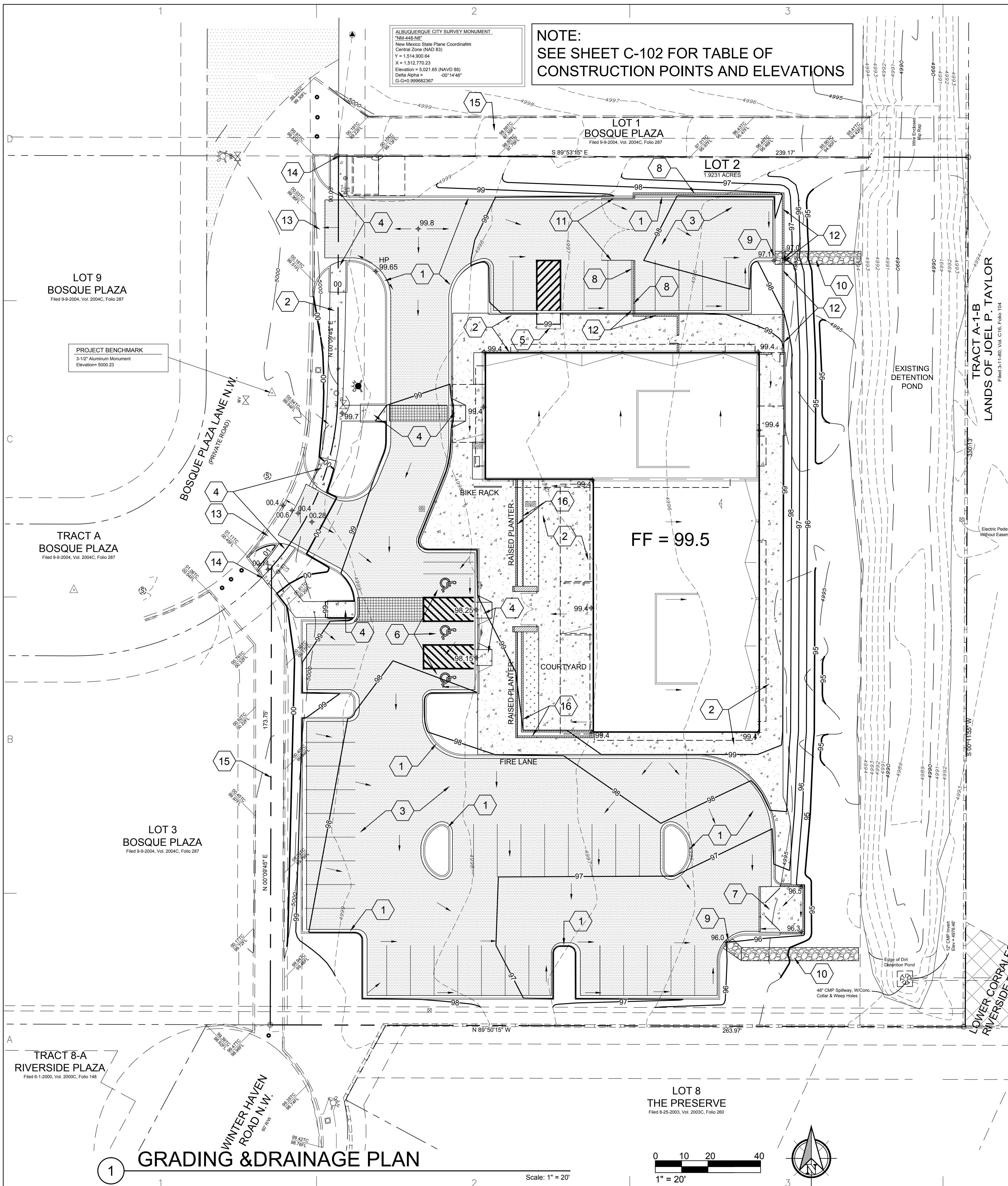
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Albuquerque

NM 87103

www.cabq.gov

LAST MODIFIED: Nov 08, 2017 10:40am BY USER: Craig
C:\PROJECTS\17-062\17-062.dwg
DWG NAME: 17-062-CIVIL.dwg



DRAINAGE NARRATIVE

THIS SITE IS LOCATED AT LOT 2, BOSQUE PLAZA IN ALBUQUERQUE, BERNALILLO COUNTY. THIS SITE IS LOCATED ON THE NATIONAL FLOOD INSURANCE RATE MAP NO. 35001C0116 G, AND LIES WITHIN ZONE X, WITH NO PORTION OF THE SITE LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

THE EXISTING SITE IS PART OF AN APPROVED MASTER DRAINAGE PLAN TITLED "REVISED DRAINAGE REPORT FOR SOUTHWEST CORNER OF LA ORILLA AND COORS, LOTS 1,2,3,4,5,6AA,7A,8 OF THE LANDS OF MARTIN L. TAYLOR" DATED AUGUST 5, 2004, COA# E-12/D6. THE EXISTING ON-SITE DRAINAGE IS DIRECTED TOWARDS AN EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT AND POND. PROPOSED GRADING FOR THIS SITE HONORS THE EXISTING DRAINAGE PATTERNS. THE MASTER PLAN INCLUDED DRAINAGE PONDS SIZED FOR THE LOTS ASSUMING TYPICAL LOT LAND TREATMENTS AREAS OF 85% TYPE D AND THE REMAINING 15% WITH TYPE C.

THIS PROPOSED DEVELOPMENT INVOLVES THE ADDITION OF A NEW BUILDING AND PAVED PARKING AREA. THIS PROJECT DISTURBS APPROXIMATELY 1.6 ACRES. THE PROPOSED GRADING DIRECTS ALL RUNOFF TOWARDS THE EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT/POND. THE PROPOSED PLAN HAS DRAINAGE FOR THE LOT BASED ON LAND TREATMENTS OF 58% TYPE D AND THE REMAINING 42% WITH TYPE C. THE DEVELOPED RUNOFF IS LESS THAN ALLOWABLE FROM THE MASTER PLAN. THEREFORE NO ADDITIONAL PONDING HAS BEEN ADDED FOR THE 100 YEAR STORM VOLUME (SEE CALCULATIONS).

Hydrology Calculations DPM - Volume 2, October 2008 Section 22.2 Hydrology				
Precipitation Zone	1			
100 Year Storm Depth, P (360)	2.2			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.99	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37
Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "A" (Native Grass, weeds and shrubs)		0.00	0.00	0.00
Type "B" (Native Grass >20% Slope)		0.00	0.00	0.00
Type "C" (Desert Landscaping, rock/plastic)		0.29	0.29	0.81
Type "D" (Impervious, Roof, Pavement)		1.63	1.63	1.11
Total (Acres)		1.923	1.923	1.923
Excess Precipitation(in)		1.82	1.82	1.56
Volume (100), cf		12725	12725	10870
Volume (10), cf		8526	8526	7283
Q (100), cfs		7.97	7.97	7.19
Q (10), cfs		5.34	5.34	4.82
P (360) Ponding Volume, cf = $V(10)_{proposed} - V(10)_{allowable} = -1243$ Additional P(360) Ponding Not Required				

ONSITE FIRST FLUSH DRAINAGE

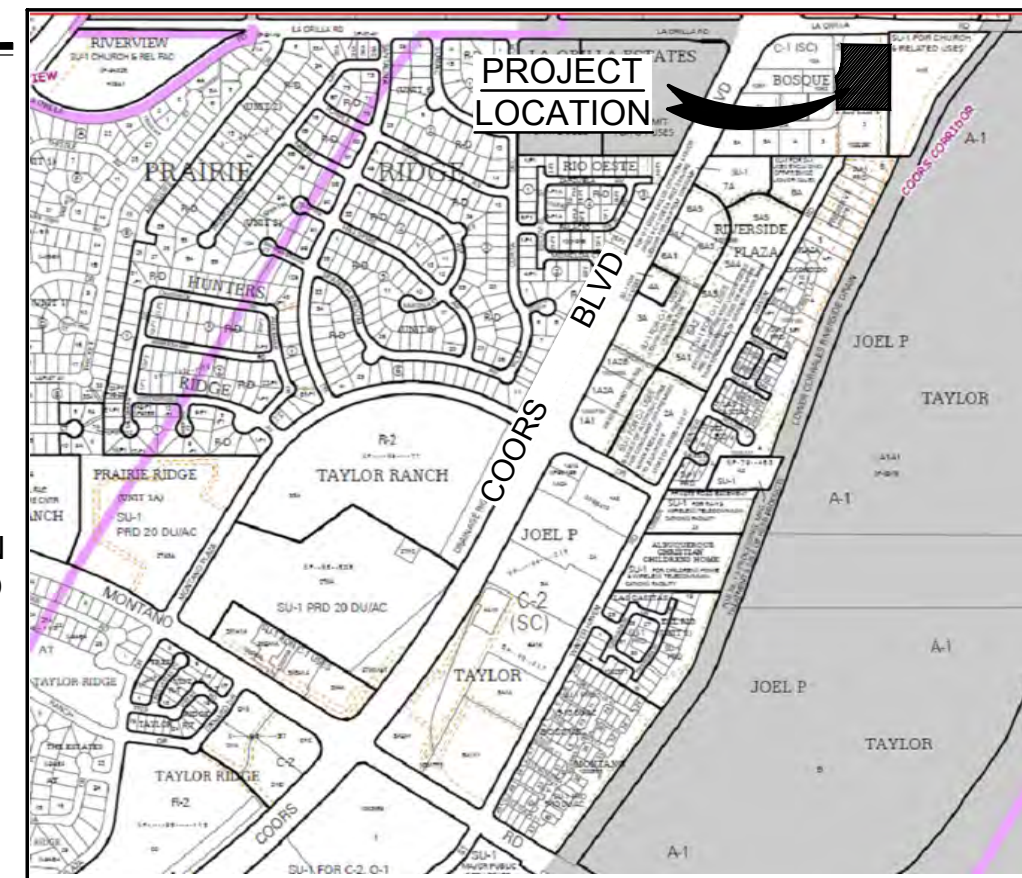
FIRST FLUSH STORAGE REQUIRED BY COA HYDROLOGY:
PROVIDE STORAGE FOR FIRST FLUSH RUNOFF PER SECTION 22 OF DPM
TABLE A-6 USE 0.44 - 0.1 = 0.34 IN

FIRST FLUSH (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)
THEREFORE $(0.34 / 12) \times 1.11 \times 43560 = 1370$ CF

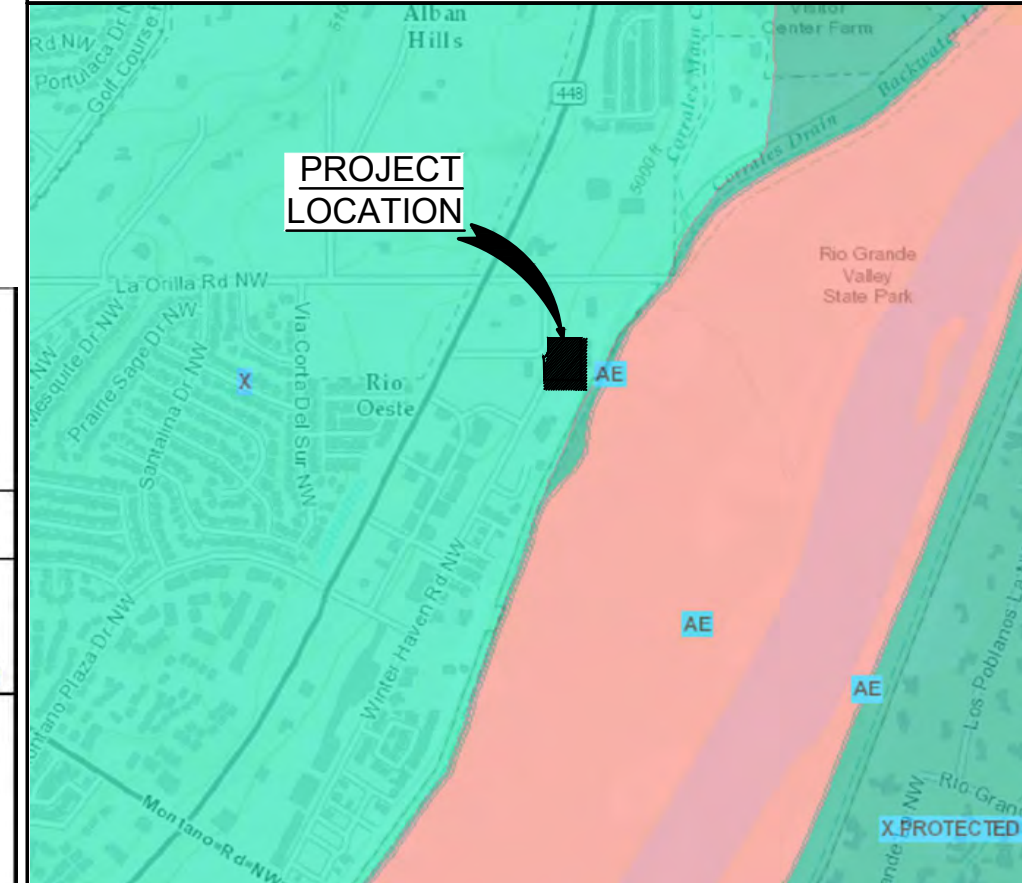
FIRST FLUSH PONDING AREA REQD. = 1370 CF < CAPACITY OF EXISTING POND
(40' X 300' X 4.5) INCLUDING EXISTING RUNOFF VOLUME FROM 100 YEAR (P360) STORM

SITE KEYED NOTES

- NEW CURB & GUTTER, PER COA STD DWG 2415A & 5/C-501.
- NEW CONCRETE SIDEWALK PER COA STD DWG 2430 AND DETAIL 2/C-501.
- NEW ASPHALT PAVEMENT. SEE DETAIL 1/C-501
- CONSTRUCT NEW ACCESSIBLE RAMP PER COA STD DWG 2441 AND/OR ALL CURRENT ADA STANDARDS.
- NEW ACCESS RAMPS FOR DELIVERIES.
- NEW ACCESSIBLE PARKING SPACE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW WALL FOR SECURED PARKING AREA. SEE DETAIL 3/C-501 FOR DETAIL.
- CONSTRUCT 2' CURB CUT FOR DRAINAGE.
- INSTALL HAND PLACED, 5' WIDE DRY RIPRAP (3" TO 4" DIA. TYP.) SWALE FOR EROSION CONTROL FROM BACK OF CURB TO TOP OF EXISTING POND.
- NEW GATE/FENCE FOR SECURED PARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROVIDE OPENINGS AT BOTTOM OF WALL FOR DRAINAGE. SEE DETAIL 4/C-501.
- CONSTRUCT NEW ENTRANCE PER COA STD. DWG. 2426.
- NEW CURB CUT AND SIDEWALK ELEVATION TO MATCH EXISTING FLOW LINE OF EXISTING CONCRETE DRAINAGE CHANNEL.
- EXISTING CONCRETE DRAINAGE CHANNEL
- SITE WALLS SEE ARCHITECTURAL AND DETAIL 3/S-501



LOCATION MAP
SCALE: NONE
COA ZONE ATLAS: E-12-Z



FIRM MAP
SCALE: NONE

LEGEND

---	6510	EXISTING INDEX CONTOUR
---	6509	EXISTING INTERIM CONTOUR
---	10	NEW INDEX CONTOUR
---	09	NEW INTERIM CONTOUR
+	22.8	NEW SPOT ELEVATION
---		NEW CONCRETE SIDEWALK
---		NEW ASPHALT PAVEMENT
FF		NEW BUILDING
---		FINISH FLOOR ELEVATION
---		EXISTING STORM DRAIN STRUCTURE
---		EXISTING STORM DRAIN
---		DIRECTION OF FLOW
---		NEW SIGN
---		EXISTING SANITARY SEWER MANHOLE
---		NEW SANITARY SEWER CLEANOUTS
---		EXISTING GATE VALVE
---		EXISTING FIRE HYDRANT
---		EXISTING WATER METER
---		NEW FIRE HYDRANT

NOTE:
SEE SHEET C-102 FOR TABLE OF
CONSTRUCTION POINTS AND
ELEVATIONS



STUDIO CONSULTANTS, INC

PO BOX 1515
CEDAR CREST NM, 87008
DANIEL@ARIASCINC.COM
(505) 506-2314



LEGACY HOME HEALTH

LOT 2 BOSQUE PLAZA
ALBUQUERQUE, NM 87120



Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	DRB SUBMITTAL	
PROJECT NO	1714.1	
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE	11/02/2017	

SITE GRADING,
DRAINAGE PLAN

C-101