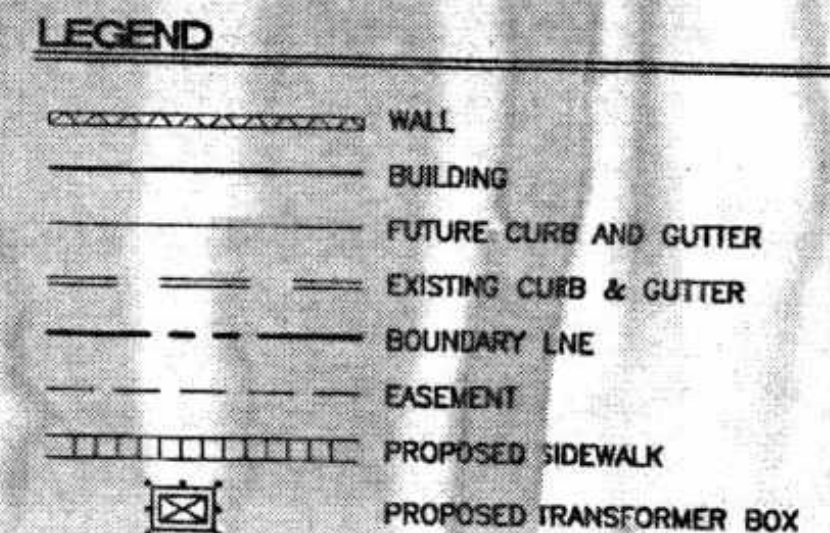
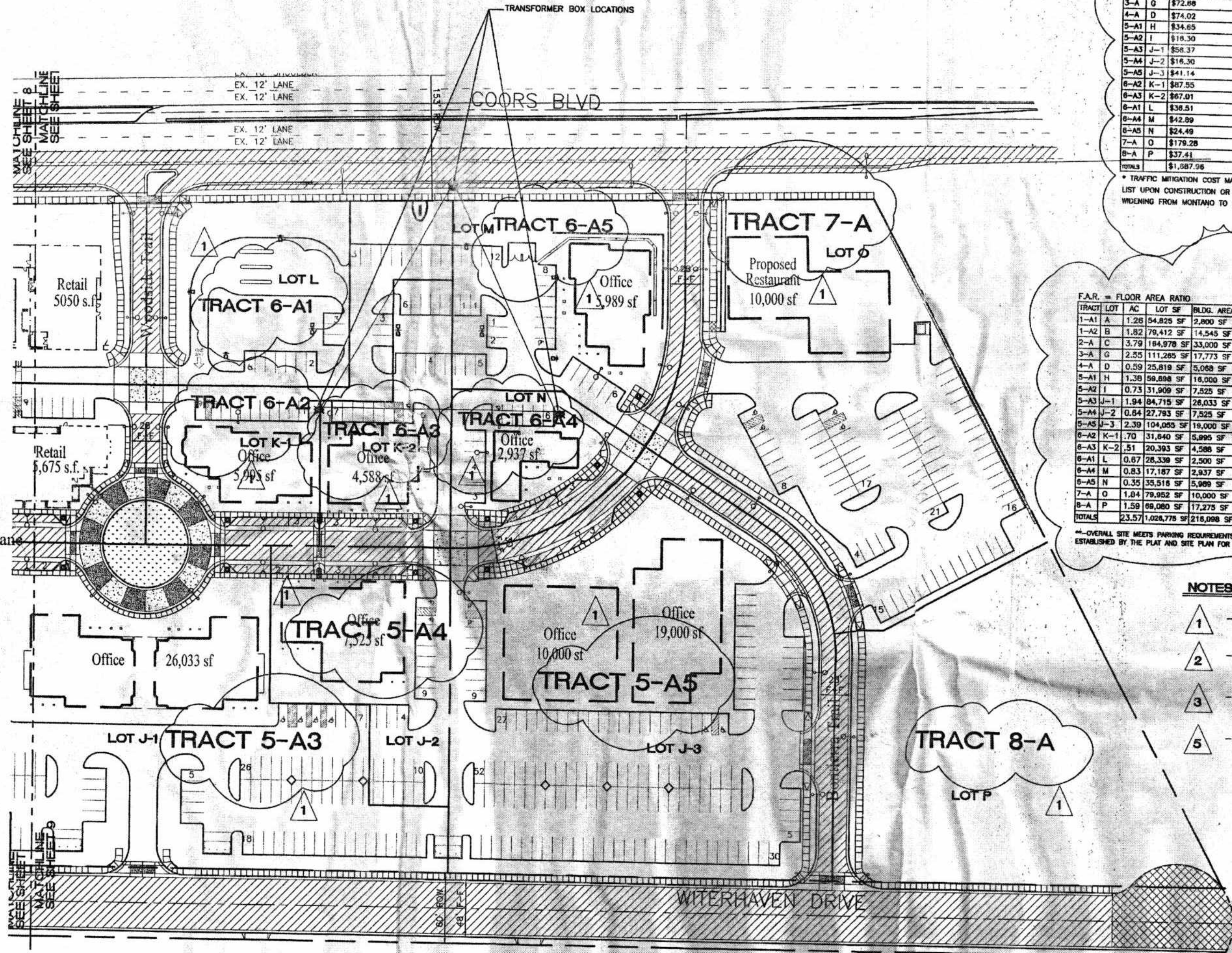




3

OFFSITE TRAFFIC REQUIREMENT

TRACT	LOT	TAYLOR RANCH / MONTANO COST	LA ORILLA / COORS COST *
1-A1	A	\$206.88	\$3,046.43
1-A2	B	\$212.42	\$3,046.53
2-A	C	\$481.95	\$8,953.96
3-A	Q	\$72.68	\$1,350.27
4-A	D	\$74.02	\$1,375.11
5-A1	H	\$34.65	\$643.71
5-A2	I	\$19.30	\$302.75
5-A3	J-1	\$58.37	\$1,047.36
5-A4	J-2	\$16.30	\$302.75
5-A5	J-3	\$41.14	\$764.41
6-A2	K-1	\$87.55	\$1,628.64
6-A3	K-2	\$87.01	\$1,244.87
6-A1	L	\$36.51	\$678.33
6-A4	M	\$42.89	\$798.90
6-A5	N	\$24.48	\$455.00
7-A	O	\$179.28	\$3,330.84
8-A	P	\$37.41	\$695.01
TOTALS		\$1,087.96	\$31,359.67

* TRAFFIC MITIGATION COST MAY BE WAIVED WITH AN AMENDED INFRASTRUCTURE LIST UPON CONSTRUCTION OR LETTING OF CONSTRUCTION CONTRACT FOR - COORS WIDENING FROM MONTANO TO PASEO DEL NORTE

F.A.R. = FLOOR AREA RATIO

TRACT	LOT	AC	LOT SF	BLDG. AREA	USES	REQUIRED PARKING	PROPOSED PARKING	NO PARKING (F.A.R.)	ZONING
1-A1	A	1.26	54,825 SF	2,800 SF	COMMERCIAL	14 SPACES	32 SPACES	1 SPACE	0.5
1-A2	B	1.82	79,412 SF	14,545 SF	COMMERCIAL	60 SPACES	63 SPACES	3 SPACES	1.0
2-A	C	3.79	184,978 SF	33,000 SF	COMMERCIAL	165 SPACES	236 SPACES	6 SPACES	1.0
3-A	G	2.55	111,285 SF	17,773 SF	COMMERCIAL	80 SPACES	102 SPACES	4 SPACES	1.0
4-A	D	0.59	25,819 SF	5,068 SF	COMMERCIAL	23 SPACES	9 SPACES	1 SPACE	2.0
5-A1	H	1.38	59,898 SF	16,000 SF	OFFICE	80 SPACES	81 SPACES	4 SPACES	2.0
5-A2	I	0.73	31,909 SF	7,523 SF	OFFICE	38 SPACES	43 SPACES	2 SPACES	2.0
5-A3	J-1	1.94	84,715 SF	26,033 SF	OFFICE	130 SPACES	89 SPACES	8 SPACES	2.0
5-A4	J-2	0.84	27,793 SF	7,523 SF	OFFICE	38 SPACES	28 SPACES	2 SPACES	3.1
5-A5	J-3	2.39	104,095 SF	19,000 SF	OFFICE	95 SPACES	137 SPACES	4 SPACES	3.1
6-A2	K-1	1.70	31,640 SF	5,995 SF	COMMERCIAL	27 SPACES	28 SPACES	2 SPACES	2.0
6-A3	K-2	0.51	20,393 SF	4,588 SF	COMMERCIAL	21 SPACES	22 SPACES	1 SPACE	2.0
6-A1	L	0.87	28,339 SF	2,500 SF	BANK	11 SPACES	10 SPACES	1 SPACE	2.0
6-A4	M	0.83	17,187 SF	2,937 SF	COMMERCIAL	14 SPACES	16 SPACES	1 SPACE	2.0
6-A5	N	0.35	35,518 SF	5,999 SF	COMMERCIAL	27 SPACES	28 SPACES	1 SPACE	2.0
7-A	O	1.84	79,952 SF	10,000 SF	RESTAURANT	50 SPACES	81 SPACES	4 SPACES	2.0
8-A	P	1.59	69,080 SF	17,275 SF	OFFICE	86 SPACES	86 SPACES	4 SPACES	2.0
TOTALS		23.57	1,028,776 SF	216,098 SF		959 SPACES	1,091 SPACES	63 SPACES	2.1

* OVERALL SITE MEETS PARKING REQUIREMENTS, FOR LOTS WHICH DO NOT SELF-PARK CROSS LOT PARKING ACCESS HAS BEEN ESTABLISHED BY THE PLAT AND SITE PLAN FOR SUBDIVISION

- NOTES:**
- 1 - DENOTES CHANGE IN LEGAL DESCRIPTION
 - 2 - DENOTES CHANGE IN SITE SPECIFIC DATA INFORMATION
 - 3 - DENOTES CHANGE IN TRAFFIC MITIGATION COST
 - 5 - DENOTES CHANGE IN LANDSCAPE CALCULATIONS

THIS ADMINISTRATIVE AMENDMENT REPLACES AND SUPERCEDES AA-00236-00000-1588 AND AA-00238-00000-00941.

CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Decision have been complied with:

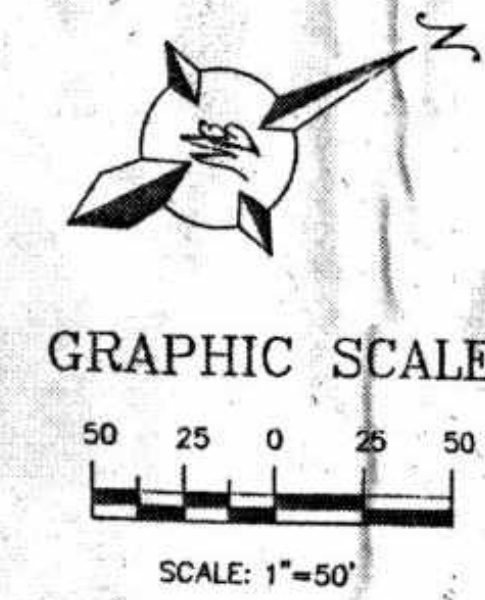
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Design and Development, CIP	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

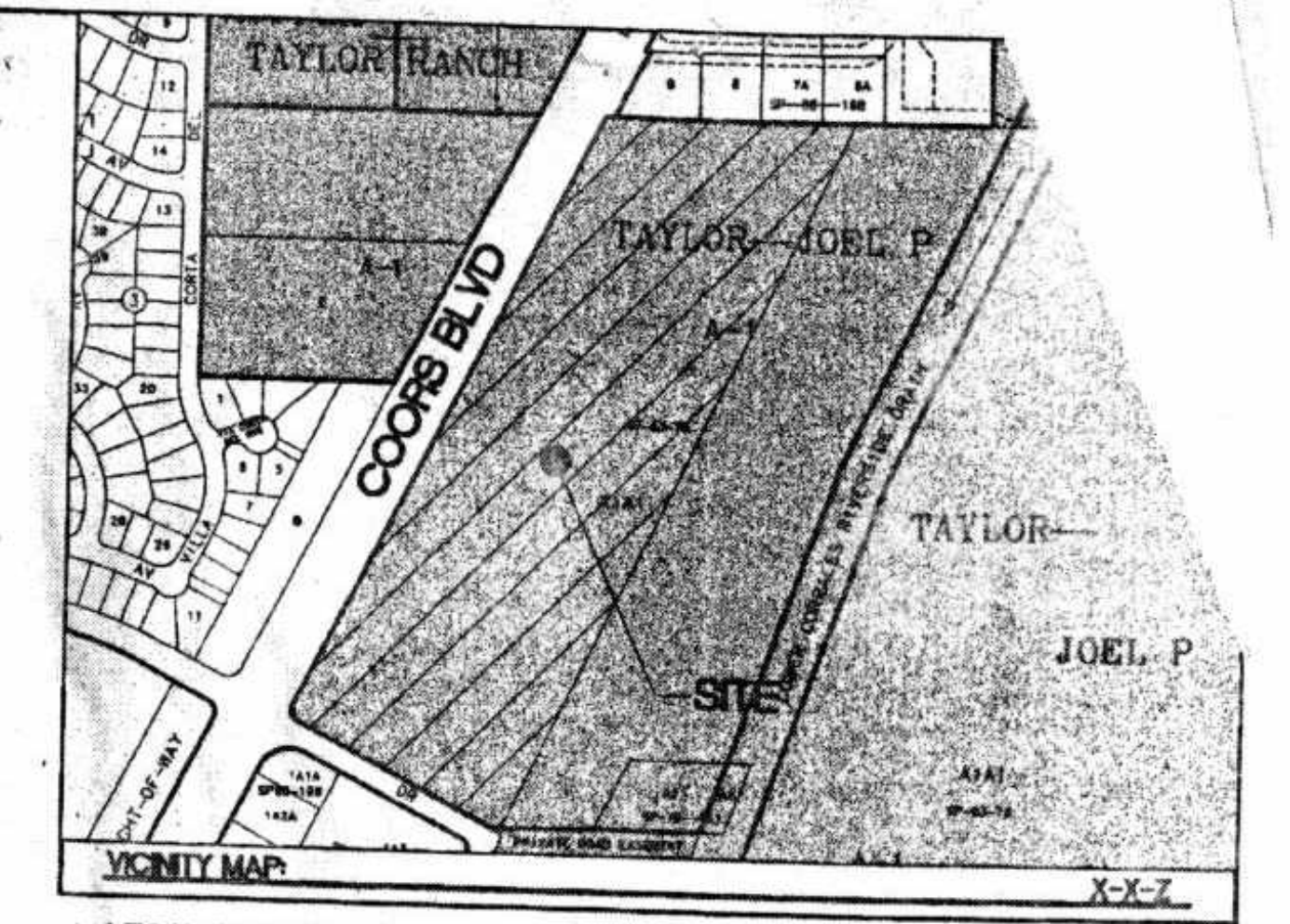
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division

PLNZ (10708) 4/98



ENGINEER'S SEAL	RIVERSIDE PLAZA	DRAWN BY WCVJ
	SITE PLAN FOR SUBDIVISION	DATE 12-8-00
RINALDO R. BOHANNAN P.E. #7669	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	9758BASE1.DWG
		SHEET # 1B
		JOB # 970058



LEGAL DESCRIPTION:

LOT A THRU P, TRACTS 1 THRU 8, OF RIVERSIDE PLAZA

Project # 100008

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT

FILE NO. AA-00236-00000-1588

See Attached Letter dated 1-17-01

PLANNING DIRECTOR DATE