

# CITY OF ALBUQUERQUE



May 23, 2019

Jeffery T. Wooten, PE  
Wooten Engineering  
1005 21<sup>st</sup> St. SE, Suite 13  
Rio Rancho, NM 87124

**Re: O'Reilly Auto Parts  
6830 Coors Blvd NW  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 5-20-19 (E12D006G)  
Certification dated 5-20-19**

Dear Mr. Wooten

Based upon the information provided in your submittal received 5-20-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Please add missing Truncated Domes. (See approved plan)
2. Please add motorcycle signs.
3. Please paint COMPACT to the parking stalls as indicated on approved plan.
4. Please send photos of corrections to [epgomez@cabq.gov](mailto:epgomez@cabq.gov)

NM 87103

If you have any questions, please contact me at (505) 924-3981.

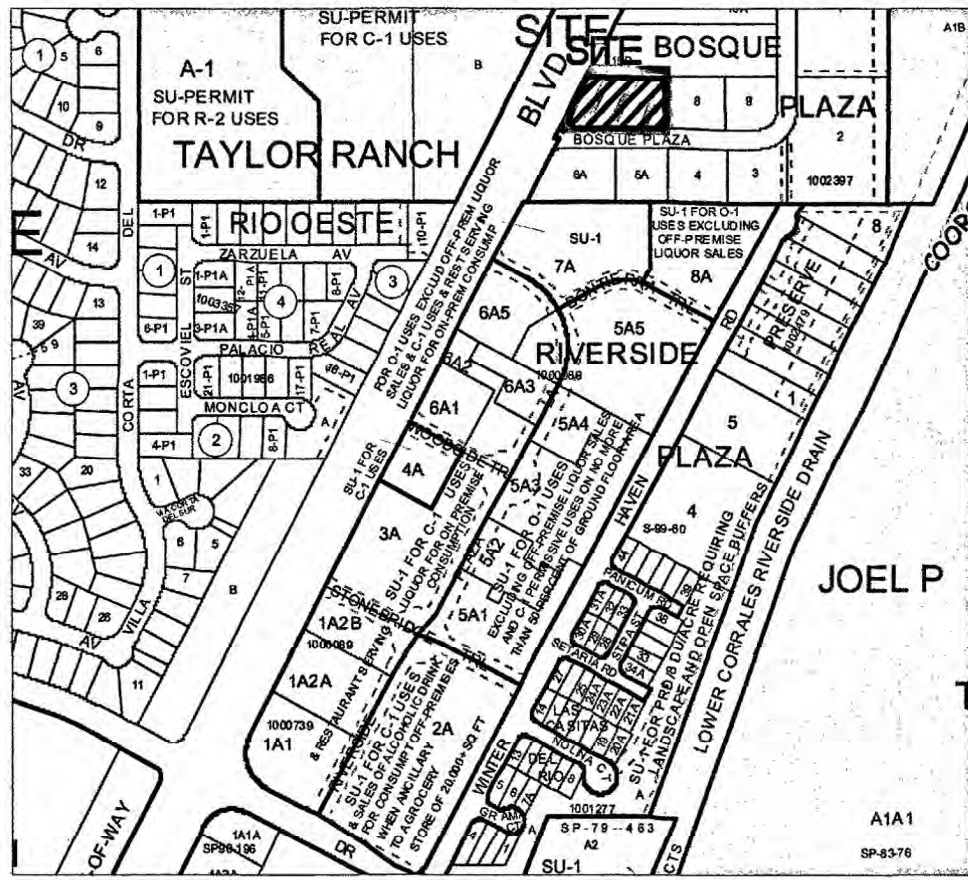
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





### VICINITY MAP - Zone Map E-12-Z

Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres

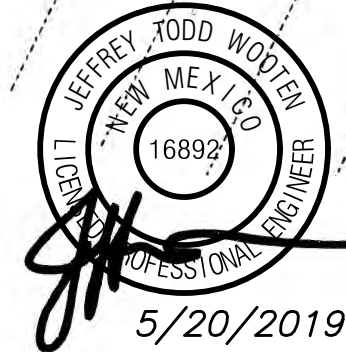
#### SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE SITE PLAN APPROVED BY ADMINISTRATIVE AMENDMENT (RUSSELL BRITO) DATED 3/8/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/20/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMPORARY C.O.).

THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CO:  
- ADA ROUTE SIDEWALK TO BOSQUE PLAZA SHOULD BE CORRECTED TO A 5% MAX RUNNING SLOPE (OR 8% WITH HANDRAILS).  
- THE BENCH, TRASH CAN, AND TREE SHOULD BE ADDED ADJACENT TO THE ADA SIDEWALK TO BOSQUE PLAZA.  
- THE LIGHT POLES EXCEED THE MAXIMUM 16' HEIGHT PER THE APPROVED SITE PLAN FOR SUBDIVISION. THE CORRECT POLES MUST BE INSTALLED.  
- THE TRASH ENCLOSURE GATES NEED TO BE INSTALLED.  
- COMPACT PARKING SPACES NEED TO BE PAINTED PER KEYED NOTE 22.  
- CORRECT SIDEWALK JOINTS ON NEW SIDEWALK ALONG BOSQUE PLAZA.  
- INSTALL THE DETECTABLE WARNING SURFACE PER KEYED NOTE 19.  
- SECONDARY PEDESTRIAN ACCESS ON THE EAST SIDE OF THE SITE NEEDS TO BE INSTALLED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892

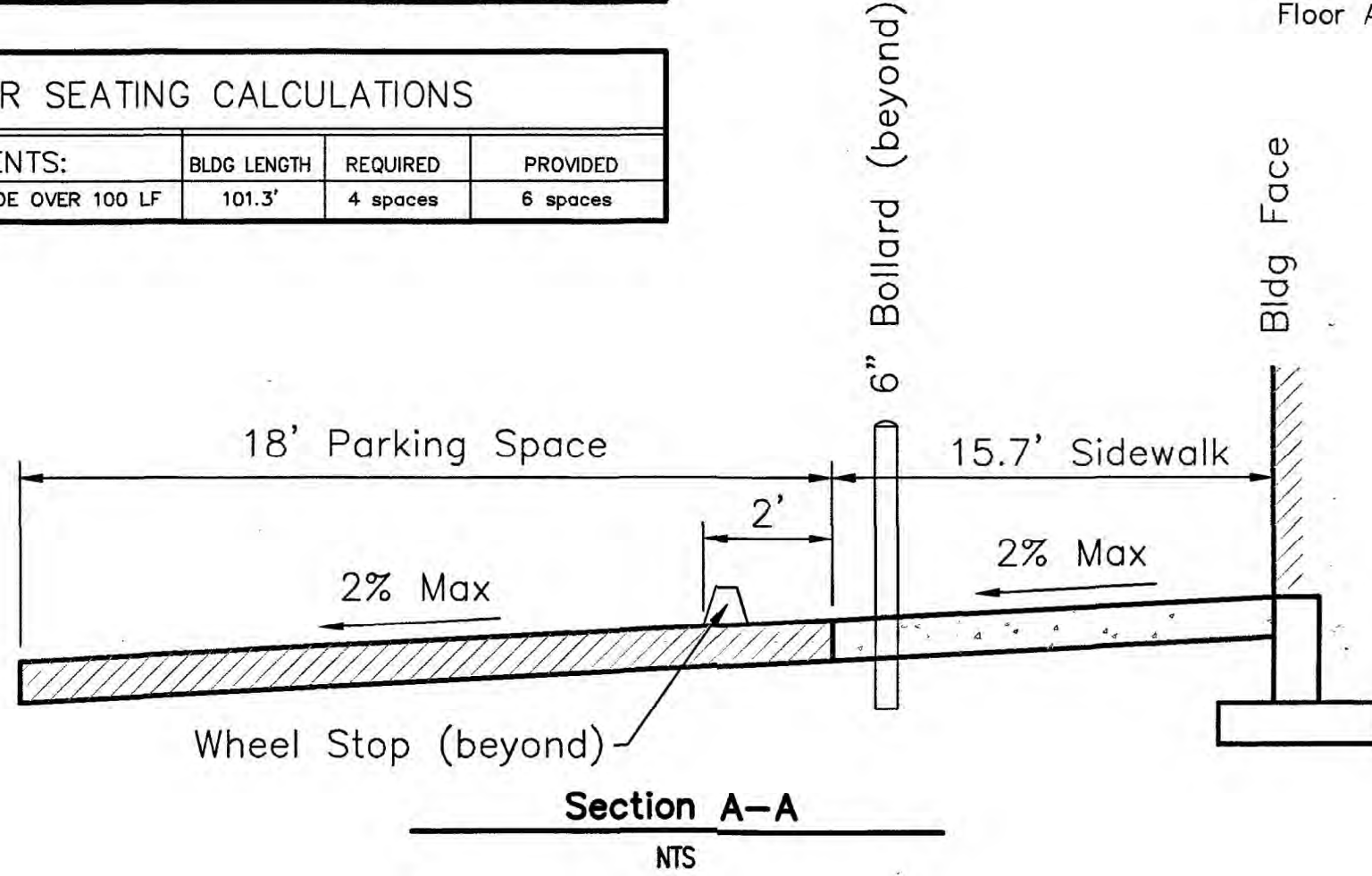


PARKING CALCULATIONS				
BUILDING AREA:		BUILDING AREA (SQUARE FEET)		
RETAIL (AUTO PARTS)		7,200 SF		
PARKING REQUIREMENTS:		RATIO	REQUIRED	PROVIDED
RETAIL (AUTO PARTS)		1/200 SF	36 spaces	32 spaces
BUS ROUTE REDUCTION (10%)			-4 spaces	
TOTAL			32 spaces	32 spaces
		REQUIRED	PROVIDED	
HANDICAP PARKING		2 spaces	2 spaces	
MOTORCYCLE PARKING		1 spaces	2 spaces	
BICYCLE PARKING		2 spaces	3 spaces	

OUTDOOR SEATING CALCULATIONS			
SEATING REQUIREMENTS:		BLDG LENGTH	REQUIRED PROVIDED
1 PER 25 LF BUILDING FACADE OVER 100 LF		101.3'	4 spaces 6 spaces

THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE BOSQUE PLAZA SITE DEVELOPMENT PLAN FOR SUBDIVISION.

NOTE: ALL LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT GRADE.

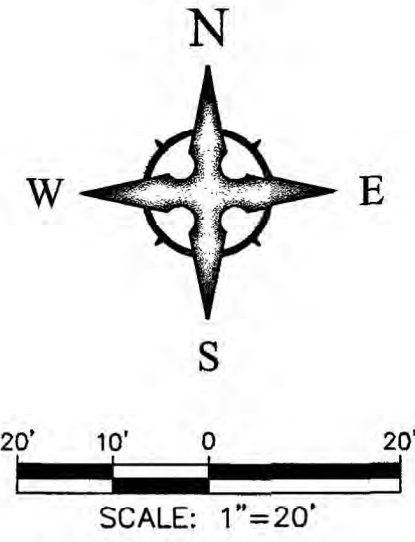


GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.7763 Acres (33,817 SF)  
Zoning: MX-L  
Proposed Use: Retail (Auto Parts Store)  
Proposed 21'-4"  
Building Height: Per C-1 Zone and Coors Corridor Plan  
Building Setback: Actual:  
Coors: 87.6'  
North: 5.3'  
East: 10'  
South (Bosque Plaza): 63'  
35' Required along Coors  
10' Required along Bosque Plaza  
Building Area: 7,200 SF  
Lot Area 33,817 SF  
Proposed FAR = 0.21  
Maximum Allowed FAR = 0.30

Landscape Setback:

Floor Area Ratio:



#### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Lot 10-B-1  
Bosque Plaza  
(5/3/07, 07C-107)  
Owner: CFT New Mexico  
Developments LLC  
UPC#101206241551610212

EXISTING PANDA EXPRESS

SITE DEVELOPMENT PLAN  
FILE #: PR-2018-001751  
S1-2018-00217 & 00218  
Consistent with EPC  
Approval  
Approved 08 March 2019  
APPROVED BY DATE

Lot 8-A  
Bosque Plaza  
(5/3/07, 07C-107)  
Owner: Jim & Christen Shull  
UPC#101206242249610210

#### PROPOSED EASEMENT LEGEND

- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 7-A TO BE MAINTAINED BY THE OWNER OF LOT 8-A.
- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 8-A TO BE MAINTAINED BY THE OWNER OF LOT 7-A.
- PROPOSED SIDEWALK EASEMENT FOR THE BENEFIT OF LOT 7-A AND LOT 8-A TO BE JOINTLY MAINTAINED BY THE OWNERS OF EACH LOT.

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

#### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Environmental Health Department*	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

Rev 1: 12/13/18; Removed Wall / Stairs / Sidewalk per EPC Approval on 12/13/18.  
Rev 2: 9/18/18; Revised Trash Enc., added Transformer, and added 12" Sidewalk Culvert per EPC Condition and PNM Requirements.

Project Number 2017004  
Drawn By RG  
Checked JW  
Issue Date April 27, 2018

Site Plan for Building Permit

SP1.1

O'Reilly Auto Parts  
6380 Coors Blvd. NW  
Albuquerque, New Mexico 87120

Wooten Engineering  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

**Project Title:** O'Reilly Auto Parts **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E12-D006G  
**DRB#:** 1004167 **EPC#:** 17EPC-40043 **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 7-A, Bosque Plaza  
**City Address:** 6380 Coors Blvd NW

**Applicant:** Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.  
**Address:** 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124  
**Phone#:** 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com  
**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** May 20, 2019 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_