

# CITY OF ALBUQUERQUE



August 6, 2019

Daniel Puzak, RA  
ARIA Studio  
P.O. Box 1515  
Cedar Crest, NM 87008

**Re: Legacy Home Health  
3610 Bosque Plaza Lane NW, 87120  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 12-6-17 (E12D006F)  
Certification dated 7-22-19**

Dear Mr. Puzak,

Based upon the information provided in your submittal received 8-1-19, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Please add Motorcycle signs. (See attached hoto)
- Please add "No Parking" to ADA access aisle. (See attached photo)
- Please add missing Truncated Dome to ADA ramp. (See attached photo)
- Send correction photos to [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

NM 87103

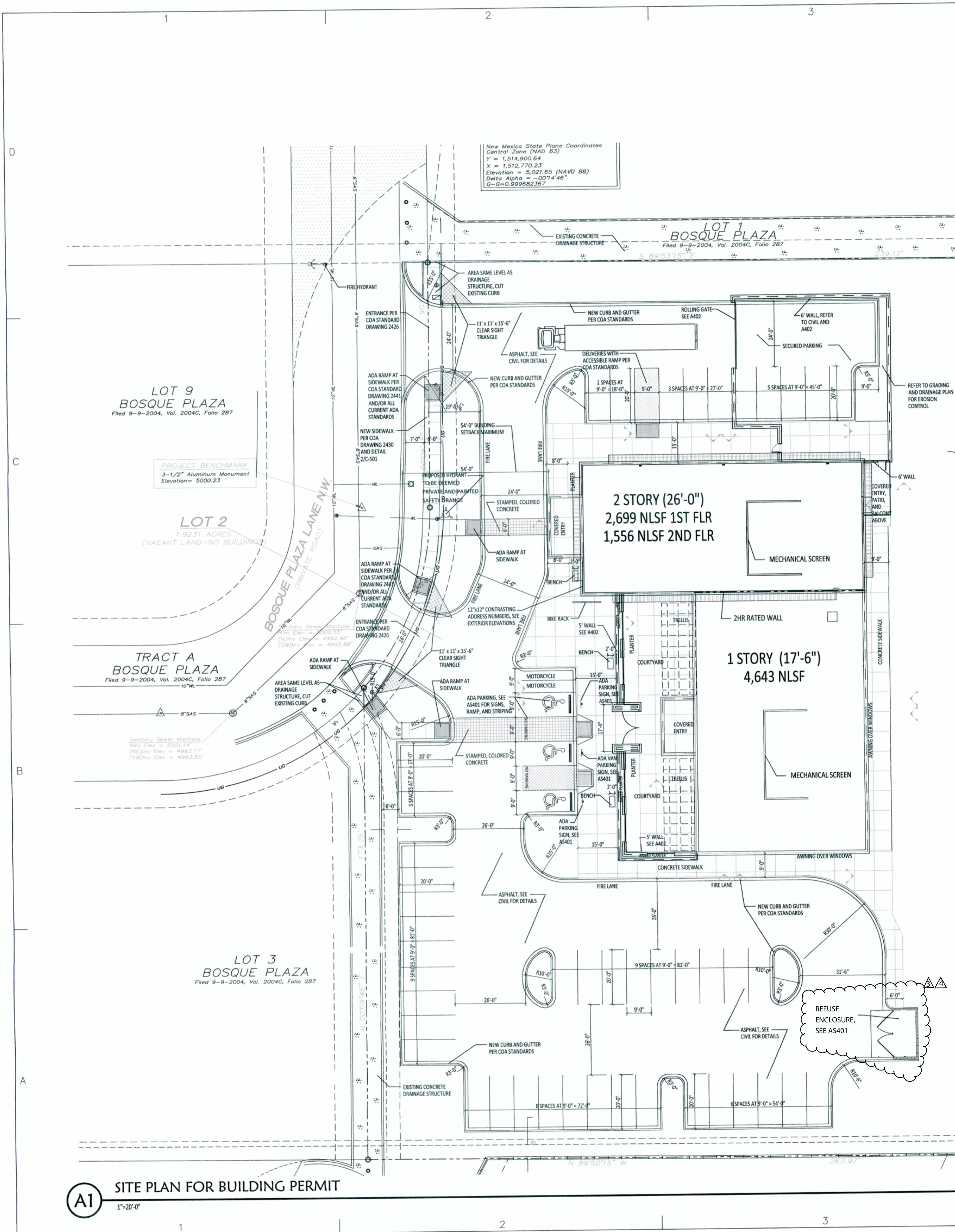
[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



## SITE NOTES

1. SITE LIGHTING SHALL BE LIMITED TO 16' POLES WITH SHARP CUT-OFF ANGLE FIXTURES.
2. ALL EXTERIOR LIGHTING SHALL BE NIGHT SKY COMPLIANT.
2. INDIVIDUAL BUILDING-MOUNTED SIGNS SHALL HAVE AN AREA NOT TO EXCEED 6% OF THE FAÇADE TO WHICH IT IS APPLIED. ALL SIGNAGE SHALL BE DESIGNED TO BE CONSISTENT WITH AND COMPLEMENT THE MATERIALS, COLOR, AND ARCHITECTURAL STYLE OF THE BUILDING OR SITE LOCATION.
3. NO FREESTANDING SIGNS ARE ALLOWED PER APPROVED SITE PLAN FOR BOSQUE PLAZA.
4. SOUTH PARKING AREA IS DESIGNED TO ACCOMMODATE FIRE LANES.
5. SCREEN ALL METERS AND GROUND MOUNTED EQUIPMENT PER COA AND THE DEVELOPMENT STANDARDS.
6. OWNER WILL TRIM ALL ISLAND TREES SO THEY WILL NOT ENCRATCH ON TURNING RADIUS REQUIRED BY SOLID WASTE.
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
8. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.

PARKING CALCULATIONS

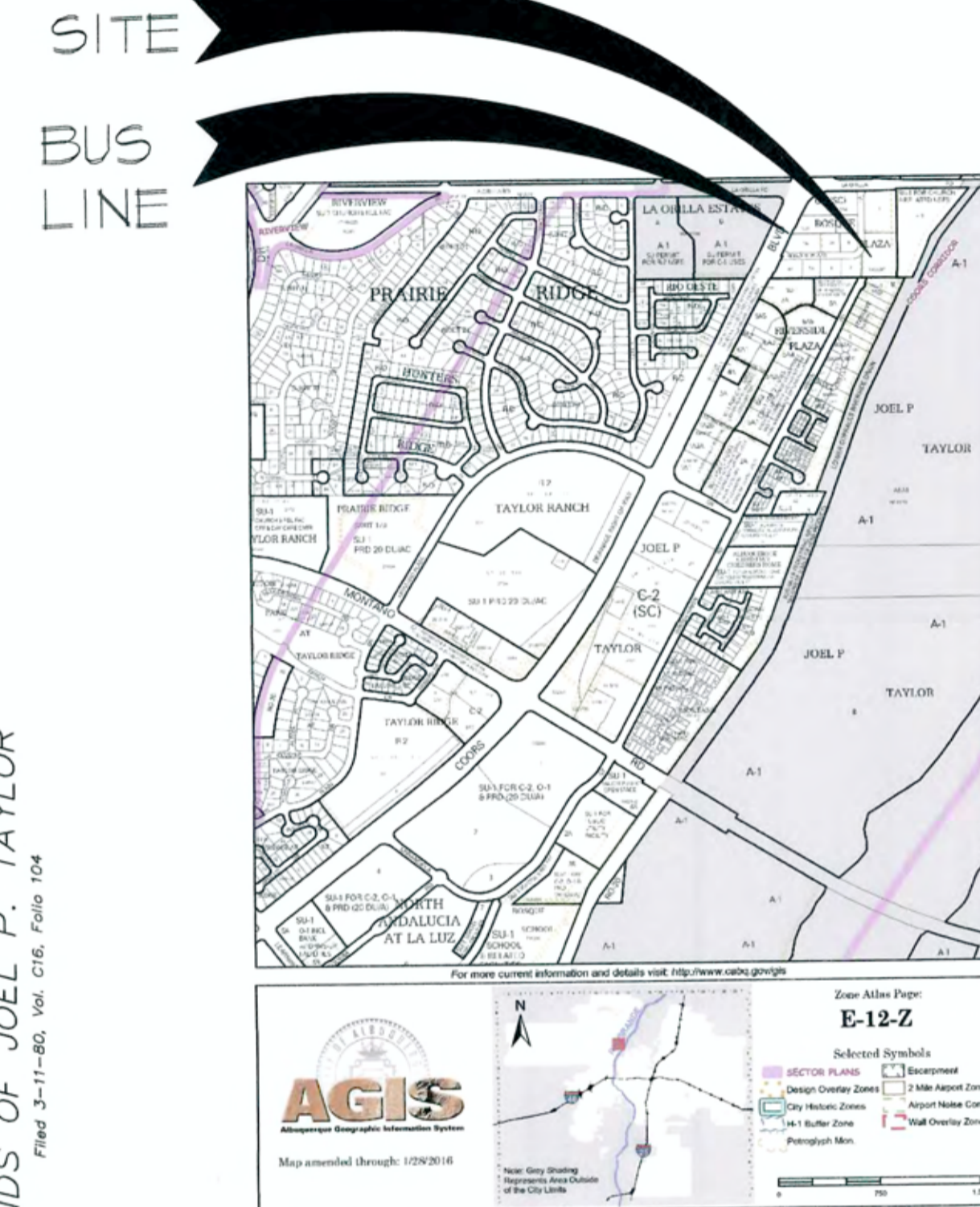
**Vehicular Spaces Required:**  
 1st floor office and retail (7342/200) = 36.71  
 2nd floor office (1556/300) = 5.19  
 Total Parking Spaces Required = 42

Per Design Standard C.1., the maximum allowed parking is equal to the required parking plus 10%.

**Total Parking Spaces Provided = 47**

Per Zoning Code 14-16-3-1 (F) (9) (a),  
Disabled Parking Spaces Required and Provided = 3

Per Zoning Code 14-16-3-1 (B),  
Bicycle Parking Spaces Required and Provided = 3  
Per Zoning Code 14-16-3-1 (C),  
Motorcycle Parking Spaces Required and Provided = 2



## VICINITY PLAN

N.T.S.

PROJECT NUMBER: 1004167  
APPLICATION NUMBER: 17EPC-40048/17DPE-70293

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on NOVEMBER 12, 2017 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

## DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Reginald M. Meind</i>	12/26/17
Traffic Engineering, Transportation Division	Date
<i>Keith Cook</i>	12-06-17
Water Utility Development	Date
<i>Jo Ann</i>	12/6/17
Parks & Recreation Department	Date
<i>Renee Bruscato</i>	12-06-17
City Engineer	Date
N/A	
City Metropolitan Redevelopment Agency	Date
N/A	
* Environmental Health Department (conditional)	Date
<i>Adam Mays</i>	12/12/17
Solid Waste Management	Date
<i>Jim</i>	12/6/2017
DBP Chairperson, Planning Department	Date

\* Environmental Health, if necessary

# ARIA

STUDIO CONSULTANTS, INC  
PO BOX 1515  
CEDAR CREST NM, 87008  
DANIEL@ARIASCINC.COM  
(505) 506-2314



**LEGACY HOME HEALTH**  
3610 BOSQUE PLAZA LANE NW  
ALBUQUERQUE, NM 87120



Architect/Engineer

[illegible]

# A SITE PLAN FOR BUILDING PERMIT

AS101



STUDIO CONSULTANTS, INC  
Aria Studio Consultants, Inc  
PO Box 1515  
Cedar Crest, NM 87008

7/22/2019

City of Albuquerque  
Planning Department  
Plaza del Sol, 600 2nd NW  
Albuquerque, NM 87102

Re: Site Certification-3610 Bosque Plaza LA NW Permit BP-2017-40918

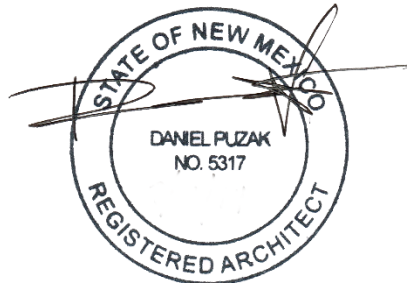
I, Daniel Puzak, AIA, NMRA #5317, of Aria Studio Consultants, INC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved site plan dated November 17, 2017. The record information edited onto the original design documentation has been obtained by Daniel Puzak of the firm Aria Studio Consultants, INC. I further certify that I personally visited the project site on July 19, 2019 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

(Describe any exceptions and/or qualifications here in a separate paragraph.)

1.) Public seating benches to be installed prior to CO.

(Describe any deficiencies and/or required corrections here in a separate paragraph) NONE

The Record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the site plan aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Daniel Puzak, AIA 7/22/19  
Owner, Aria Studio Consultants, Inc.



 **LEGACY**  
HOME HEALTH AND HOSPICE

RESERVED  
PARKING  


RESERVED  
PARKING  
  
VAN  
ACCESSIBLE

LEGACY  
HOME HEALTH AND HOSPITAL

RESERVED  
PARKING

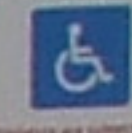
VAN  
ACCESSIBLE

RESERVED  
PARKING

NO  
PARKING



RESERVED  
PARKING



NO MOTORCYCLE

