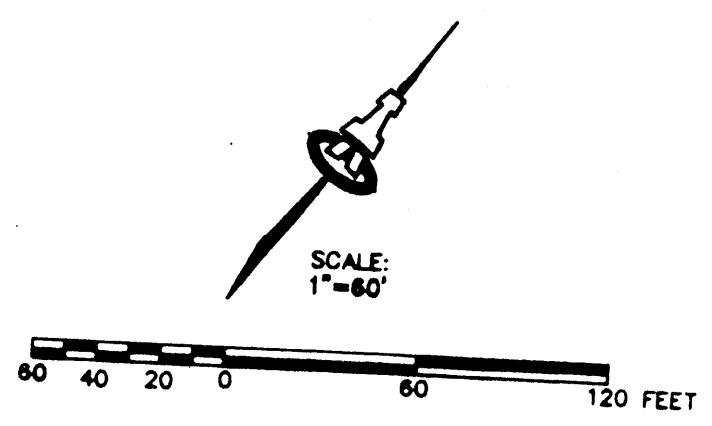


76C-705 (2)

CORRECTED 96107817

LOT AREA TABLE

LOT	AREA (SF)	LOT	AREA (SF)
1	8745	19	10104
2	8701	20	10575
3	8885	21	11882
4	8885	22	10918
5	8782	23	8435
6	8292	24	9265
7	8053	25	8600
8	8359	26	11144
9	10726	27	11985
10	7232	28	12932
11	7643	29	17467
12	7183	30	18328
13	7810	31	16991
14	8017	32	12405
15	8439	33	13712
16	10422	34	7616
17	9106	35	8237
18	9483	36	12977
		37	40094



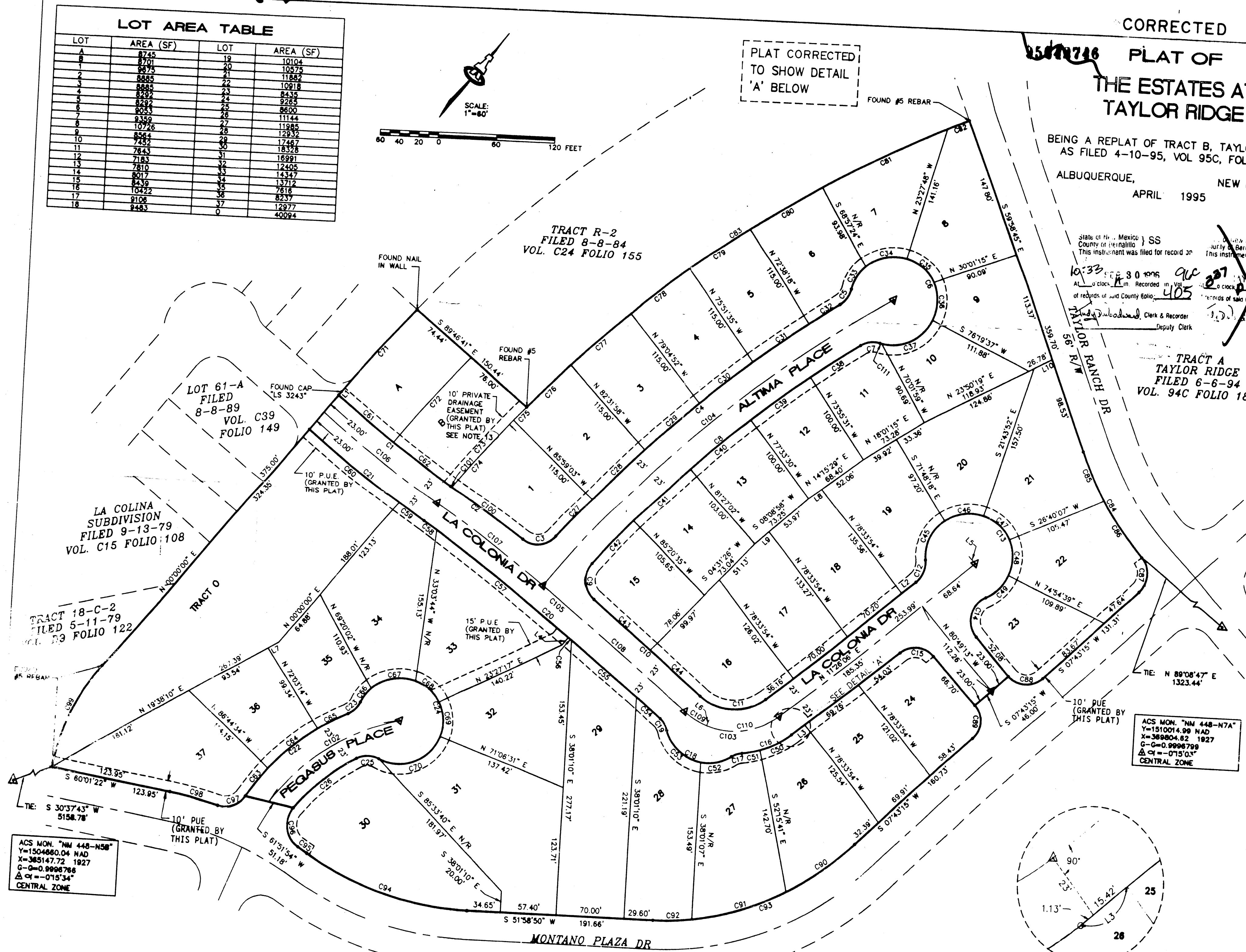
PLAT CORRECTED
TO SHOW DETAIL
'A' BELOW

PLAT OF
THE ESTATES AT
TAYLOR RIDGE

BEING A REPLAT OF TRACT B, TAYLOR RIDGE
AS FILED 4-10-95, VOL 95C, FOLIO 129
ALBUQUERQUE, NEW MEXICO
APRIL 1995

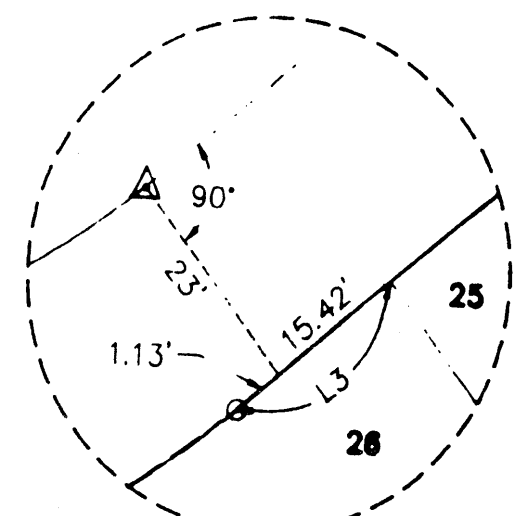
State of New Mexico } SS
County of Bernalillo } SS
This instrument was filed for record on
At _____ o'clock _____ m. Recorded in Vol. _____
of records of said County folio: 405
_____, Clerk & Recorder
_____, Deputy Clerk

TRACT A
TAYLOR RIDGE
FILED 6-6-94
VOL. 94C FOLIO 186



ACS MON. "NW 448-N7A"
Y=1504660.04 NAD
X=365147.72 1927
G=0.9996786
Δα=-0°15'34"
CENTRAL ZONE

ACS MON. "NW 448-N5B"
Y=1504660.04 NAD
X=365147.72 1927
G=0.9996786
Δα=-0°15'34"
CENTRAL ZONE



DETAIL 'A'
NO SCALE

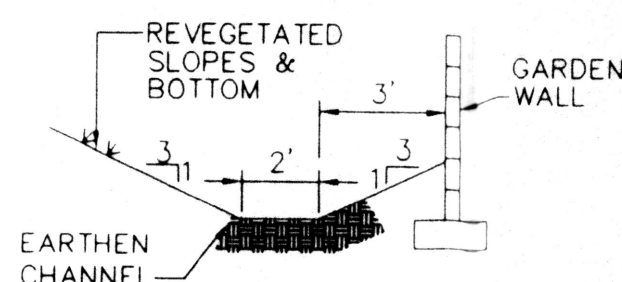
96C-405

LEGEND

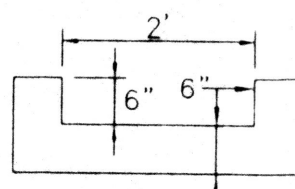
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TRACT LINE
- R/W LINE
- EXISTING CURB LINE
- C INTERIOR ROAD
- 7.3 FLOWLINE ELEV
- 2.8% PROPOSED STREET GRADE
- FLOW ARROW
- 4' RETAINING WALL
- BACKYARD PONDS
- DRAINAGE BOUNDARY
- 56.6 AS-BUILT ELEVATION



SCALE:
1"=50'

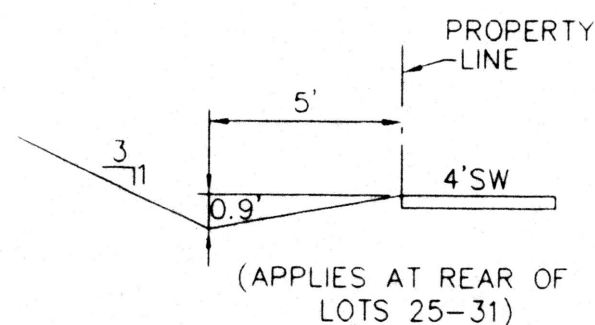


SECTION A-A
1"=5'

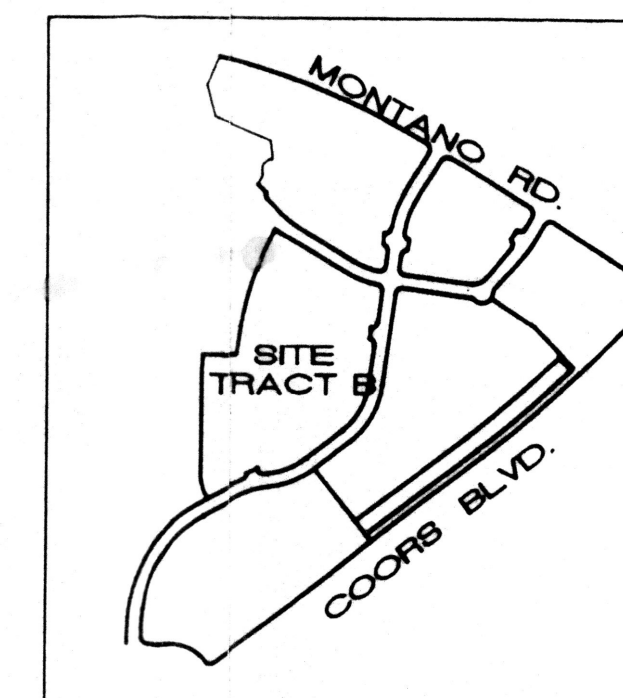


SECTION B-B
1"=2'

NOTE:
PRIVATE DRAINAGE CHANNEL SHALL WIDEN TO 4' F-F OVER 4' LENGTH ADJACENT TO REAR LOT. REAR WALL SHALL HAVE 3' TURNED BLOCKS (AT GROUND LEVEL) AT DRAINAGE CHANNEL ENTRANCE.



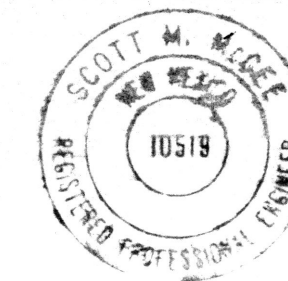
SECTION C-C
1"=5'



LOCATION MAP
1"=500'

ENGINEER'S CERTIFICATION
I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE GRADINGS SHOWN WITH AS-BUILT ELEVATIONS WAS COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADES AS FIELD VERIFIED BY ALDRICH LAND SURVEYING (NMLS NO. 7719 DURING MAY 1995) IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978). IN LIEU OF THE RETAINING WALL BEHIND LOTS 16-20, WHICH WAS NOT BUILT, THE EARTH SLOPE WAS EXTENDED FURTHER INTO THE BACKYARD AREAS OF THESE LOTS. WHERE SPLIT PADS ARE SHOWN, A TRANSITION SLOPE (MAX 1:1) HAS BEEN CREATED UNTIL THE INDIVIDUAL CUSTOM HOME CONSTRUCTION IS COMPLETED. THE BUILDING PADS ARE CERTIFIED FOR ELEVATION & THE ASSOCIATED "CLOUDED" RETAINING WALLS ARE HEREBY DEFERRED PER MODIFIED PROCEDURE 'B' AGREEMENT FOR NON-WORK ORDER ITEMS (PRIVATE RETAINING WALLS).

Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



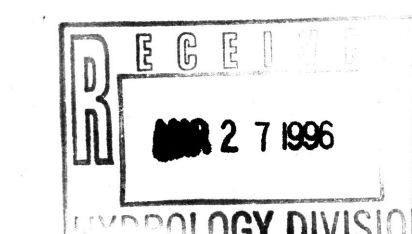
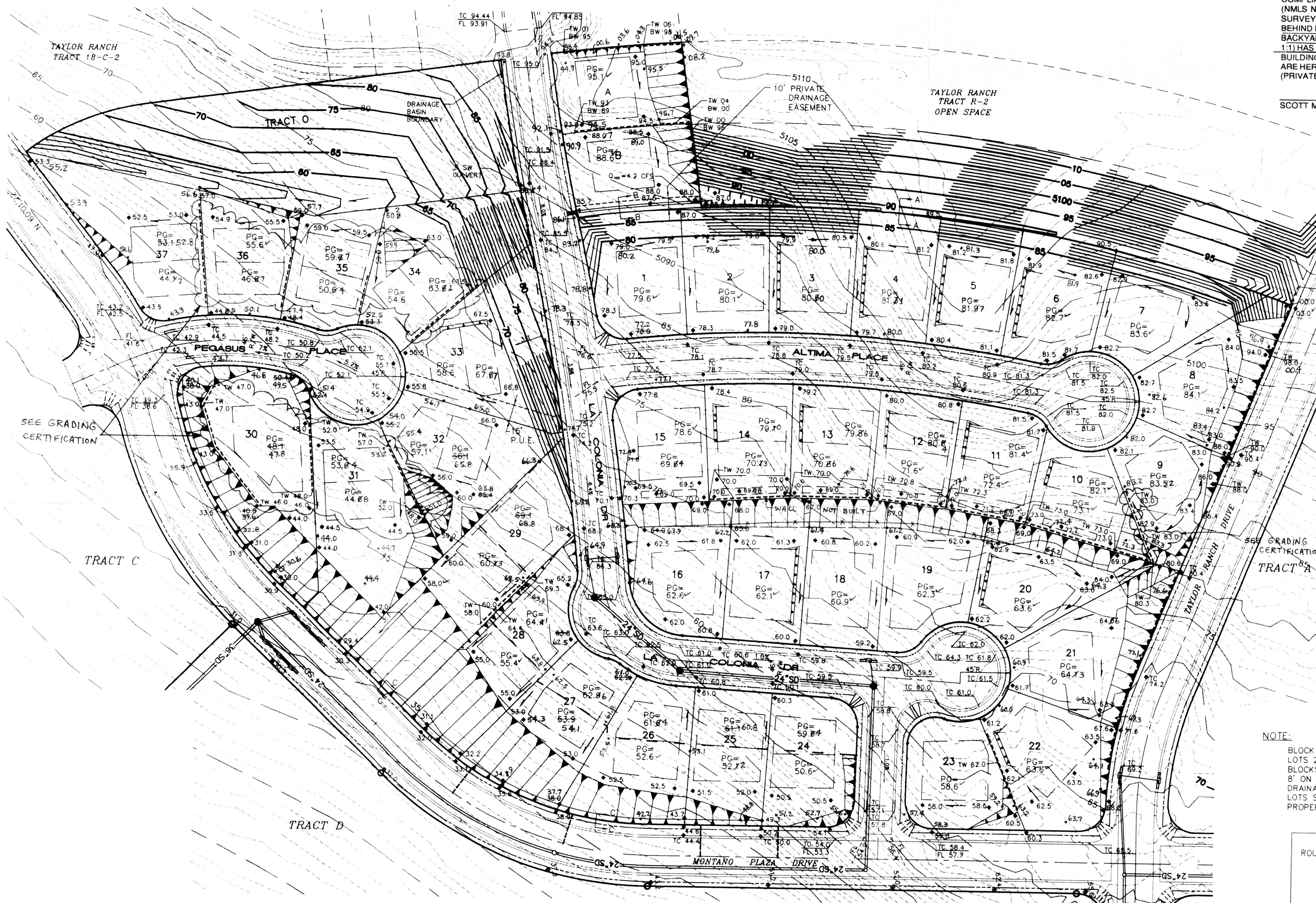
3-26-96
DATE

GRADING & EROSION CONTROL NOTES

- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557. HOUSE PADS SHALL BE COMPACTED AT 95% ASTM D-1557.
- THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
- EARTH EXCAVATED FOR HOUSE FOOTINGS SHALL BE PLACED ON THE PAD AREA & COMPACTED TO A MIN. OF 95% ASTM D-1557. FINISHED PAD GRADES SHALL BE 0.4 FT HIGHER THAN THE ROUGH GRADES SHOWN.
- FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 11 INCHES ABOVE PAD ELEVATIONS SHOWN. ANY DEVIATION MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
- RETAINING WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER.
- YARD (GARDEN) WALLS SHALL BE CONSTRUCTED BY THE LOT OWNER OR ITS BUILDER.
- THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL ROOF RUNOFF MUST BE DIRECTED TO THE STREETS.
- MAXIMUM SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES (AS SHOWN) AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.

NOTE:

BLOCK WALLS AT THE BACK OF LOTS 25-31 SHALL HAVE TURNED BLOCKS (AT GROUND LEVEL) AT 8' ON CENTER TO ALLOW BACKYARD DRAINAGE. TOE OF SLOPE FOR THESE LOTS SHALL BE 5 FT FROM THE PROPERTY LINE PER SECTION C-C ABOVE.



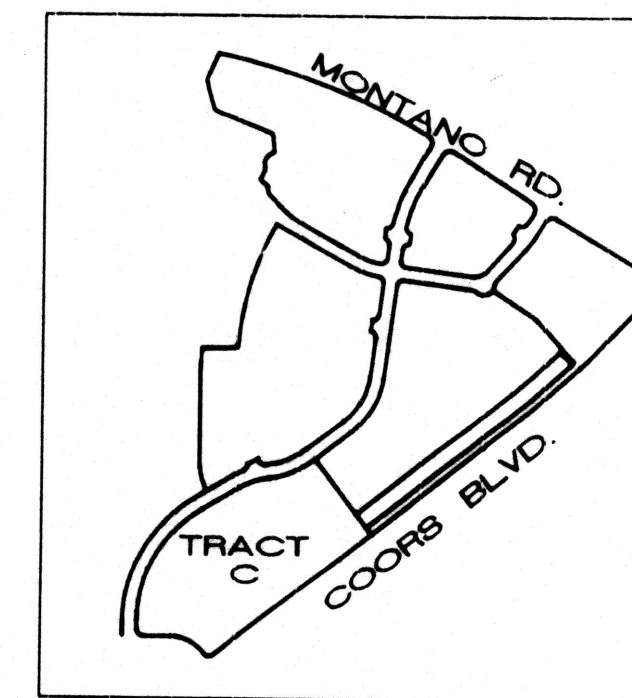
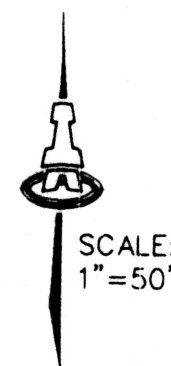
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street, N.E.
Albuquerque, New Mexico 87102
2/9/95

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: TAYLOR RIDGE, TRACT B
GRADING & DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
ROUGH GRADING APPROVAL					
DRC CHAIRMAN	B. G. Bailey	3/24/95	WATER	MA RWL	2-21-95
TRANSPORTATION	M. A. R. W.	2-27-95	WASTE WATER	MA RWL	2-21-95
HYDROLOGY	J. Martin	3-29-95			
CITY	HYDROLOGY	DATE	PROJECT NO.	MAP NO.	SHEET OF
			4918.91	E-12	5 OF 10

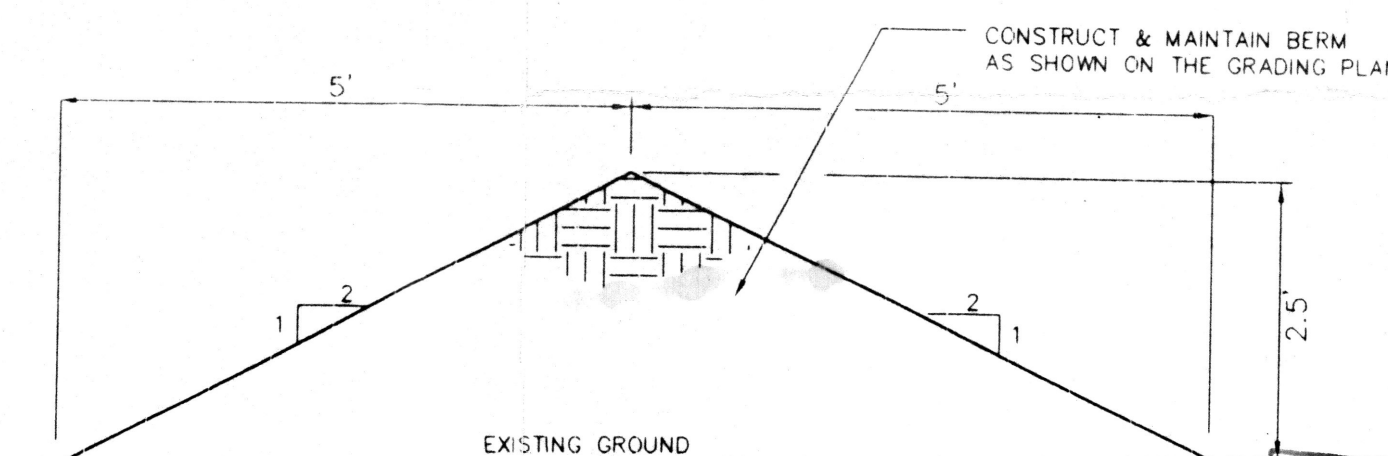
- LEGEND
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEV.
 - TOP OF CURB ELEV.
 - FLOWLINE ELEV.
 - PROP. FLOW ARROW
 - 4-6" RETAINING WALL
 - 3:1 EARTH SLOPE
 - PROPOSED CATCH BASIN
 - EROSION CONTROL BERM
 - 31.4 AS-BUILT ELEVATION



LOCATION MAP
1"=800'

GRADING & EROSION CONTROL NOTES

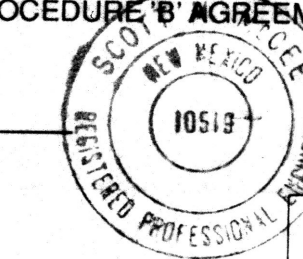
1. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557. HOUSE PADS SHALL BE COMPACTED AT 95% ASTM D-1557.
2. THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
3. EARTH EXCAVATED FOR HOUSE FOOTINGS SHALL BE PLACED ON THE PAD AREA & COMPACTED TO MIN. OF 95% ASTM D-1557. FINISHED PAD GRADES SHALL BE 0.4 FT HIGHER THAN THE ROUGH GRADES SHOWN.
4. FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 11 INCHES ABOVE PAD ELEVATIONS SHOWN; ANY DEVIATION MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
5. RETAINING WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER.
6. YARD (GARDEN) WALLS SHALL BE CONSTRUCTED BY THE LOT OWNER OR ITS BUILDER.
7. THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL ROOF RUNOFF MUST BE DIRECTED TO THE STREETS.
8. MAXIMUM SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
10. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES (AS SHOWN) AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
11. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
12. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.



EROSION CONTROL BERM
SCALE: 1"=2'

ENGINEER'S CERTIFICATION
I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE GRADING SHOWN WITH AS-BUILT ELEVATIONS WAS COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADES AS FIELD VERIFIED BY ALDRICH LAND SURVEYING (NMLS NO. 7719 DURING MAY 1995) IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978). IN LIEU OF THE RETAINING WALL BEHIND LOTS 8-21, WHICH WAS NOT BUILT, THE SLOPE DOWN TO COORS ROAD WAS BUILT AT 2.5H:1V WITH GRAVEL PLATING. WHERE SPLIT PADS ARE SHOWN, A TRANSITION SLOPE (MAX 1:1) HAS BEEN CREATED UNTIL REPLACED BY INDIVIDUAL CUSTOM HOME CONSTRUCTION. THE BUILDING PADS ARE CERTIFIED FOR ELEVATION & THE ASSOCIATED "CLOUDED" RETAINING WALLS ARE HEREBY DEFERRED PER MODIFIED PROCEDURE B AGREEMENT FOR NON-WORK ORDER ITEMS (PRIVATE RETAINING WALLS).

Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



3-26-96
DATE

ROUGH GRADING APPROVAL

CITY HYDROLOGY DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico 87102
790GRD.DWGcsc 2/2/95

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: TAYLOR RIDGE, TRACT C
GRADING & DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>St. Louis</i>	3-24-95	WATER	<i>MA RWE</i>	2-21-95
TRANSPORTATION	<i>MA RWE</i>	2-23-95	WASTE WATER	<i>MA RWE</i>	2-21-95
HYDROLOGY	<i>Phurton</i>	3-3-95			
PROJECT NO.	4918.92		MAP NO.	E-12	
			SHEET	5	OF 14

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		BY	
CONTRACTOR	QA, INC.	ACS BENCHMARK	"M 448-N7A" LOCATED IN THE SOUTH END OF THE MEDIAN IN COORS RD NW NORTH OF MONTANO RD NW	FIELD NOTES	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY	AS, INC.	END OF THE MEDIAN IN COORS RD NW									
ACCEPTANCE BY	AS, INC.	ELEVATION = 5006.41									
VERIFICATION BY	AS, INC.										
DRAWINGS	AS, INC.										
CHECKED BY	AS, INC.										
RECORDED BY	AS, INC.										

