CITY OF ALBUQUERQUE



May 7, 2018

Jeffrey Wooten P.E. Wooten Engineering 1005 21St Street SE Albuquerque, NM 87124

Re: O'Reilly Auto Parts, 6380 Coors Blvd NW Traffic Circulation Layout – Not Required Engineer's Stamp dated NA (E12-D006G)

Dear Mr. Wooten,

Thank you for the TCL submittal received 05-02-18. The above referenced plan is not required to go through the TCL process. Due to the existing zoning, this project is site plan controlled and will need to be submitted through the appropriate Board, (EPC, DRB, and AA) for approval. Verify with the Zoning Department for the correct Board approval. If this plan has already been approved by one of the Boards, be sure to include it in the plan set when applying for building permit.

PO Box 1293

If you have any questions feel free to call me at 924-3630.

Albuquerque

Sincerely,

NM 87103

Logan Patz

Senior Engineer, Planning Dept. Development Review Services

www.cabq.gov

LWP via: email C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

		Hydrology File #: <u>E12-D006G</u> Work Order#:
Legal Description: Lot 7-A, Bosque Plaza	EPC#: 17E1 0-40043	work Order#:
•		
City Address: 6380 Coors Blvd NW		
		Contact: Jeffrey T.Wooten, P.E.
Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124		
Phone#: 505-980-3560	Fax#: n/a	E-mail: jeffwooten.pe@gmail.com
Other Contact:		Contact:
Address:		
Phone#:		E-mail:
Check all that Apply:	IS THIS A RESUL	BMITTAL?: Yes X No
DEPARTMENT:HYDROLOGY/ DRAINAGE	TVDE OF LEDE	OLIVE IN CORPERANCE CONCRETE
TRAFFIC/ TRANSPORTATION	1979	OVAL/ACCEPTANCE SOUGHT:
		PERMIT APPROVAL TE OF OCCUPANCY
TYPE OF SUBMITTAL:		TE OF OCCOLANCE
ENGINEER/ARCHITECT CERTIFICATION		ARY PLAT APPROVAL
PAD CERTIFICATION CONCEPTUAL G & D PLAN		FOR SUB'D APPROVAL
GRADING PLAN		FOR BLDG. PERMIT APPROVAL
DRAINAGE MASTER PLAN	FINAL PLA	T APPROVAL
DRAINAGE REPORT		
	PPLICA NO IS A SIA RELEA	ASE OF FINANCIAL GUARANTEE
FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE	FOUNDATION	ON PERMIT APPROVAL
CLOMR/LOMR	GRADING I	PERMIT APPROVAL
W W	AY 0 2 2018 SO-19 APPR	ROVAL
X TRAFFIC CIRCULATION LAYOUT (TCL)	EVELOPMENT SECTION GRADING/I	RMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS) \ AND D	EVELOPMENT DES GRADING/	PAD CERTIFICATION
	WORK ORD	ERTH TROVAL
OTHER (SPECIFY)	CLOMR/LO	MR IN DEVELOPMENT PERMIT
PRE-DESIGN MEETING?		ECIFY)
	OTTER (SI	
DATE SUBMITTED: April 27, 2018 By: Jeffrey T. Wooten, P.E.		
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:_	

FEE PAID:

Project Number Checked Issue Date September 20, 2017

Site Plan for **Building Permit**

KEYED NOTES

1. PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS.

2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.

3. INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12 WITH DETECTABLE

4. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.

5. ASPHALT PAVEMENT.

6. INSTALL 6' WIDE COLORED / TEXTURED CONCRETE PEDESTRIAN CROSSING. CONCRETE PAVEMENT SHALL BE 6" THICK 3,500 PSI MINIMUM. REF. DETAIL, SHEET SP1.2.

7. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO

8. PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO

9. INSTALL H/C SIGNAGE PER DETAIL, SHEET C1.2. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."

10. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.

11. PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.

12. INSTALL BIKE RACK PER DETAIL, SHEET SP1.2. TWO (2) SPACES MINIMUM.

13. MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNS PER DETAIL SHEET SP1.2.

14. INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET SP1.2.

15. LANDSCAPED AREA. REF. LANDSCAPE PLAN.

16. LIGHT POLE PER DETAIL, SHEET SP1.2. COLOR: BLACK TO MATCH THOSE EXISTING WITHIN THE BOSQUE PLAZA SHOPPING CENTER.

17. 6" 3,500 PSI CONCRETE PAVEMENT. STANDARD BROOM FINISH.

18. EXISTING 10' WIDE ASPHALT BIKE PATH.

19. INSTALL 'CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING SURFACE (DWS) ONTO EXISTING RAMP PER NMDOT STD DWGS 608-001, SHEET 8.

20. PROPOSED SPLIT FACE RETAINING WALL. REF. DETAIL, SHEET SP1.2. COLOR: MONASTARY BROWN OR EQUAL TO MATCH BUILDING.

21. VALLEY GUTTER PER DETAIL ON GRADING PLAN. VARIES 3' TO 4' WIDE. REF. GRADING

22. INSTALL 2 COATS OF PAINT FOR COMPACT PARKING SPACES. LETTERS 'COMPACT' MIN 8" TALL. COLOR: WHITE

23. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.

24. REMOVE EXISTING BILLBOARD IN ITS' ENTIRETY.

25. INSTALL NEW PROJECT IDENTIFICATION SIGN PER THE APPROVED SITE PLAN FOR SUBDIVISION AND PER DETAIL ON SHEET SP1.2. THE PROJECT IDENTIFICATION SIGN MAY CONTAIN A MAXIMUM OF 10 PANELS AND SHALL BE USED FOR THE BOSQUE PLAZA SHOPPING CENTER. SIGN TO BE PERMITTED SEPARATELY.

26. INSTALL EVEREST SERIES 6' BENCH FROM BENCH WITH BACK (PERFORATED IN GROUND MOUNT) PER DETAIL ON SHEET AS1.2. MODEL NUMBER 398-6001. COLOR: POWDER COATED BEIGE. WWW.THEPARKCATALOG.COM

27. INSTALL 6" PIPE BOLLARD PER DETAIL, SHEET SP1.2. (19 TOTAL)

28. INSTALL PLAZA SERIES 36 GALLON TRASH RECEPTACLE WITH URN TOP. MODEL NUMBER 398-8002. COLOR: POWDER COATED BEIGE. WWW.THEPARKCATALOG.COM

NOTE: ALL SITE LIGHTING SHALL COMPLY WITH THE COMPREHENSIVE ZONING ORDINANCE, THE NEW MEXICO NIGHT SKY ORDINANCE, AND THE APPROVED BOSQUE PLAZA SITE PLAN FOR

PROPOSED EASEMENT LEGEND

PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 7-A TO BE MAINTAINED BY THE OWNER OF LOT 8-A.

PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 8-A TO BE MAINTAINED BY THE OWNER OF LOT 7-A.

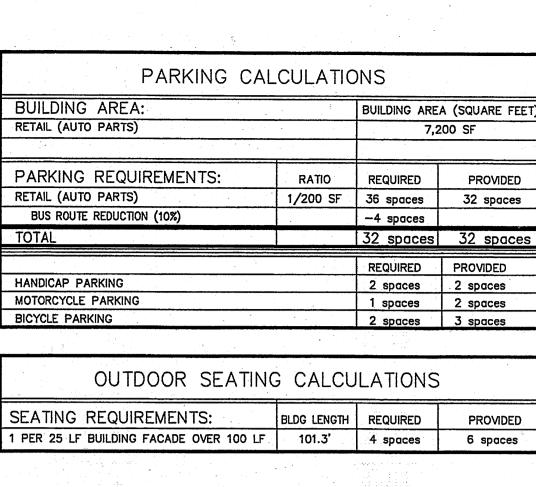
PROPOSED SIDEWALK EASEMENT FOR THE BENEFIT OF LOT 7-A AND LOT 8-A TO BE JOINTLY MAINTAINED BY THE OWNERS OF EACH LOT.

> 1004167 18 DFB-7006B This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the the findings and conditions in the Official Notification of Decision are satisfied Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL Parks and Recreation Department 3/7/18 Renée Bressett Code Enforcemen

Environmental Health Department*

* Environmental Health, if necessary



FOR R-2 USES

TAYLOR RANCI

VICINITY MAP - Zone Map E-12-Z

Élev=5015.8**5**

Legal Description: Lot 7—A, Bosque Plaza, 0.7763 Acres

THE SITE DEVELOPMENT PLAN SHALL

PLAN FOR SUBDIVISION.

COMPLY WITH THE DESIGN REGULATIONS OF

THE BOSQUE PLAZA SITE DEVELOPMENT

NOTE: ALL LANDSCAPE BEDS SHALL

BE DEPRESSED BELOW ADJACENT GRADE.

Inv In 5001.7'-

Inv Out 5001.5'

FI RIDIDESTE

PROVIDED

18' Parking Space 15.7' Sidewalk 2% Max 2% Max Wheel Stop (beyond) -

EXISTING PANDA EXPRESS

LOT 7-A

0.7763 Acres

PROPOSED

O'REILLY AUTO PARTS 7,200 SF

FF = 5005.80

SCALE: 1"=20' CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION Section A-A AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. Lot 10-B-1 Bosque Plaza

(5/3/07, 07C-107) Owner: CFT New Mexico Developments LLC UPC#101206241551610212

GENERAL NOTES (REQUIRED INFORMATION)

Zoning:

Proposed Use:

Building Height:

Building Setback:

Landscape Setback:

Floor Area Ratio:

0.7763 Acres (33,817 SF)

Retail (Auto Parts Store)

35' Required along Coors

Lot Area 33,817 SF Proposed FAR = 0.21

Per C-1 Zone and Coors Corridor Plan

South (Bosque Plaza): 63'

10' Required along Bosque Plaza Building Area: 7,200 SF

Maximum Allowed FAR = 0.30

Proposed 21'-4"

Coors: 87.6'

North: 5.3'

East: 10'

C-1 (SC)

Actual:

W٧

/1\ 4/18/2018;Revised Project Identification Sign on Sheet SP1.2. Revised

Building Elevations on Sheet A5.1. Lot 8-A Bosque Plaza

(5/3/07, 07C-107) UPC#101206242249610210

Owner: Jim & Christen Shull

(50' R/W — Private Road — Tract A) Bosque Plaza Lane NW

Rim 5003.6' Inv In 4995.7'

Inv Out 4995.4'

03-13-18 Date 3.15.18

SP1.1