

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

May 28, 2019

Jeffrey T. Wooten, P.E.  
Wooten Engineering  
1005 21st Street SE, Suite 13  
Rio Rancho, NM, 87124

**RE: O'Reilly Auto Parts – 6380 Coors Blvd NW**  
**Temporary C.O. - Accepted**  
**Engineer's Certification Date: 05/20/19**  
**Engineer's Stamp Date: 04/27/18**  
**Hydrology File: E12D006G**

Dear Mr. Wooten:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based on the Certification received 05/20/2019 and site visit on 05/28/19, this certification is approved in support of Temporary Release of Occupancy by Hydrology. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Please provide the as-built volume for the stormwater quality pond. If the as-built volume is less than the required volume, then a Fee in Lieu (\$8/CF) for the difference will be required. I will need to fill out the Deposit form then the Owner will need to bring three copies to the cashier on the Building Permits side of the ground floor and pay the fee. This needs to be done prior to Permanent C.O.
2. The sidewalk culverts appears not to have the full 8 inch depth, therefore are not carrying the calculated volume. Please correct.



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3. Please add the steel plate to the onsite sidewalk culvert.



If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

PO Box 1293

*Renée C. Brissette*

Albuquerque

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

**Project Title:** O'Reilly Auto Parts **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E12-D006G  
**DRB#:** 1004167 **EPC#:** 17EPC-40043 **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 7-A, Bosque Plaza  
**City Address:** 6380 Coors Blvd NW

**Applicant:** Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.  
**Address:** 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124  
**Phone#:** 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com  
**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

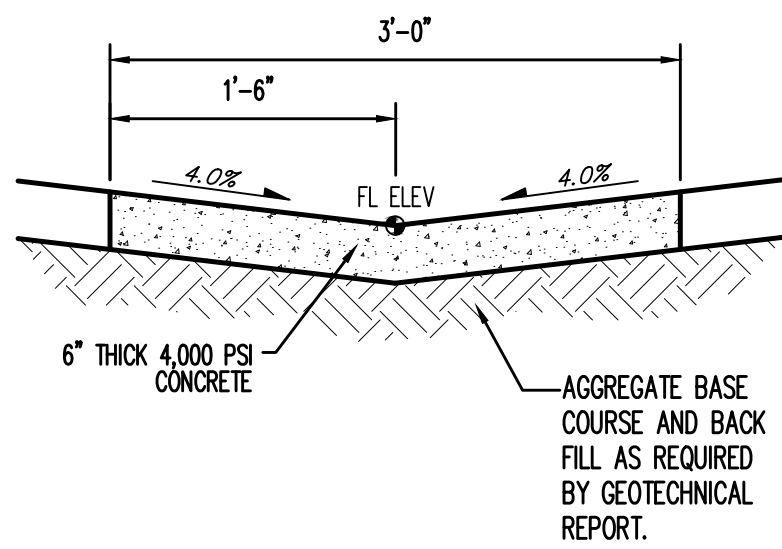
**DATE SUBMITTED:** May 20, 2019 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

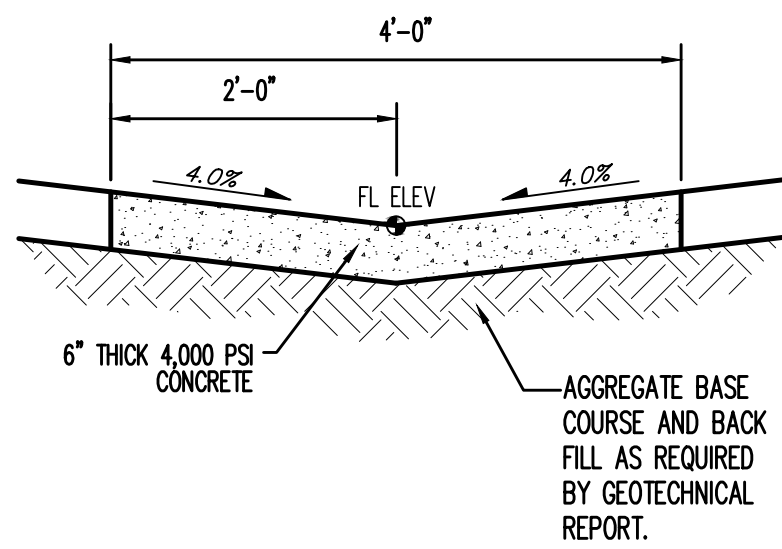
FEE PAID: \_\_\_\_\_





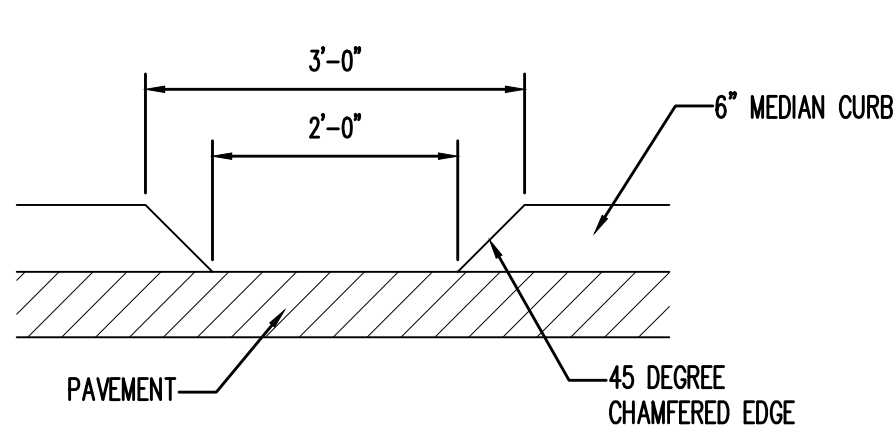
3' Wide Valley Gutter Detail

NTS



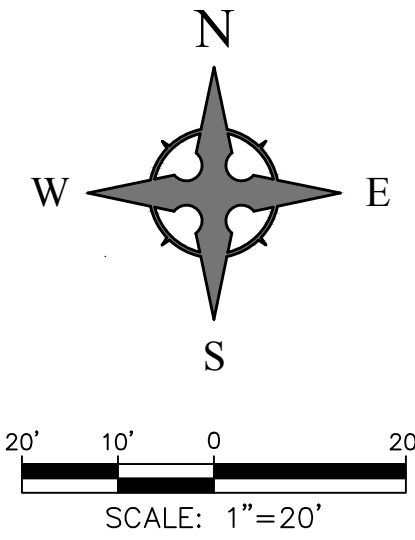
4' Wide Valley Gutter Detail

NTS



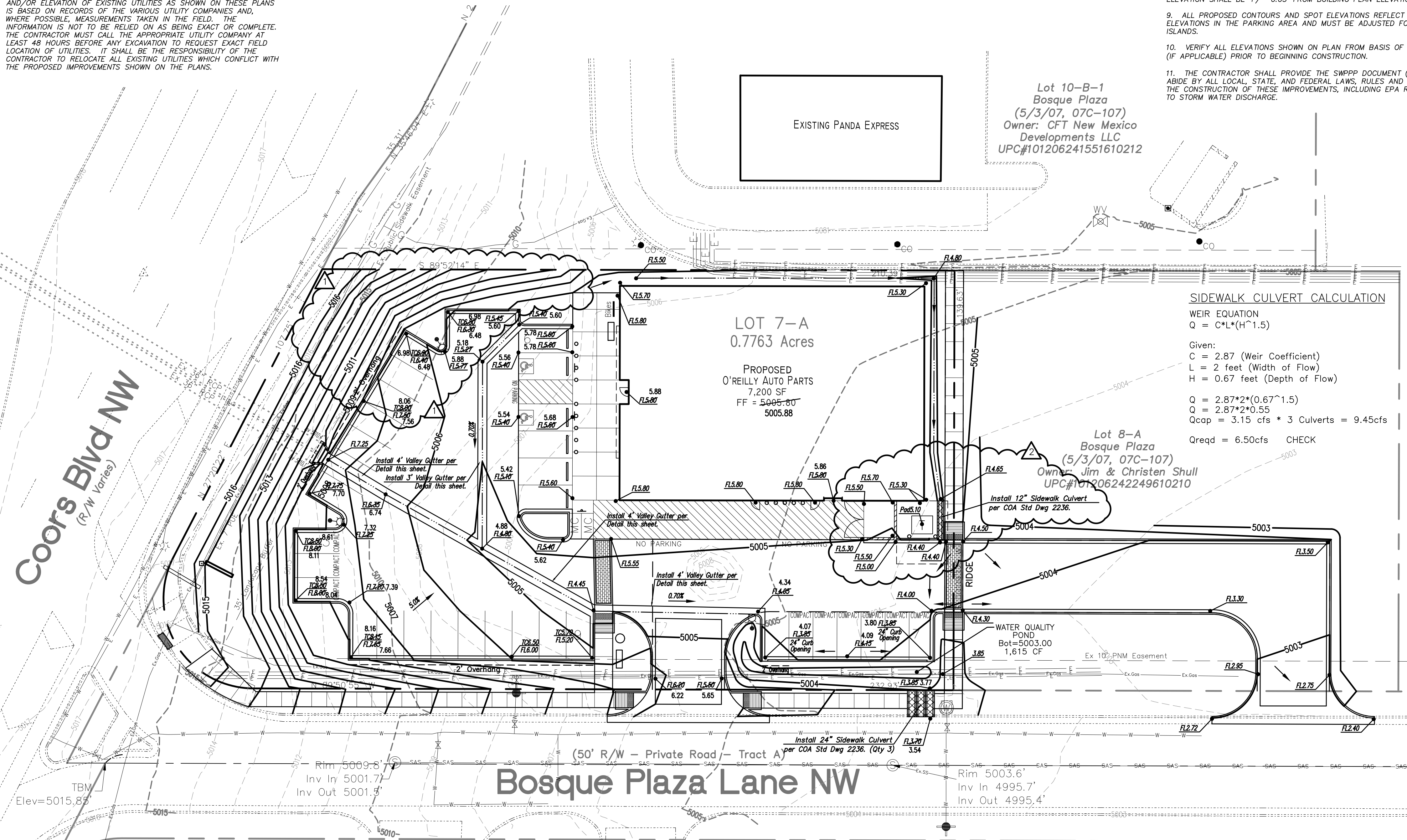
Curb Opening Detail

NTS



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



#### SIDEWALK CULVERT CALCULATION

WEIR EQUATION

$$Q = C \cdot L \cdot (H^{1.5})$$

Given:

C = 2.87 (Weir Coefficient)  
L = 2 feet (Width of Flow)  
H = 0.67 feet (Depth of Flow)

$$Q = 2.87 \cdot 2 \cdot (0.67^{1.5})$$

$$Q = 2.87 \cdot 2 \cdot 0.55$$

$$Q_{cap} = 3.15 \text{ cfs} \cdot 3 \text{ Culverts} = 9.45 \text{ cfs}$$

$$Q_{reqd} = 6.50 \text{ cfs} \quad \text{CHECK}$$

#### DRAINAGE MANAGEMENT PLAN

##### INTRODUCTION

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the development of Lot 7-A, Bosque Plaza. The site is located at 6380 Coors Blvd NW (NEC of Coors Blvd NW and Bosque Plaza Ln NW) in Albuquerque, NM. The site contains approximately 0.7763 acres. The proposed development consists of a new O'Reilly Auto Parts store with the associated parking lot and landscaping. Tierra West LLC prepared the latest approved Drainage Report for this subdivision titled 'Southeast Corner of La Orilla and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, and 8 of the Lands of Martin L. Taylor.' The file number for this report is E12/D006.

##### EXISTING HYDROLOGIC CONDITIONS

Per the above Drainage Report by Tierra West LLC, the site was previously mass graded to allow for future development and generally slopes from west to east then surface drains south into Bosque Plaza Lane. The drainage systems for the subdivision allow free discharge of fully developed conditions.

During a recent site visit, we located a pair of 36" culverts that drain east across Coors Blvd and onto the site. To our knowledge, the NMDOT does not have an easement on the subject property for the pipes or for the drainage being conveyed across the site. According to the recently approved 'La Orilla Estates' Drainage Report by Tierra West LLC, there is approximately 3.15 cfs that discharges from these pipes and onto the subject site. This flow currently traverses the site and surface discharges into Bosque Plaza Lane.

##### PROPOSED HYDROLOGIC CONDITIONS

The site will continue to surface drain from west to east and surface discharge into Bosque Plaza Lane via a sidewalk culvert. As discussed above, the Bosque Plaza drainage systems were designed to accommodate the fully developed conditions of this tract.

A new Stormwater Quality Pond is to be built near the southeast corner of the property which will discharge into Bosque Plaza Lane via a 24" Wide Sidewalk Culvert. The pond is slightly undersized and the site is 200 CF short of meeting the requirement. The Developer will need to make a Payment-in-Lieu for this 200 CF per the current Ordinance.

##### CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of the conceptual grading plan for the Site Plan for Building Permit.

#### DRAINAGE CERTIFICATION

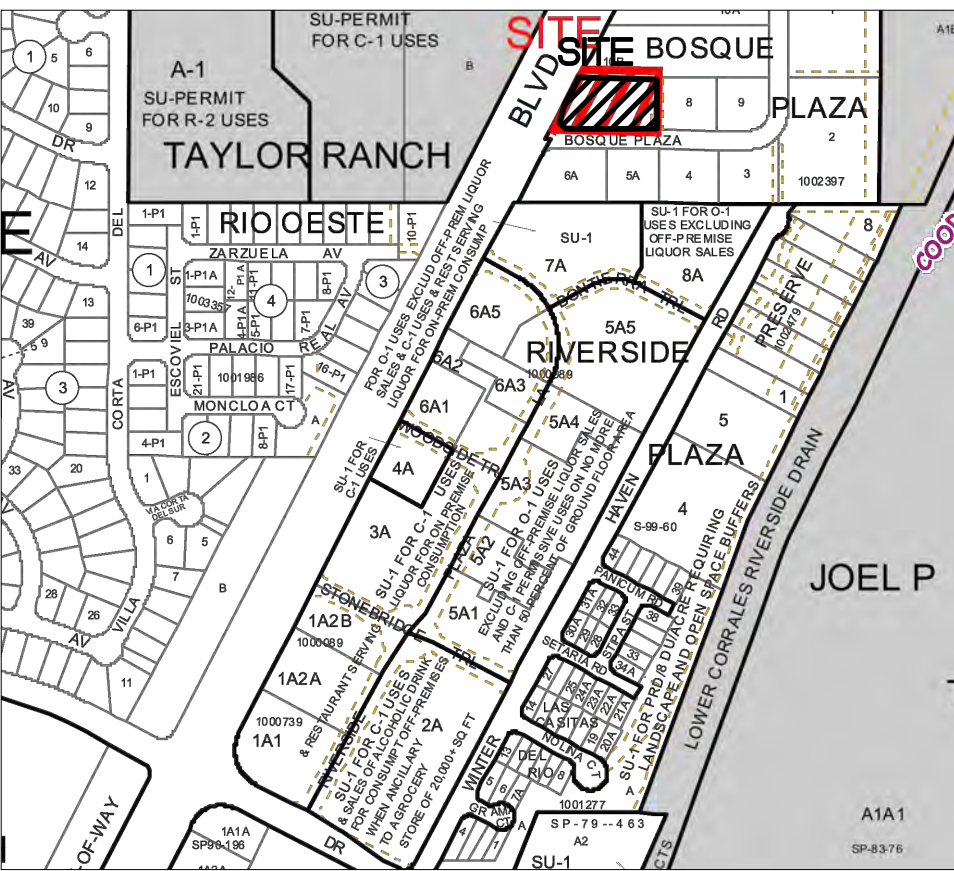
I, JEFFREY T. WOOTEEN, NMPE 16892, OF THE FIRM WOOTEEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/27/2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER JR., NMPS 14271, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/20/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMPORARY C.O.).

THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CO:

- SWALE AROUND BUILDING NEEDS TO BE GRADED.
- SWD POND NEEDS TO BE EXCAVATED ONCE NM GAS HAS FINISHED THE INSTALLATION OF GAS SERVICE.

THE RECORD INFORMATION (CLOUDED) PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEEN, NMPE 16892



#### VICINITY MAP - Zone Map E-12-Z

Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres



#### FIRM MAP 35001C0116G

Per Firm Map 35001C0116G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

O'Reilly Auto Parts  
6380 Coors Blvd. NW  
Albuquerque, New Mexico 87120



4/27/2018

Rev 1: 12/13/18; Removed Wall /  
Stairs / Sidewalk per EPC  
Approval on 12/13/18.  
Rev 2: 9/18/18; Revised Trash End,  
added Transformer, and  
added 12" Sidewalk Culvert,  
per EPC Condition and PNM  
Requirements.

Project Number 2017004  
Drawn By RC  
Checked JW  
Issue Date April 27, 2018  
Grading Plan



5/20/2019

C1.1