

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

April 23, 2021

Jeffery Wooten, P.E.  
Wooten Engineering  
1005 21<sup>st</sup> St SE, Suite A5  
Rio Rancho, NM 87124

**Re: Beyond Health  
3700 Bosque Plaza Ln. NW  
Request for Certificate of Occupancy - Permanent  
Grading and Drainage Plan Stamp Date: 8/17/20  
Certification dated: 4/19/21  
Drainage File: E12D006H**

PO Box 1293

Dear Mr. Wooten,  
Based on the Certification received 4/20/21 and site visit 4/22/21, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

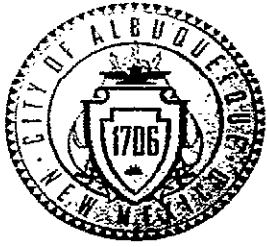
If you have any questions, you can contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

**Project Title:** Beyond Health Office Building **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 4, Bosque Plaza  
**City Address:** 3700 Bosque Plaza Lane NW

**Applicant:** Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.  
**Address:** PO Box 15814, Rio Rancho, NM 87174  
**Phone#:** 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

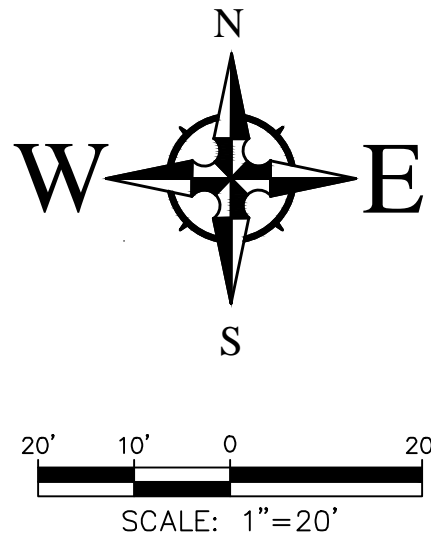
**DATE SUBMITTED:** April 19, 2021 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





### LEGEND

- ← FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- (1.11') FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 — EXISTING CONTOUR
- 515 — PROPOSED CONTOUR
- — — EXISTING STORM DRAIN

#### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ACS Monument "NM\_448\_N8"  
NAD 1983 CENTRAL ZONE  
X=1512770.226  
Y=1514900.643  
Z=5021.651 (NAVD 1988)  
G-G=0.999682367  
Mapping Angle=-0°14'45.47"

### DRAINAGE MANAGEMENT PLAN

#### INTRODUCTION

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the development of Lot 4, Bosque Plaza. The site is located at 3700 Bosque Plaza Lane in Albuquerque, NM. The site contains approximately 0.498 acres. The proposed development consists of a new medical office building with the associated parking lot and landscaping. Tierra West LLC prepared the latest approved Drainage Report for this subdivision titled "Southeast Corner of La Orilla and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, and 8 of the Lands of Martin L. Taylor." The file number for this report is E12/D006.

#### EXISTING HYDROLOGIC CONDITIONS

Per the above Drainage Report by Tierra West LLC, the site was previously mass graded to allow for future development and generally slopes from southwest to northeast then surface drains south into Bosque Plaza Lane. The drainage systems for the subdivision allow free discharge of fully developed conditions.

#### PROPOSED HYDROLOGIC CONDITIONS

The site will continue to surface drain from southwest to northeast, into the stormwater quality ponds, and then discharge into Bosque Plaza Lane via a sidevalley culvert. As discussed above, the Bosque Plaza drainage systems were designed to accommodate the fully developed conditions of this tract.

Due to soil conditions, the owner has chosen to make a Payment-in-Lieu instead of providing stormwater quality ponding. Per the below calculations, the Payment-in-Lieu due will be \$3,136.00.

#### CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of the Building Permit.

#### IMPERVIOUS AREA CALCULATIONS

##### PROPOSED SITE CONDITIONS

TOTAL SITE AREA: 21,678 SF  
PERVIOUS AREA: 7,835 SF (36.1%)  
IMPERVIOUS AREA: 13,843 SF (63.9%)

##### FIRST FLUSH CALCULATION

TOTAL IMPERVIOUS AREA = 13,843 SF  
FIRST FLUSH =  $13,843 \times 0.34'' / 12 = 392 \text{ CF}$   
TOTAL VOLUME PROVIDED = 0 CF  
PAYMENT-IN-LIEU REQ'D =  $392 \text{ CF} \times \$8.00 = \$3,136.00$

#### SIDEWALK CULVERT CALCULATION

##### WEIR EQUATION

$$Q = C \cdot L \cdot (H^1.5)$$

Given:

C = 2.87 (Weir Coefficient)

L = 2 feet (Width of Flow)

H = 0.67 feet (Depth of Flow)

$$Q = 2.87 \times 2 \times (0.67^1.5)$$

$$Q = 2.87 \times 2 \times 0.55$$

$$Q_{cap} = 3.15 \text{ cfs}$$

$$Q_{reqd} = 1.91 \text{ cfs} \quad \text{CHECK}$$

#### DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/11/2020. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J. MARTINEZ, NMPS 18374, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 4/16/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

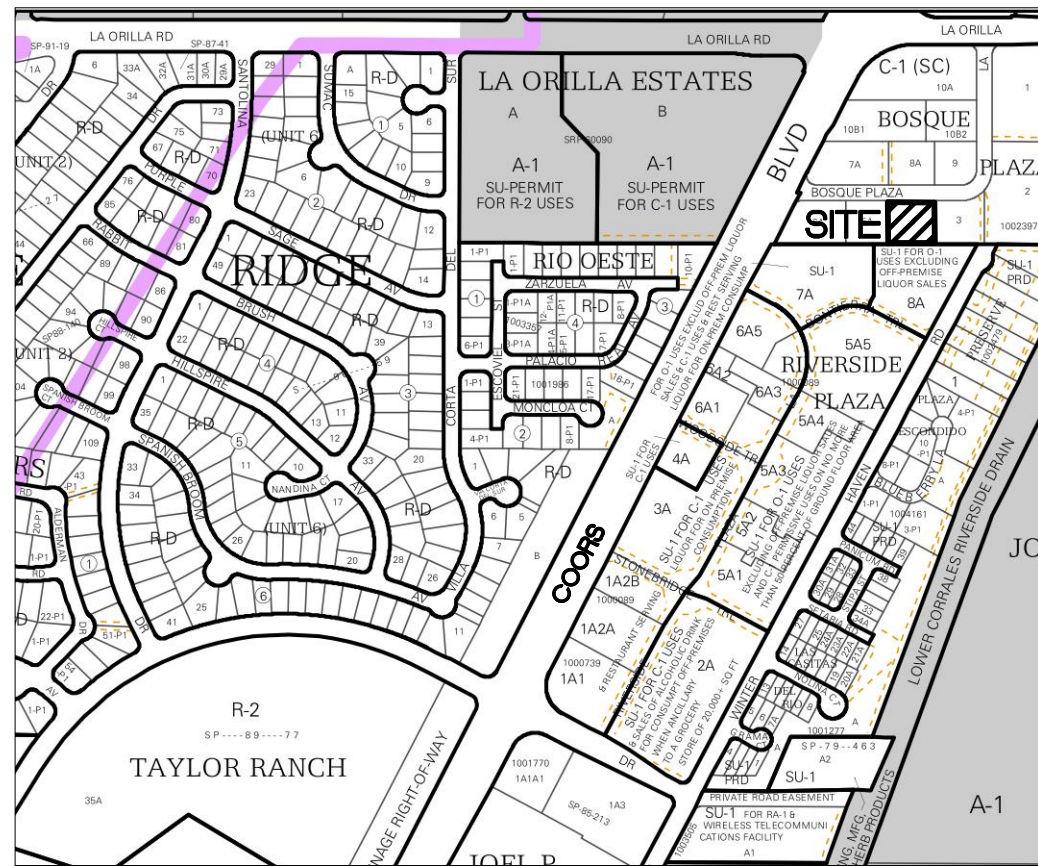
JEFFREY T. WOOTEN, NMPE 16892



4/19/2021

Pre-Developed Drainage Calculations										
This table is based on the COA DPM Section 22.2, Zone:1										
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WT E	V(100) <sub>300</sub>
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac)	(CFS)	(Inches)	(CF)
Site	21678	0.50	0.0%	0.0%	100.0%	0.0%	2.87	1.43	0.99	1788
TOTAL	21678	0.50						1.43		1788

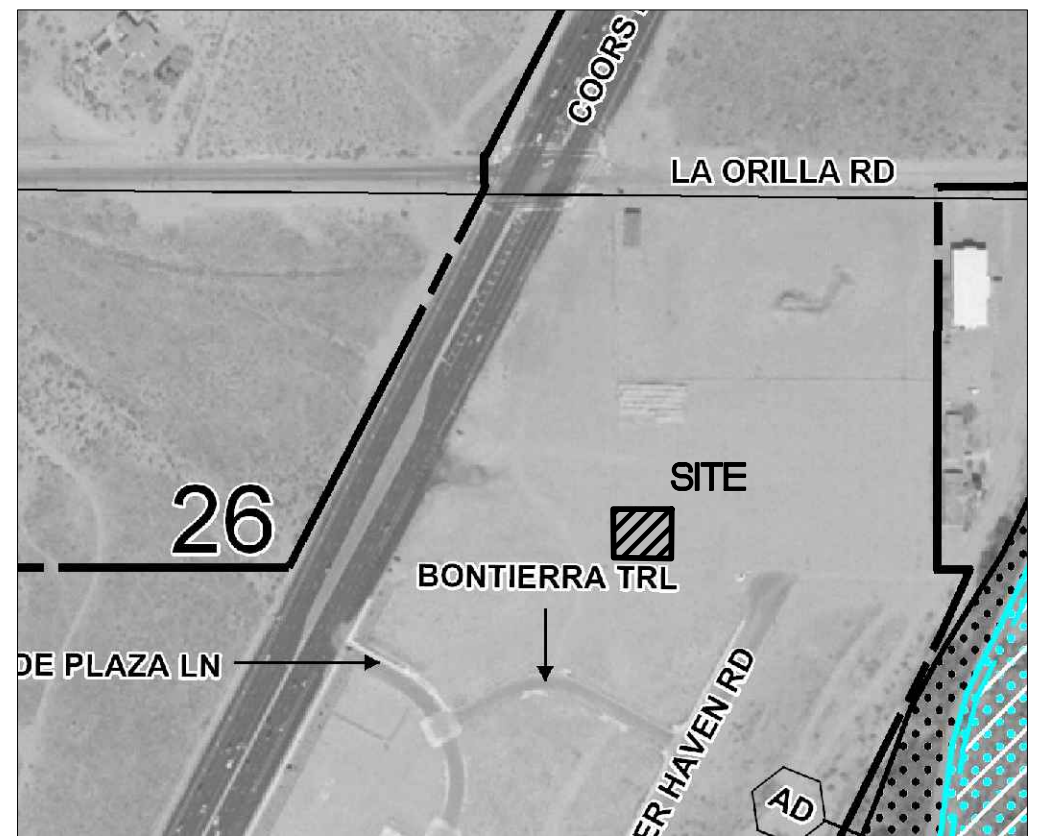
Post-Developed Drainage Calculations										
Ultimate Development Conditions Basin Data Table										
This table is based on the COA DPM Section 22.2, Zone:1										
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WT E	V(100) <sub>300</sub>
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac)	(CFS)	(Inches)	(CF)
Site	21678	0.50	0.0%	0.0%	36.1%	63.9%	3.83	1.91	1.62	2920
TOTAL	21678	0.50						1.91		2920



#### VICINITY MAP - Zone Map E-12-Z

#### Legal Description:

Lot Numbered Four (4) of Bosque Plaza, as the same shown and Designated on the Plat Entitled "Bosque Plaza," City of Albuquerque, Bernalillo County, NM.



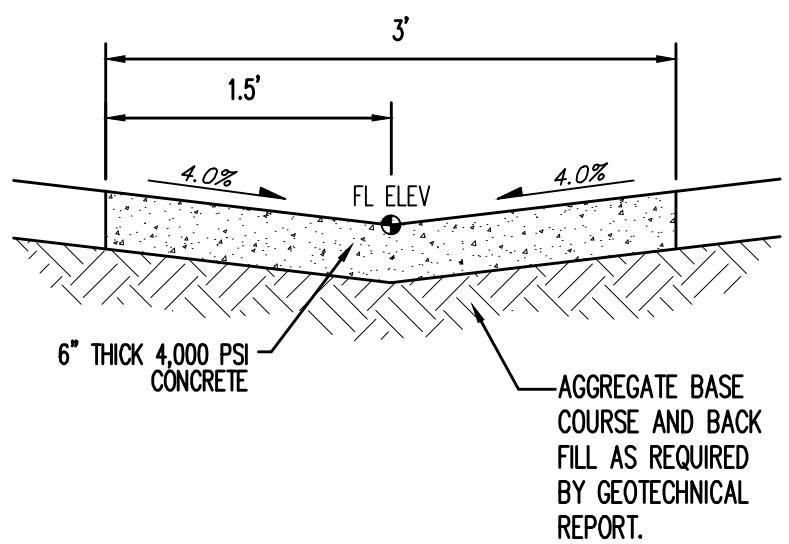
#### FIRM MAP 35001C0116G

Per FIRM Map 35001C0116G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

#### GRADING NOTES

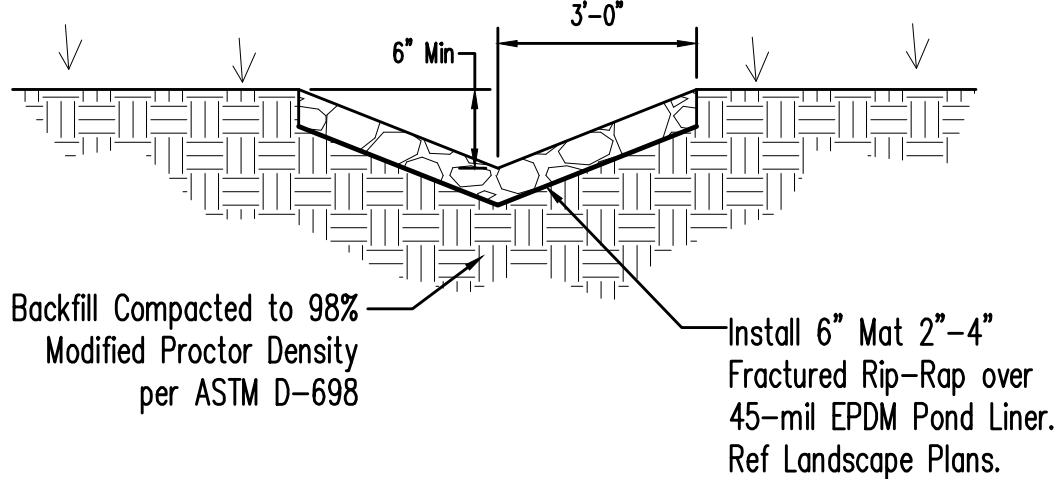
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAYMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

NOTE: ALL VALLEY GUTTERS SHALL BE FORMED & PLACED PRIOR TO ASPHALT PAVEMENT PLACEMENT TO ENSURE ADEQUATE SLOPES ARE ACHIEVED.



Valley Gutter Detail

NTS



Typical Swale Section

NTS



ARCHIS  
ARCHITECTS

RCHIS design, LLC

4700 LINCOLN RD NE,  
SUITE 102 D  
ALBUQUERQUE  
NEW MEXICO 87109  
(505) 998-7717  
www.archisdesign.net

BEYOND HEALTH  
OFFICE BUILDING  
3700 BOSQUE PLAZA LANE  
ALBUQUERQUE, NEW MEXICO 87120

Project No.

2019049

Issue Date

August 4, 2020

Revisions

Date

Sheet Title

Grading Plan

Sheet No.

C100



Wooten Engineering  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560