CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



May 28, 2019

Jeffrey T. Wooten, P.E. Wooten Engineering 1005 21st Street SE, Suite 13 Rio Rancho, NM, 87124

RE: O'Reilly Auto Parts – 6380 Coors Blvd NW

Temporary C.O. - Accepted

Engineer's Certification Date: 05/20/19

Engineer's Stamp Date: 04/27/18 Hydrology File: E12D006G

Dear Mr. Wooten:

PO Box 1293

Albuquerque

Based on the Certification received 05/20/2019 and site visit on 05/28/19, this certification is approved in support of Temporary Release of Occupancy by Hydrology. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

NM 87103

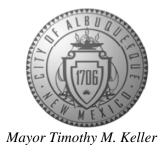
www.cabq.gov

- 1. Please provide the as-built volume for the stormwater quality pond. If the as-built volume is less than the required volume, then a Fee in Lieu (\$8/CF) for the difference will be required. I will need to fill out the Deposit form then the Owner will need to bring three copies to the cashier on the Building Permits side of the ground floor and pay the fee. This needs to be done prior to Permanent C.O.
- 2. The sidewalk culverts appears not to have the full 8 inch depth, therefore are not carrying the calculated volume. Please correct.



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3. Please add the steel plate to the onsite sidewalk culvert.



If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

PO Box 1293

Renée C. Brissette, P.E. CFM

Renée C. Brissette

Albuquerque Senior Engineer, Hydrology

Planning Department

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: O'Reilly Auto Parts	Building Permit #:	Hydrology File #: E12-D0060
DRB#: 1004167	EPC#: 17EPC-40043	Work Order#:
Legal Description: Lot 7-A, Bosque P	1070	
City Address: 6380 Coors Blvd NW		
Applicant: Wooten Engineering		Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite 13		Contact: demey 1: Wooten, 1:2.
		E-mail: jeffwooten.pe@gmail.com
		Contact:
Address:		
		E-mail:
TYPE OF SUBMITTAL:PLAT (IS THIS A RESUBMITTAL?: DEPARTMENT:TRAFFIC/ TRANS	Yes X No	
TYPE OF SUBMITTAL: X ENGINEER/ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PER ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?		APPROVAL/ACCEPTANCE SOUGHT: DING PERMIT APPROVAL DIFICATE OF OCCUPANCY LIMINARY PLAT APPROVAL PLAN FOR SUB'D APPROVAL PLAN FOR BLDG. PERMIT APPROVAL L PLAT APPROVAL RELEASE OF FINANCIAL GUARANTEE NDATION PERMIT APPROVAL DING PERMIT APPROVAL ONG PERMIT APPROVAL ONG PERMIT APPROVAL DING/ PAD CERTIFICATION K ORDER APPROVAL MR/LOMR DDPLAIN DEVELOPMENT PERMIT ER (SPECIFY)
DATE SUBMITTED: May 20, 2019		P.E.
COA STAFF:	ELECTRONIC SUBMITTAL REC	EIVED:

FEE PAID:

Project Number Drawn By Checked April 27, 2018 Issue Date

Grading Plan

per EPC Condition and PNM

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF

ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY). 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD

9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION

THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT

R R-2 USES TAYLOR RANCH A1A1 SP-83-76

VICINITY MAP - Zone Map E-12-Z Legal Description: Lot 7—A, Bosque Plaza, 0.7763 Acres



FIRM MAP 35001C0116G

Per FIRM Map 35001C0116G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the development of Lot 7—A, Bosque Plaza. The site is located at 6380 Coors Blvd NW (NEC of Coors Blvd NW and Bosque Plaza Ln NW) in Albuquerque, NM. The site contains approximately 0.7763 acres. The proposed development consists of a new O'Reilly Auto Parts store with the associated parking lot and landscaping. Tierra West LLC prepared the latest approved Drainage Report for this subdivision titled 'Southeast Corner of La Orilla and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, and 8 of the Lands of Martin L. Taylor.' The file number for this report is E12/D006.

EXISTING HYDROLOGIC CONDITIONS

Per the above Drainage Report by Tierra West LLC, the site was previously mass graded to allow for future development and generally slopes from west to east then surface drains south into Bosque Plaza Lane. The drainage systems for the subdivision allow free discharge of fully developed conditions.

Coors Blvd and onto the site. To our knowledge, the NMDOT does not have an easement on the subject property for the pipes or for the drainage being conveyed across the site. According to the recently approved 'La Orilla Estates' Drainage Report by Tierra West LLC, there is approximately 3.15 cfs that discharges from these pipes and onto the subject site. This flow currently traverses the site and surface discharges into Bosque Plaza Lane.

A new Stormwater Quality Pond is to be built near the southeast corner of the property which will discharge into Bosque Plaza Lane via a 24" Wide Sidewalk Culvert.

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The

DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/27/2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER JR., NMPS 14271, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/20/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN

 SWALE AROUND BUILDING NEEDS TO BE GRADED. - SWQ POND NEEDS TO BE EXCAVATED ONCE NM GAS HAS

THE RECORD INFORMATION (CLOUDED) PRESENTED HEREON IS NOT OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

------ FLOW ARROW PROPOSED TOP OF GRADE/PVMT ELEVATIONS

PROPOSED FLOW LINE/GUTTER ELEVATIONS PROPOSED TOP OF CURB ELEVATIONS PROPOSED TOP OF SIDEWALK ELEVATION

FINISHED GRADE AT TOP OF WALL

Inv Ou/t 5001

BW83.40 FINISHED GRADE AT BOTTOM OF WALL EXISTING CONTOUR

TW83.40

3**'**-0"

3' Wide Valley Gutter Detail

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION

LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE

WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE

THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND,

INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD

CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH

CAUTION - NOTICE TO CONTRACTOR

O Solito Marios

Elev=5015.

-AGGREGATE BASE

COURSE AND BACK

FILL AS REQUIRED

BY GEOTECHNICAL

REPORT.

PROPOSED CONTOUR EXISTING STORM DRAIN

<u>LEGEND</u>

NOTE: ALL LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT GRADE

IMPERVIOUS AREA CALCULATIONS

4'-0"

Wide Valley Gutter Detail

-AGGREGATE BASE

COURSE AND BACK

FILL AS REQUIRED

BY GEOTECHNICAL

5.54 F.5.40 5.68 F.5.60

FL5.55

REPORT.

6" THICK 4,000 PSI CONCRETE

3'-0"

2'-0"

CHAMFERED EDGE

EXISTING PANDA EXPRESS

LOT 7-A

0.7763 Acres

PROPOSED

O'REILLY AUTO PARTS

7,200 SF

FF = 5005.80

(50' R/W - Private Road /- Tract A)

| Install 24" Sidewalk Culvert | F13.76|
| per COA Std Dwg 2236. (Qty 3) | 3.54|

Bosque Plaza Lane NW

5005.88

SCALE: 1"=20'

L..........

<u>F14.80</u>_____

Lot 10-B-1

Bosque Plaza

PAVEMENT

Curb Opening Detail

PROPOSED SITE CONDITIONS TOTAL SITE AREA: 33,817 SF PERVIOUS AREA: 8,551 SF (25.3%) IMPERVIOUS AREA: 25,266 SF (74.7%)

FIRST FLUSH CALCULATION TOTAL IMPERVIOUS AREA = 25,266 SF FIRST FLUSH = 25,266 * 0.34" / 12 = 716 CFTOTAL VOLUME PROVIDED = 516 CF

			Pre-	Develo	oed Dra	inage (Calculat	tions				
	This	table is based o	on the COA DP	M Section	22.2, Zone:	2						
BASIN	Area	Area	Land Treatment Percentages			Q(100)	Q(100)	WTE	V(100) ₃₆₀	V(100) ₁₄₄₀	V(100) _{10day}	
	(SQ. FT)	(AC.)	Α	В	С	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
Site	33817	0.78	0.0%	0.0%	100.0%	0.0%	3.14	2.44	1.13	3184	3184	3184
TOTAL	33817	0.78						2.44		3184	3184	3184
			Post-De	veloped	l Draina	ge Cal	culation	ıs				
		Ultimate Development Conditions Basin Data				Data Table						
	This	table is based o	n the COA DP	M Section	22.2, Zone:	2						1
BASIN	Area	Area	ea Land Treatment Percentages			Q(100)	Q(100)	WTE	V(100) ₃₆₀	V(100) ₁₄₄₀	V(100) _{10day}	
	(SQ. FT)	(AC.)	A	В	С	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
Site	33817	0.78	0.0%	0.0%	25.0%	75.0%	4.31	3.35	1.87	5277	6122	8659
TOTAL	33817	0.78						3.35		5277	6122	8659

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

(IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.

11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO

TO STORM WATER DISCHARGE. (5/3/07, 07C-107) Owner: CFT New Mexico Developments LLC UPC#101206241551610212

SIDEWALK CULVERT CALCULATION WEIR EQUATION $Q = C*L*(H^1.5)$

Lot 8-A

Bosque Plaza

(5/3/07, 07C-107)

Owner: Jim & Christen Shull

UPC#101206242249610210

Install 12" Sidewalk Culvert

Bot=5003.00

∟ Rim 5003.6'

Inv In 4995.7'

Inv Out 4995.4'

Given: C = 2.87 (Weir Coefficient) L = 2 feet (Width of Flow) H = 0.67 feet (Depth of Flow)

 $Q = 2.87*2*(0.67^1.5)$

Q = 2.87*2*0.55Qcap = 3.15 cfs * 3 Culverts = 9.45cfsQreqd = 6.50cfs CHECK

During a recent site visit, we located a pair of 36" culverts that drain east across

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to surface drain from west to east and surface discharge into Bosque Plaza Lane via a sidewalk culvert. As discussed above, the Bosque Plaza drainage systems were designed to accomodate the fully developed conditions of this

The pond is slightly undersized and the site is 200 CF short of meeting the requirement. The Developer will need to make a Payment-in-Lieu for this 200 CF per the current Ordinance.

proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of the conceptual grading plan for the Site Plan for Building Permit.

SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMPORARY C.O.)

THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CO:

FINISHED THEI INSTALLATION OF GAS SERVICE.

NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION

JEFFREY T. WOOTEN, NMPE 16892