

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

November 16, 2017

Craig Hagelgantz, P.E.  
ABQ Engineering Inc.  
8102 Menaul Blvd NE, Suite D  
Albuquerque, NM, 87120

**RE: Legacy Home Health – 3610 Bosque Plaza Lane NW**  
**Conceptual Grading and Drainage Plan**  
**Stamp Date: 11/15/17**  
**Hydrology File: E12D006F**

Dear Mr. Hagelgantz:

PO Box 1293

Based upon the information provided in your resubmittal received 11/15/2017, the Conceptual Grading and Drainage Plan is approved for action by the DRB on the Site Plan for Building Permit.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

NM 87103

*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** Legacy Home Health **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** 17-EPC40048 **Work Order#:** \_\_\_\_\_

**Legal Description:** Lot 2 Bosque Plaza

**City Address:** 3610 Bosque Plaza Lane NW, Albuquerque, NM 87120

**Applicant:** ABQ Engineering Inc. **Contact:** Craig Hagelgantz PE

**Address:** 8102 Menaul Blvd. NE, Suite D, Albuquerque NM 87110

**Phone#:** 505-255-7802 **Fax#:** 505-255-7902 **E-mail:** chagelgantz@abqeng.com

**Other Contact:** Debra West **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** 505-453-5813 **Fax#:** \_\_\_\_\_ **E-mail:** debra@ariascinc.com

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

### PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) \_\_\_\_\_

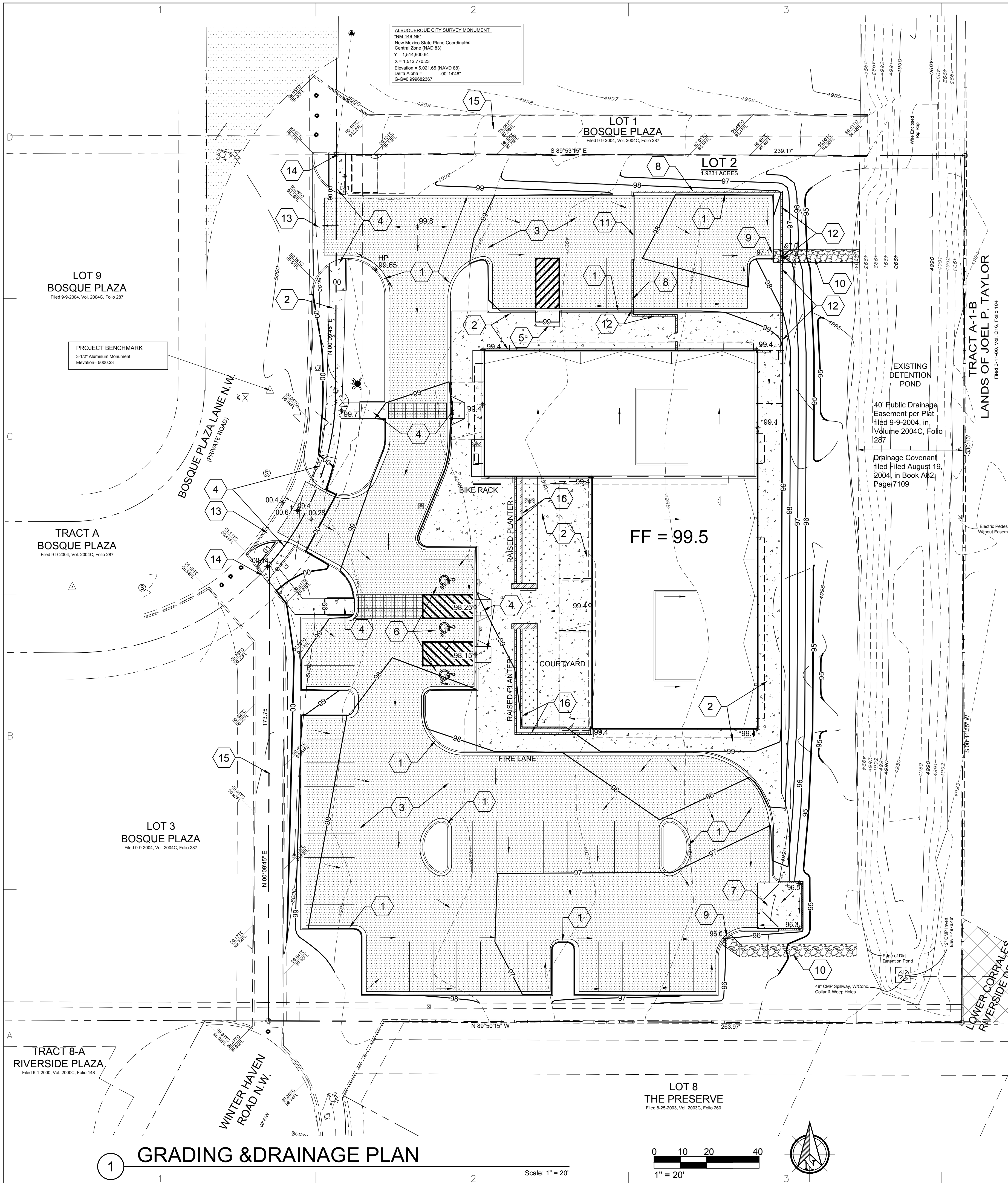
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

**DATE SUBMITTED:** 11-15-17 **By:** Craig Hagelgantz PE

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



LAST MODIFIED: Nov. 15, 2017 10:50am  
BY USER: Craig  
DWG. NAME: 17-02-CVIL.dwg



## DRAINAGE NARRATIVE

THIS SITE IS LOCATED AT LOT 2, BOSQUE PLAZA IN ALBUQUERQUE, BERNALILLO COUNTY. THIS SITE IS LOCATED ON THE NATIONAL FLOOD INSURANCE RATE MAP NO. 35001C0116G EFFECTIVE ON 09/26/2008, AND LIES WITHIN ZONE X, WITH NO PORTION OF THE SITE LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

THE EXISTING SITE IS PART OF AN APPROVED MASTER DRAINAGE PLAN TITLED "REVISED DRAINAGE REPORT FOR SOUTHWEST CORNER OF LA ORILLA AND COORS, LOTS 1,2,3,4,5,6AA,7,8 OF THE LANDS OF MARTIN L. TAYLOR" DATED AUGUST 5, 2004, COA# E-12/D6. THE EXISTING ON-SITE DRAINAGE IS DIRECTED TOWARDS AN EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT AND POND. PROPOSED GRADING FOR THIS SITE HONORS THE EXISTING DRAINAGE PATTERNS. THE MASTER PLAN INCLUDED DRAINAGE PONDS SIZED FOR THE LOTS ASSUMING TYPICAL LOT LAND TREATMENTS AREAS OF 85% TYPE D AND THE REMAINING 15% WITH TYPE C.

THIS PROPOSED DEVELOPMENT INVOLVES THE ADDITION OF A NEW BUILDING AND PAVED PARKING AREA. THIS PROJECT DISTURBS APPROXIMATELY 1.6 ACRES. THE PROPOSED GRADING DIRECTS ALL RUNOFF TOWARDS THE EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT/POND. THE PROPOSED PLAN HAS DRAINAGE FOR THE LOT BASED ON LAND TREATMENTS OF 58% TYPE D AND THE REMAINING 42% WITH TYPE C. THE DEVELOPED RUNOFF IS LESS THAN ALLOWABLE FROM THE MASTER PLAN. THEREFORE NO ADDITIONAL PONDING HAS BEEN ADDED FOR THE 100 YEAR STORM VOLUME (SEE CALCULATIONS).

Hydrology Calculations				
DPM - Volume 2, October 2008				
Section 22.2.Hydrology				
Precipitation Zone	1			
100 Year Storm Depth, P (360)	2.2			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.99	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37
Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "A" (Native Grass, weeds and shrubs)		0.00	0.00	0.00
Type "B" (Native Grass, >20% Slope)		0.00	0.00	0.00
Type "C" (Desert Landscaping, rock/plastic)		0.29	0.29	0.81
Type "D" (Impervious, Roof, Pavement)		1.63	1.63	1.11
Total (Acres)		1.923	1.923	1.923
Excess Precipitation(in)		1.82	1.82	1.56
Volume (100), cf		12725	12725	10870
Volume (10),cf		8526	8526	7283
Q (100), cfs		7.97	7.97	7.19
Q (10), cfs		5.34	5.34	4.82
P (360) Ponding Volume, cf = V(10)proposed-V(10)Allow able =	-1243			
Additional P(360) Ponding Not Required				

## ONSITE FIRST FLUSH DRAINAGE

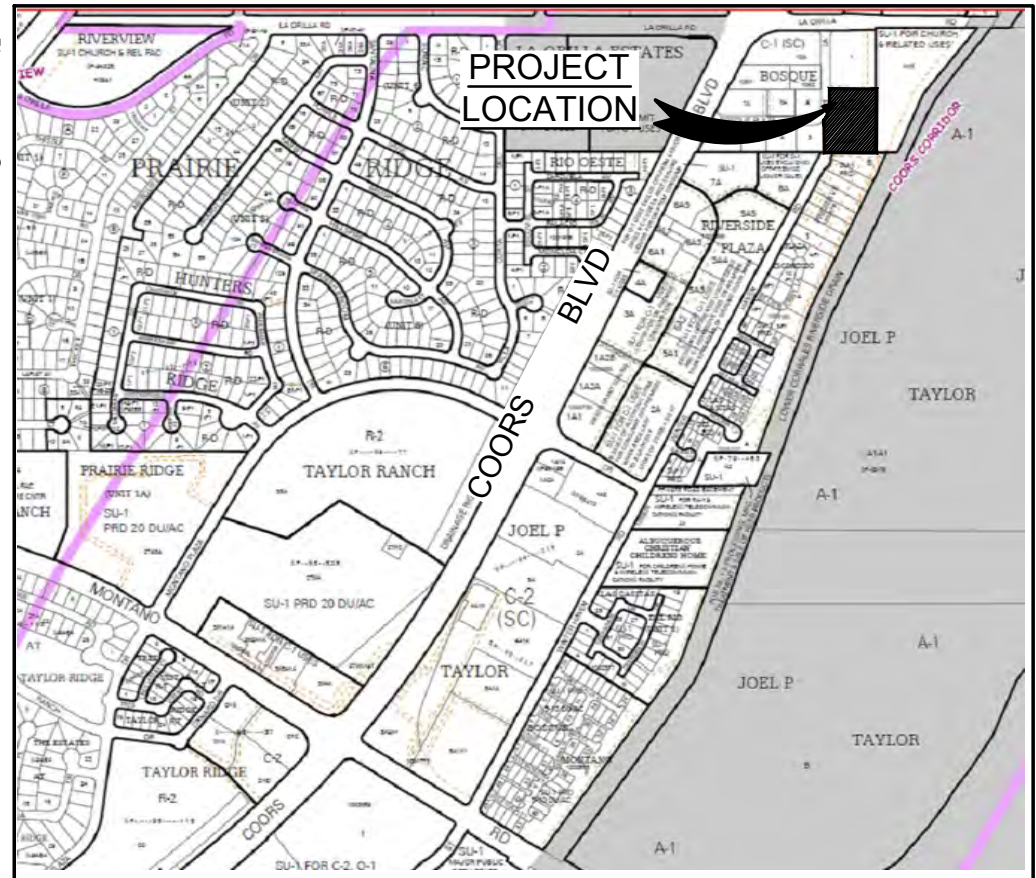
FIRST FLUSH STORAGE REQUIRED BY COA HYDROLOGY:  
PROVIDE STORAGE FOR FIRST FLUSH RUNOFF PER SECTION 22 OF DPM  
TABLE A-6 USE 0.44 - 0.1 = 0.34 IN

FIRST FLUSH (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)  
THEREFORE (0.34 / 12) X 1.11 X 43560 = 1370 CF

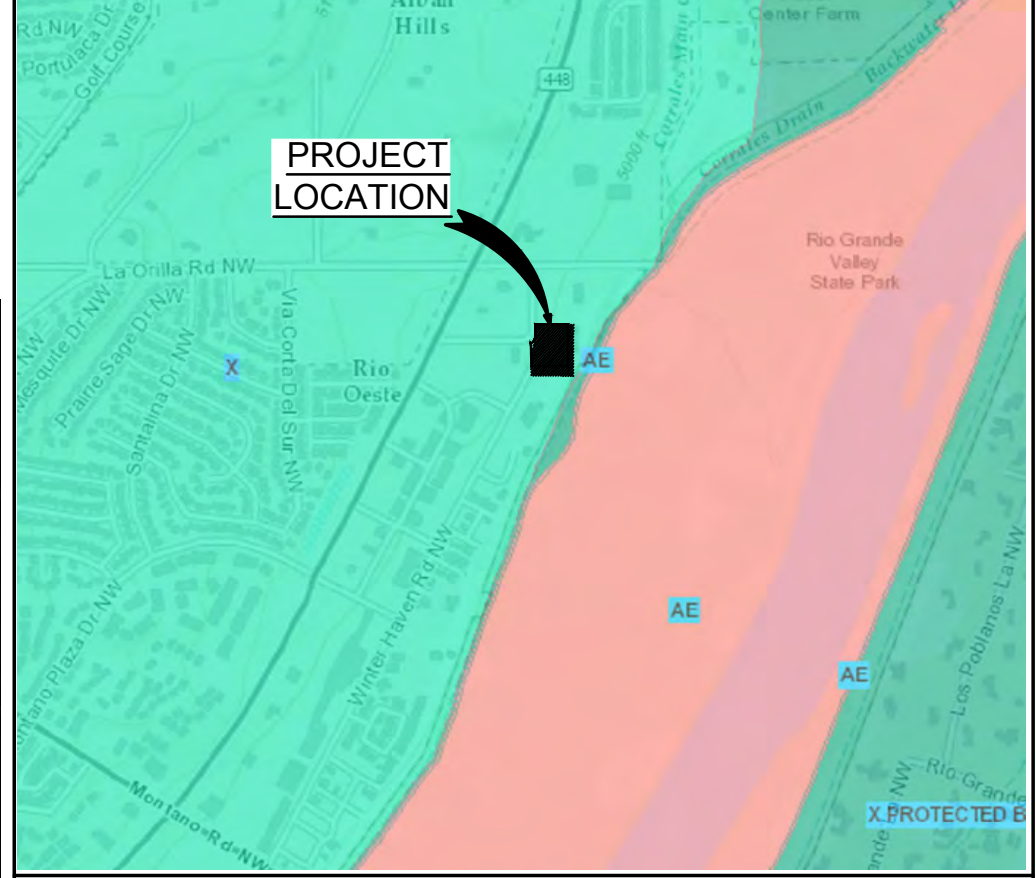
FIRST FLUSH PONDING AREA REQD. = 1370 CF / CAPACITY OF EXISTING POND  
(40' X 300' X 4.5') INCLUDING EXISTING RUNOFF VOLUME FROM 100 YEAR (P360) STORM

## SITE KEYED NOTES

- NEW CURB & GUTTER. PER COA STD DWG 2415A & 5/C-501.
- NEW CONCRETE SIDEWALK PER COA STD DWG 2430 AND DETAIL 2/C-501.
- NEW ASPHALT PAVEMENT. SEE DETAIL 1/C-501
- CONSTRUCT NEW ACCESSIBLE RAMP PER COA STD DWG 2441 AND/OR ALL CURRENT ADA STANDARDS.
- NEW ACCESS RAMPS FOR DELIVERIES.
- NEW ACCESSIBLE PARKING SPACE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW WALL FOR SECURED PARKING AREA. SEE DETAIL 3/C-501 FOR DETAIL.
- CONSTRUCT 2' CURB CUT FOR DRAINAGE.
- INSTALL HAND PLACED, 5' WIDE DRY RIPRAP (3" TO 4" DIA. TYP.) SWALE FOR EROSION CONTROL FROM BACK OF CURB TO TOP OF EXISTING POND.
- NEW ROLLING GATE FOR SECURED PARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROVIDE OPENINGS AT BOTTOM OF WALL FOR DRAINAGE. SEE DETAIL 4/C-501.
- CONSTRUCT NEW ENTRANCE PER COA STD. DWG. 2426.
- NEW CURB CUT AND SIDEWALK ELEVATION TO MATCH EXISTING FLOW LINE OF EXISTING CONCRETE DRAINAGE CHANNEL.
- EXISTING CONCRETE DRAINAGE CHANNEL
- SITE WALLS SEE ARCHITECTURAL AND DETAIL 3/S-501



LOCATION MAP  
SCALE: NONE  
COA ZONE ATLAS: E-12-Z



FIRM MAP  
SCALE: NONE

## LEGEND

---	6510	EXISTING INDEX CONTOUR
---	6509	EXISTING INTERIM CONTOUR
---	10	NEW INDEX CONTOUR
---	09	NEW INTERIM CONTOUR
+	22.8	NEW SPOT ELEVATION
---		NEW CONCRETE SIDEWALK
---		NEW ASPHALT PAVEMENT
FF		NEW BUILDING
---		FINISH FLOOR ELEVATION
---		EXISTING STORM DRAIN STRUCTURE
---		EXISTING STORM DRAIN
---		DIRECTION OF FLOW
---		NEW SIGN
---		EXISTING SANITARY SEWER MANHOLE
---		NEW SANITARY SEWER CLEANOUTS
---		EXISTING GATE VALVE
---		EXISTING FIRE HYDRANT
---		EXISTING WATER METER
---		NEW FIRE HYDRANT

## NOTES

- LOT 2 IS SUBJECT TO ALL RESTRICTIONS, CONDITIONS, AND REQUIREMENTS AS SET FORTH IN THAT CERTAIN "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.



STUDIO CONSULTANTS, INC

PO BOX 1515  
CEDAR CREST NM, 87008  
DANIEL@ARIASCINC.COM  
(505) 506-2314



LEGACY HOME HEALTH

LOT 2 BOSQUE PLAZA  
ALBUQUERQUE, NM 87120



Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	DRB SUBMITTAL	
PROJECT NO	1714.1	
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE	11/15/2017	

SITE GRADING,  
DRAINAGE PLAN  
(CONCEPTUAL)

C-101