

CITY OF ALBUQUERQUE



May 7, 2018

Jeffrey Wooten P.E.
Wooten Engineering
1005 21st Street SE
Albuquerque, NM 87124

Re: O'Reilly Auto Parts, 6380 Coors Blvd NW
Traffic Circulation Layout – Not Required
Engineer's Stamp dated NA (E12-D006G)

Dear Mr. Wooten,

Thank you for the TCL submittal received 05-02-18. The above referenced plan is not required to go through the TCL process. Due to the existing zoning, this project is site plan controlled and will need to be submitted through the appropriate Board, (EPC, DRB, and AA) for approval. Verify with the Zoning Department for the correct Board approval. If this plan has already been approved by one of the Boards, be sure to include it in the plan set when applying for building permit.

PO Box 1293

If you have any questions feel free to call me at 924-3630.

Albuquerque

Sincerely,

NM 87103

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: O'Reilly Auto Parts **Building Permit #:** _____ **Hydrology File #:** E12-D006G
DRB#: 1004167 **EPC#:** 17EPC-40043 **Work Order#:** _____
Legal Description: Lot 7-A, Bosque Plaza
City Address: 6380 Coors Blvd NW

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124
Phone#: 505-980-3560 **Fax#:** n/a **E-mail:** jeffwooten.pe@gmail.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ☒ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLICATION
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

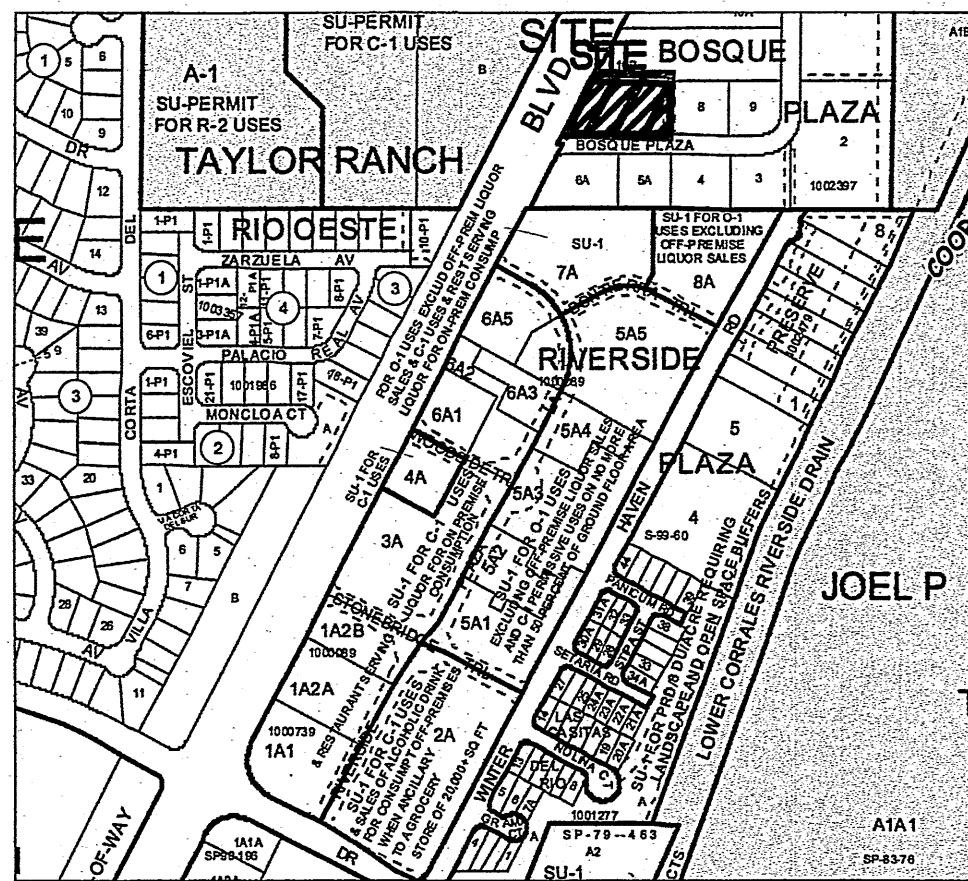


DATE SUBMITTED: April 27, 2018 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP - Zone Map E-12-Z

Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres

PARKING CALCULATIONS					
BUILDING AREA:			BUILDING AREA (SQUARE FEET)		
RETAIL (AUTO PARTS)			7,200 SF		
PARKING REQUIREMENTS:			RATIO	REQUIRED	PROVIDED
RETAIL (AUTO PARTS)			1/200 SF	36 spaces	32 spaces
BUS ROUTE REDUCTION (10%)				-4 spaces	
TOTAL				32 spaces	32 spaces
			REQUIRED	PROVIDED	
HANDICAP PARKING			2 spaces	2 spaces	
MOTORCYCLE PARKING			1 spaces	2 spaces	
BICYCLE PARKING			2 spaces	3 spaces	

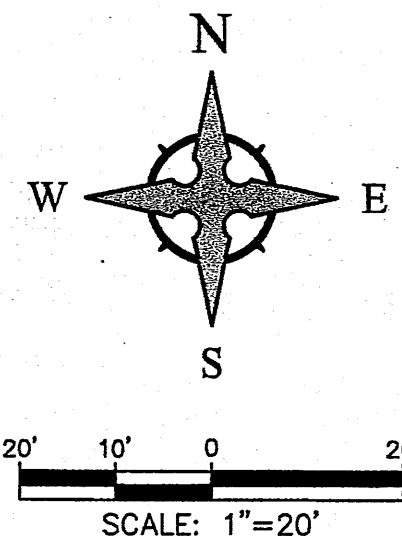
OUTDOOR SEATING CALCULATIONS				
SEATING REQUIREMENTS:		BLDG LENGTH	REQUIRED	PROVIDED
1 PER 25 LF BUILDING FACADE OVER 100 LF		101.3'	4 spaces	6 spaces

GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.7763 Acres (33,817 SF)
Zoning: C-1 (SC)
Proposed Use: Retail (Auto Parts Store)
Building Height: Proposed 21'-4"
Building Setback: Per C-1 Zone and Coors Corridor Plan
Actual:
Coors: 87.6'
North: 5.3'
East: 10'
South (Bosque Plaza): 63'
35' Required along Coors
10' Required along Bosque Plaza
Building Area: 7,200 SF
Lot Area 33,817 SF
Proposed FAR = 0.21
Maximum Allowed FAR = 0.30

Landscape Setback:

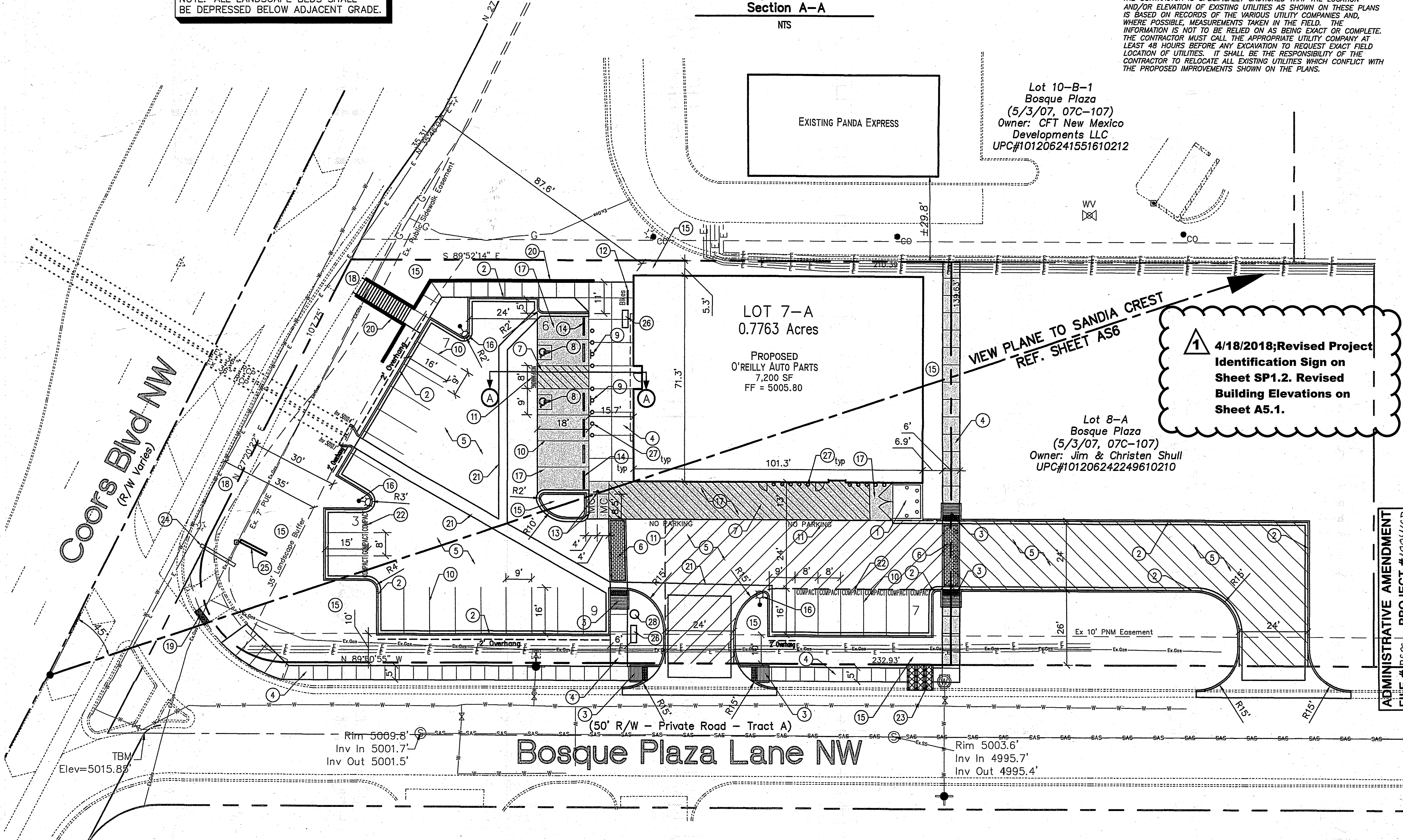
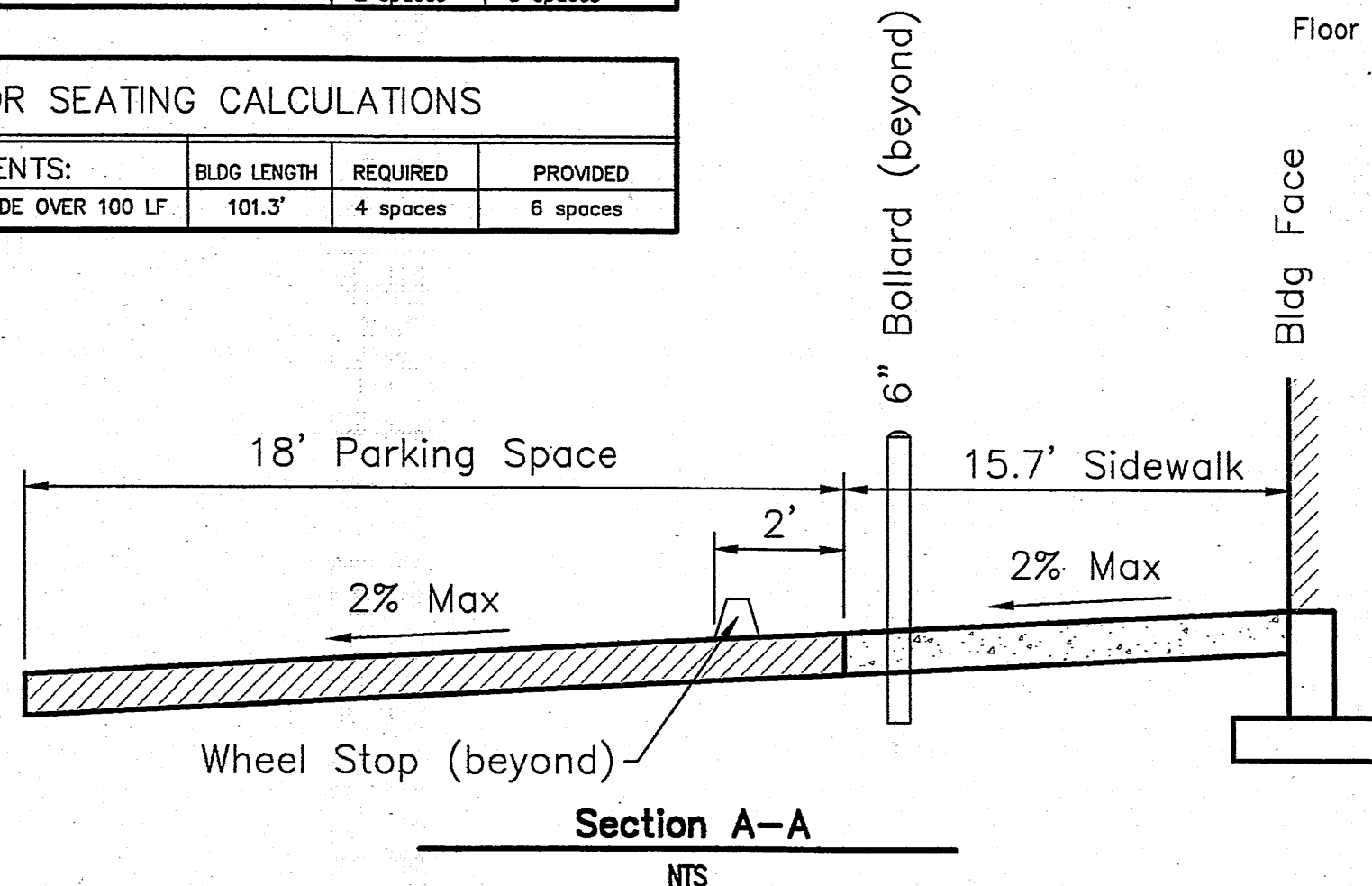
Floor Area Ratio:



CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE BOSQUE PLAZA SITE DEVELOPMENT PLAN FOR SUBDIVISION.

NOTE: ALL LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT GRADE.



Lot 10-B-1
Bosque Plaza
(5/3/07, 07C-107)
Owner: CFT New Mexico
Developments LLC
UPC#101206241551610212

Lot 8-A
Bosque Plaza
(5/3/07, 07C-107)
Owner: Jim & Christen Shull
UPC#101206242249610210

4/18/2018; Revised Project Identification Sign on Sheet SP1.2. Revised Building Elevations on Sheet AS5.1.

PROPOSED EASEMENT LEGEND

- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 7-A TO BE MAINTAINED BY THE OWNER OF LOT 8-A.
- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 8-A TO BE MAINTAINED BY THE OWNER OF LOT 7-A.
- PROPOSED SIDEWALK EASEMENT FOR THE BENEFIT OF LOT 7-A AND LOT 8-A TO BE JOINTLY MAINTAINED BY THE OWNERS OF EACH LOT.

PROJECT NUMBER: 1004167
APPLICATION NUMBER: 1B DPB-7006B

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>Ramona M. ...</i>	3/13/18
Traffic Engineering, Transportation Division	Date
<i>Jim ...</i>	3/7/18
Water Utility Department	Date
<i>Jim ...</i>	3/7/18
Parks and Recreation Department	Date
<i>Renee ...</i>	3/7/16
City Engineer	Date
<i>...</i>	3/7/18
Code Enforcement	Date
<i>N/A</i>	Date
Environmental Health Department*	Date
<i>...</i>	3/13/18
Solid Waste Management	Date
<i>...</i>	3/13/18
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

Not For Construction

Project Number 2017004
Drawn By RC
Checked JW
Issue Date September 20, 2017
Site Plan for Building Permit