

CITY OF ALBUQUERQUE



July 23, 2019

Jeffery T. Wooten, PE
Wooten Engineering
1005 21st St. SE, Suite 13
Rio Rancho, NM 87124

Re: O'Reilly Auto Parts
6830 Coors Blvd NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-20-19 (E12D006G)
Certification dated 5-20-19

Dear Mr. Wooten,

Based upon the information provided in your pictures received 7-23-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

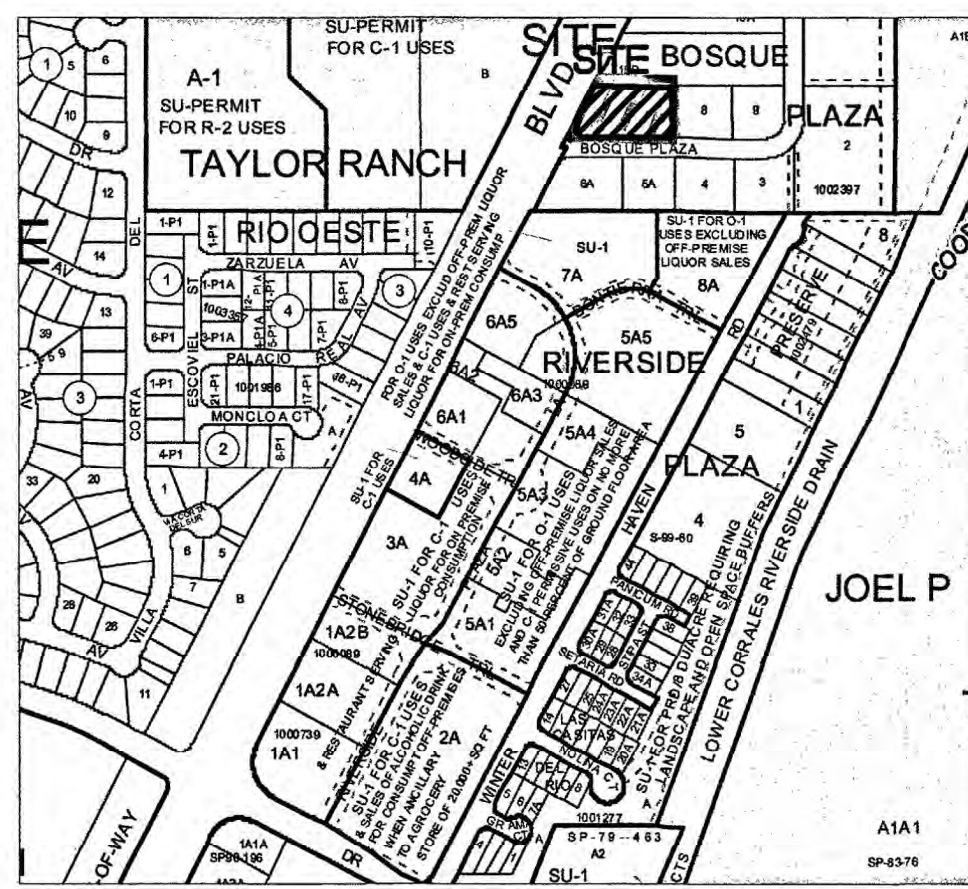
If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505) 924-3633.

Sincerely,

Ernest Armijo, P.E.
Senior Transportation Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



VICINITY MAP - Zone Map E-12-Z
Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres

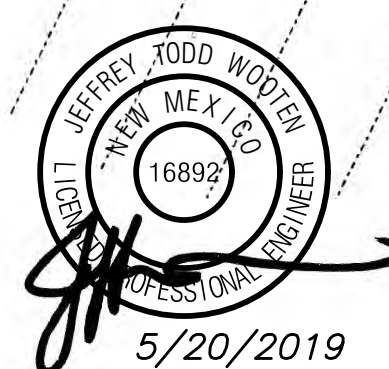
SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE SITE PLAN APPROVED BY ADMINISTRATIVE AMENDMENT (RUSSELL BRITO) DATED 3/8/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 5/20/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMPORARY C.O.).

- THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CO:
- ADA ROUTE SIDEWALK TO BOSQUE PLAZA SHOULD BE CORRECTED TO A 5% MAX RUNNING SLOPE (OR 8% WITH HANDRAILS).
 - THE BENCH, TRASH CAN, AND TREE SHOULD BE ADDED ADJACENT TO THE ADA SIDEWALK TO BOSQUE PLAZA.
 - THE LIGHT POLES EXCEED THE MAXIMUM 16' HEIGHT PER THE APPROVED SITE PLAN FOR SUBDIVISION. THE CORRECT POLES MUST BE INSTALLED.
 - THE TRASH ENCLOSURE GATES NEED TO BE INSTALLED.
 - COMPACT PARKING SPACES NEED TO BE PAINTED PER KEYED NOTE 22.
 - CORRECT SIDEWALK JOINTS ON NEW SIDEWALK ALONG BOSQUE PLAZA.
 - INSTALL THE DETECTABLE WARNING SURFACE PER KEYED NOTE 19.
 - SECONDARY PEDESTRIAN ACCESS ON THE EAST SIDE OF THE SITE NEEDS TO BE INSTALLED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892

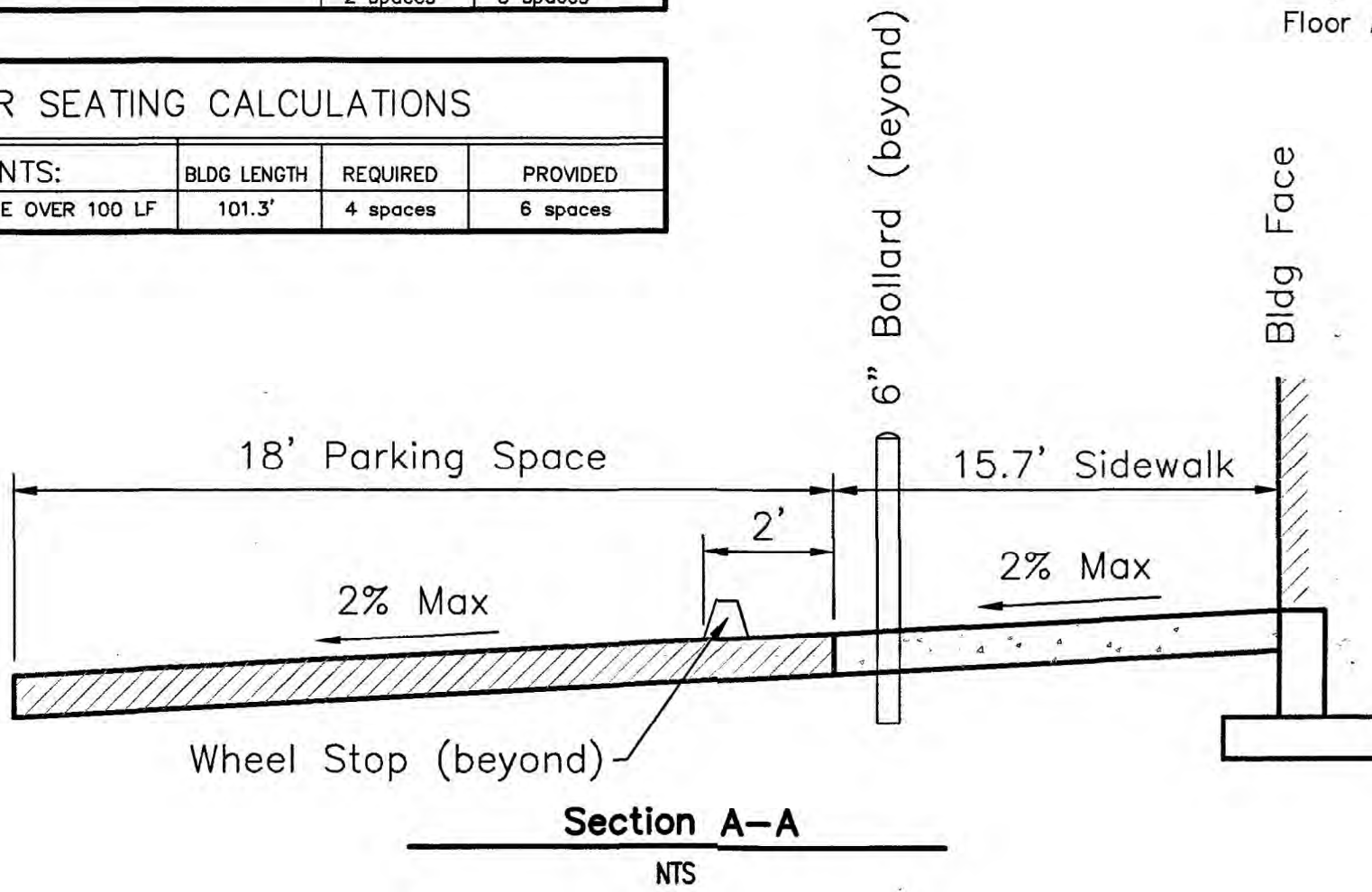


PARKING CALCULATIONS			
BUILDING AREA:	BUILDING AREA (SQ. FEET)		
RETAIL (AUTO PARTS)	7,200 SF		
PARKING REQUIREMENTS:			
RETAIL (AUTO PARTS)	RATIO	REQUIRED	PROVIDED
RETAIL (AUTO PARTS)	1/200 SF	36 spaces	32 spaces
BUS ROUTE REDUCTION (10%)		-4 spaces	
TOTAL		32 spaces	32 spaces
HANDICAP PARKING			
		REQUIRED	PROVIDED
		2 spaces	2 spaces
MOTORCYCLE PARKING			
		REQUIRED	PROVIDED
		1 spaces	2 spaces
BICYCLE PARKING			
		REQUIRED	PROVIDED
		2 spaces	3 spaces

OUTDOOR SEATING CALCULATIONS			
SEATING REQUIREMENTS:			
1 PER 25 LF BUILDING FACADE OVER 100 LF	BLDG LENGTH	REQUIRED	PROVIDED
	101.3'	4 spaces	6 spaces

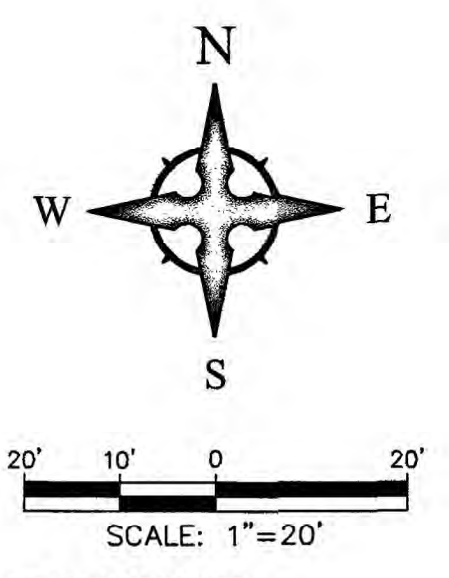
THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE BOSQUE PLAZA SITE DEVELOPMENT PLAN FOR SUBDIVISION.

NOTE: ALL LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT GRADE.

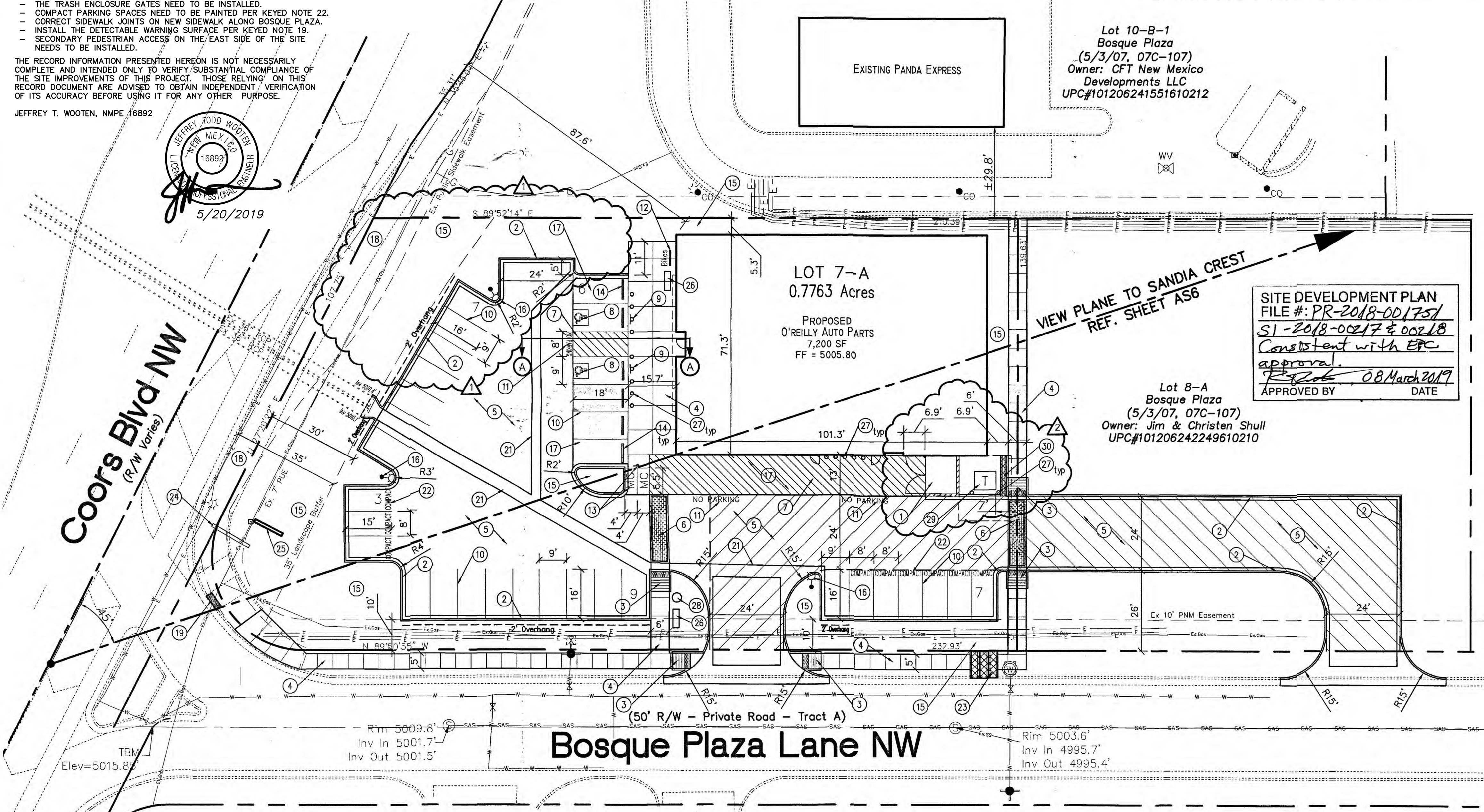


GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.7763 Acres (33,817 SF)
Zoning: MX-L
Proposed Use: Retail (Auto Parts Store)
Proposed 21'-4"
Building Height:
Building Setback:
Actual:
Coors: 87.6'
North: 5.3'
East: 10'
South (Bosque Plaza): 63'
35' Required along Coors
10' Required along Bosque Plaza
Building Area: 7,200 SF
Lot Area 33,817 SF
Proposed FAR = 0.21
Maximum Allowed FAR = 0.30



CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



SITE DEVELOPMENT PLAN
FILE #: PR-2018-001751
S1-2018-00217 & 00218
Consistent with EPC approval
Approved 08 March 2019
APPROVED BY DATE

- KEYED NOTES**
- PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. REF. ARCHITECTURAL PLANS FOR DETAIL.
 - INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
 - INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12 WITH DETECTABLE WARNING SURFACE.
 - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
 - ASPHALT PAVEMENT. CONCRETE PAVEMENT INSTALLED IN LIEU OF ASPHALT.
 - INSTALL 6" WIDE COLORED / TEXTURED CONCRETE PEDESTRIAN CROSSING. CONCRETE PAVEMENT SHALL BE 6" THICK 3,500 PSI MINIMUM. REF. DETAIL, SHEET SP1.2.
 - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
 - PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
 - INSTALL H/C SIGNAGE PER DETAIL, SHEET C1.2. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
 - INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
 - PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
 - INSTALL BIKE RACK PER DETAIL, SHEET SP1.2. TWO (2) SPACES MINIMUM.
 - MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNS PER DETAIL, SHEET SP1.2.
 - INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET SP1.2.
 - LANDSCAPED AREA. REF. LANDSCAPE PLAN.
 - LIGHT POLE PER-DETAIL, SHEET SP1.2. COLOR: BLACK TO MATCH THOSE EXISTING WITHIN THE BOSQUE PLAZA SHOPPING CENTER.
 - 6" 3,500 PSI CONCRETE PAVEMENT. STANDARD BROOM FINISH.
 - EXISTING 10" WIDE ASPHALT BIKE PATH.
 - INSTALL 'CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING SURFACE (DWS) ONTO EXISTING RAMP PER NMDOT STD DWGS 608-001, SHEET 8.
 - PROPOSED SPLIT FACE RETAINING WALL. REF. DETAIL, SHEET SP1.2. COLOR: MONASTERY BROWN OR EQUAL TO MATCH BUILDING. REMOVED
 - VALLEY GUTTER PER DETAIL ON GRADING PLAN. VARIES 3' TO 4' WIDE. REF. GRADING PLAN.
 - INSTALL 2 COATS OF PAINT FOR COMPACT PARKING SPACES. LETTERS 'COMPACT' MIN 8" TALL. COLOR: WHITE
 - INSTALL TRIPLE 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
 - REMOVE EXISTING BILLBOARD IN ITS' ENTIRETY.
 - INSTALL NEW PROJECT IDENTIFICATION SIGN PER THE APPROVED SITE PLAN FOR SUBDIVISION AND PER DETAIL ON SHEET SP1.2. THE PROJECT IDENTIFICATION SIGN MAY CONTAIN A MAXIMUM OF 10 PANELS AND SHALL BE USED FOR THE BOSQUE PLAZA SHOPPING CENTER. SIGN TO BE PERMITTED SEPARATELY.
 - INSTALL EVEREST SERIES 6" BENCH FROM BENCH WITH BACK (PERFORATED IN GROUND MOUNT) PER DETAIL ON SHEET AS1.2. MODEL NUMBER 398-6001. COLOR: POWDER COATED BEIGE. WWW.THEPARKCATALOG.COM
 - INSTALL 6" PIPE BOLLARD PER DETAIL, SHEET SP1.2. (16 TOTAL)
 - INSTALL PLAZA SERIES 36 GALLON TRASH RECEPTACLE WITH URN TOP. MODEL NUMBER 398-8002. COLOR: POWDER COATED BEIGE. WWW.THEPARKCATALOG.COM
 - PROPOSED ELECTRICAL TRANSFORMER LOCATION. CONTRACTOR TO ENSURE TRANSFORMER HAS ADEQUATE CLEARANCES PER PNM STANDARDS.
 - INSTALL 12" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.

NOTE: ALL SITE LIGHTING SHALL COMPLY WITH THE COMPREHENSIVE ZONING ORDINANCE, THE NEW MEXICO NIGHT SKY ORDINANCE, AND THE APPROVED BOSQUE PLAZA SITE PLAN FOR SUBDIVISION.

PROPOSED EASEMENT LEGEND

	PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 7-A TO BE MAINTAINED BY THE OWNER OF LOT 8-A.
	PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 8-A TO BE MAINTAINED BY THE OWNER OF LOT 7-A.
	PROPOSED SIDEWALK EASEMENT FOR THE BENEFIT OF LOT 7-A AND LOT 8-A TO BE JOINTLY MAINTAINED BY THE OWNERS OF EACH LOT.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

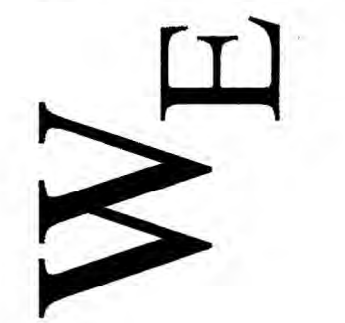
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Environmental Health Department*	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



O'Reilly Auto Parts
6380 Coors Blvd. NW
Albuquerque, New Mexico 87120



- Rev 1: 12/13/18; Removed Wall / Stairs / Sidewalk per EPC Approval on 12/13/18.
- Rev 2: 9/18/18; Revised Trash Encl., added Transformer, and added 12" Sidewalk Culvert per EPC Condition and PNM Requirements.

Project Number 2017004
Drawn By RG
Checked JW
Issue Date April 27, 2018

Site Plan for Building Permit