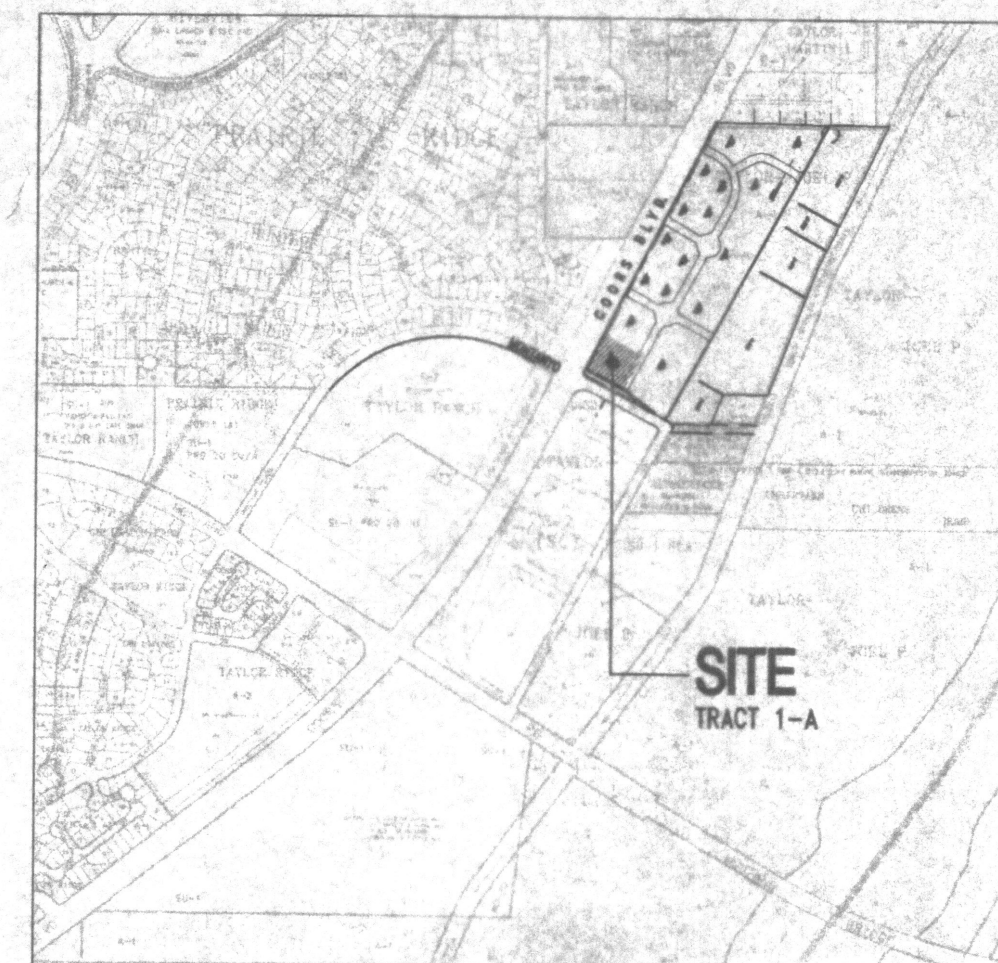


Project Data

- LEGAL DESCRIPTION
TRACT 1-A OF TRACT A-1-A-1 LANDS OF JOEL P. TAYLOR,
TOWN OF ALBUQUERQUE GRANT, ALBUQUERQUE, NM
TOWNSHIP 11N, R2E, SECTION 25
- ZONING
SU-1 FOR C-1 USES, AND A RESTAURANT SERVING LIQUOR FOR
ON-PREMISE CONSUMPTION.
- AREAS
TOTAL TRACT AREA: .98 ACRES 42,638.0 SF 100 %
BUILDING FOOTPRINT: 3,731 SF (WITH CANOPY) 8.8%
2,792 NSF

- PROPOSED USES
BANK BRANCH W/DRIVE-THRU 3,731 SF (WITH CANOPY)

- PARKING
PARKING REQUIRED (1 PER 200 NSF): 14
PARKING PROVIDED: 30
ADA PARKING REQUIRED: 2
ADA PARKING PROVIDED: 1
BICYCLE PARKING REQUIRED (1:20 OF AUTOS): 1
BICYCLE PARKING PROVIDED: 5

PROJECT # 1000039
DRB 00420-00000-01497

Case Number:

THIS PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE
ENVIRONMENTAL PLANNING COMMISSION (EPC) ON, 4-16-99, 2-99-50
AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF
DECISION HAVE BEEN COMPLIED WITH:

Richard Danks 3-05-01
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Adrian E. Candelaria 1/16/01
DESIGN AND DEVELOPMENT, CIVIL, Parks & Recreation DATE

Roger J. Shuman 1/10/01
PUBLIC WORKS, UTILITY DIVISION DATE

Lucas R. Ma 3/27/01
CITY ENGINEER, ENGINEERING DIVISION/AMCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED
BY THE DEVELOPMENT PROCESS MANUAL

PS Jant 3 3/30/01
CITY PLANNER, ALBUQUERQUE
BERNILLO COUNTY PLANNING DIVISION DATE

engineer

DRB SUBMITTAL

project

Riverside Plaza
New Mexico Bank and Trust
Coors Blvd. and Montano Plaza Drive
Albuquerque, New Mexico

revisions
△ DRB COMMENTS 11.22.00

△
△
△

plotted:

drawn by CP

reviewed by D/P/S

date 10.13.00

project no. 97007.007

drawing name

Site Development Plan for Building Permit

RECEIVED
NOV 06 2001
HYDROLOGY SECTION

sheet no.

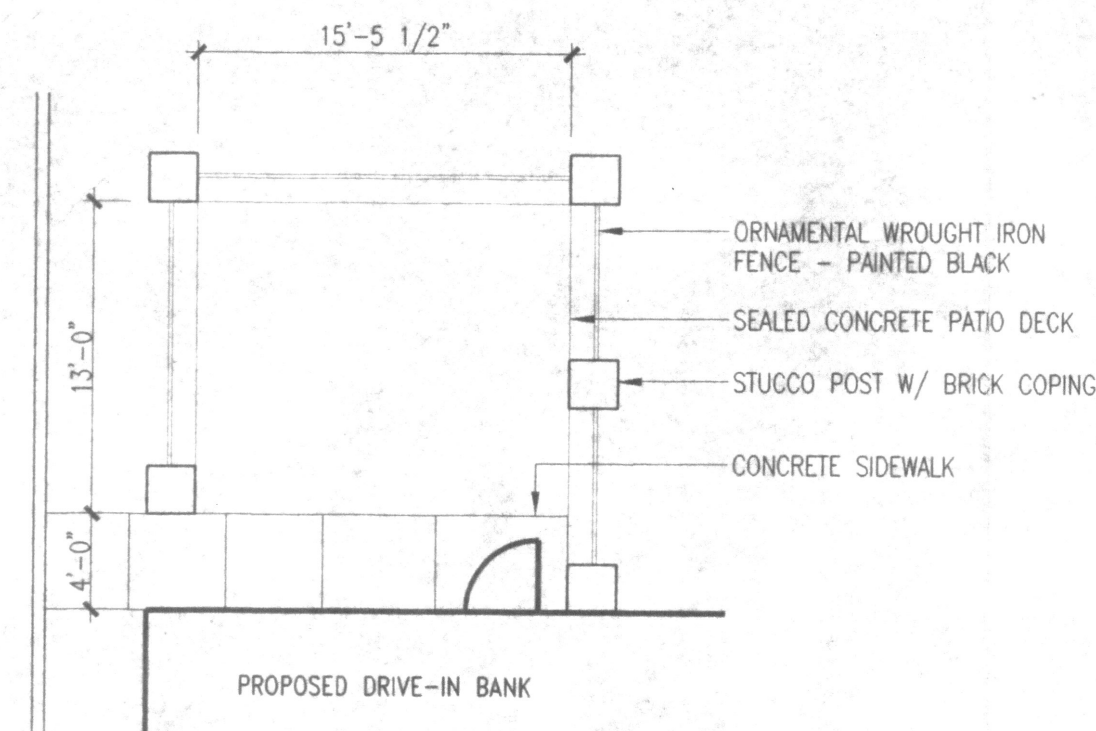
1 of 6

of

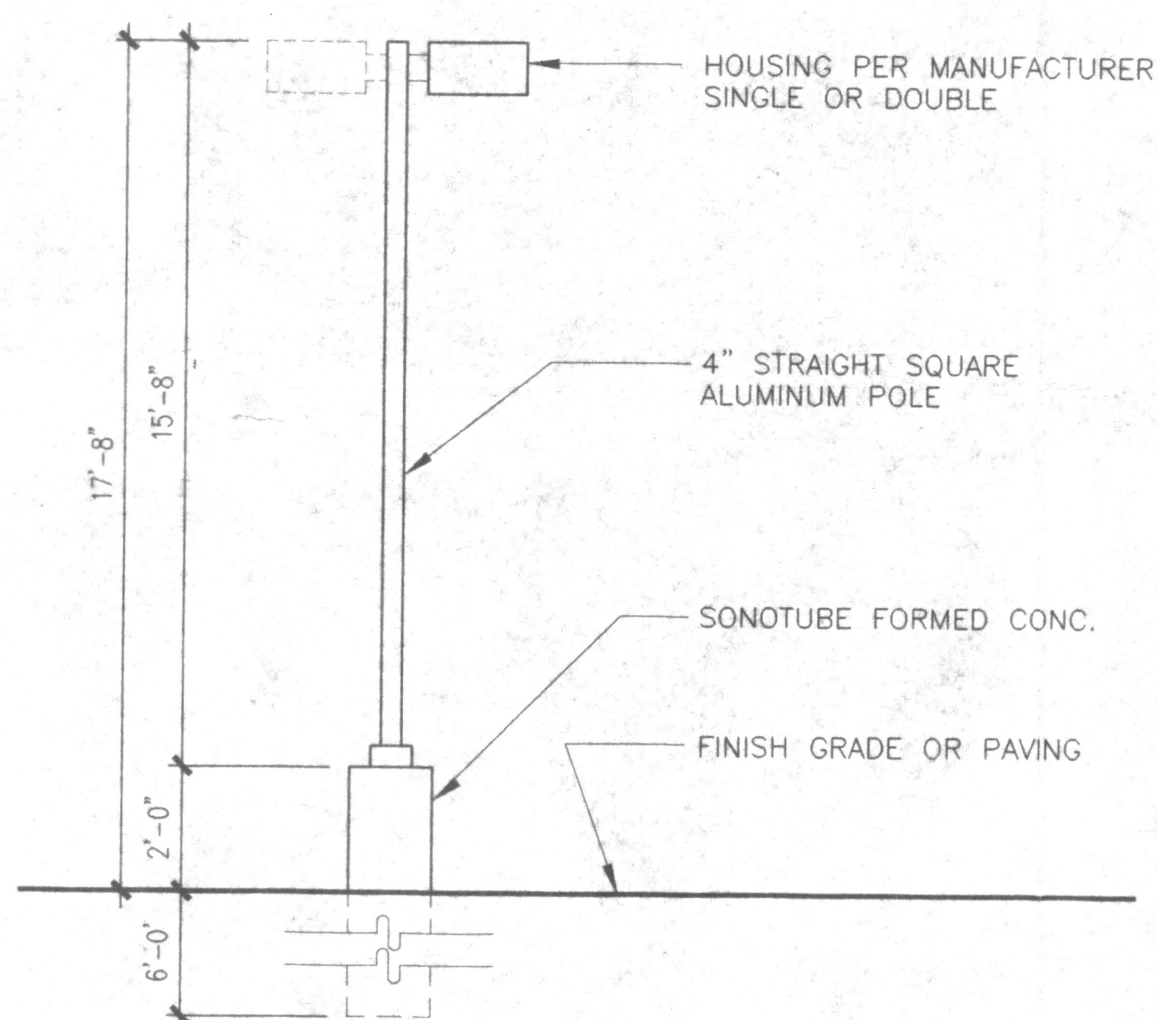
COORS ROAD NW

MONTANO PLAZA DRIVE

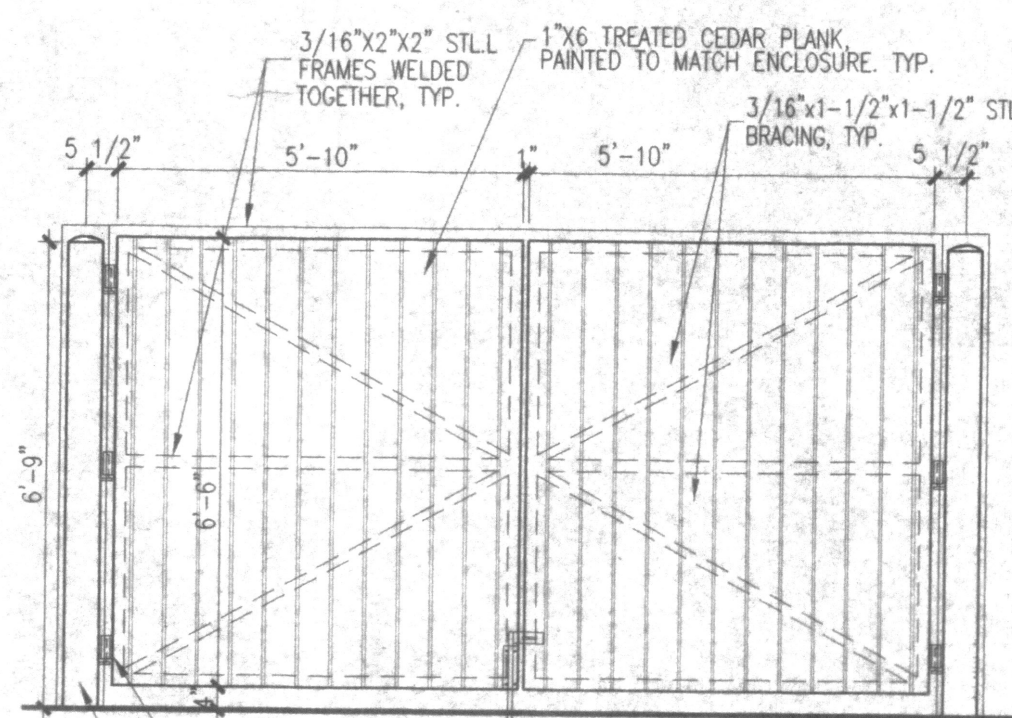
RIVERSIDE PLAZA DRIVE



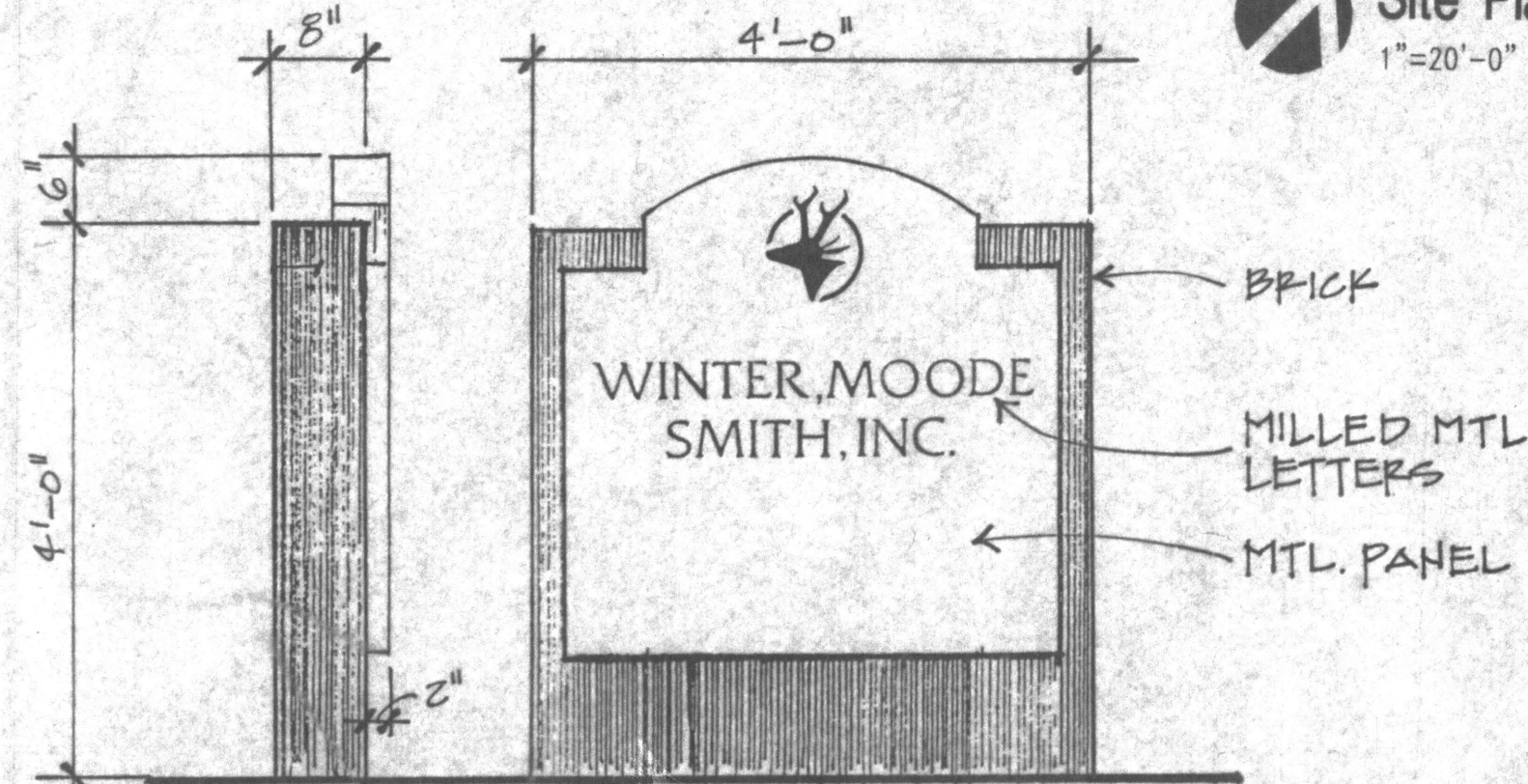
3 Enlarged Patio Plan
1/8" = 1'-0"



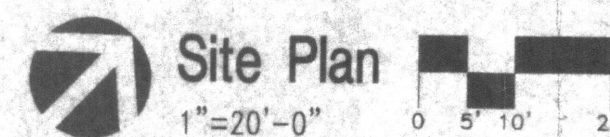
4 Light Pole
1/4" = 1'-0"



15 Gate Elevation
3/8" = 1'-0"



2 Monument Sign
3/4" = 1'-0"



Legend

- EXISTING TO REMAIN
- PROPERTY LINE & LIMIT OF WORK
- BUILDING SETBACKS
- EXTERIOR ELEVATIONS
- ENLARGED PLAN

Keyed Notes

- CONCRETE PATIO, W/ WROUGHT IRON FENCE
- 10" LANDSCAPE & PUBLIC UTILITY EASEMENT
- 8" CMU RETAINING WALL, PER COA
- CMU RETAINING WALL W/ 1/2" STUCCO FINISH (COLOR-LT. BROWN), SEE CIVIL
- 6" CONCRETE CURB, TYP.
- EXISTING PNM EQUIPMENT
- CURB RAMP, PER CITY OF ALBUQUERQUE STANDARDS
- 15'-0" BUILDING SETBACK
- 35'-0" BUILDING & LANDSCAPE SETBACK
- BICYCLE RACK FOR MIN. 5 BICYCLES
- LIGHT POLE, TYP.
- TREE GRATE
- PLANTER
- AC PAVING
- 3" WIDE PAINTED PARKING STALL STRIPING
- SEALED CONCRETE PAD
- CONCRETE WALK, SAME AS EXISTING
- ACCESSIBLE PARKING POLE MOUNTED SIGNAGE

R. WOOD TRELLIS, SEE SHEET 6

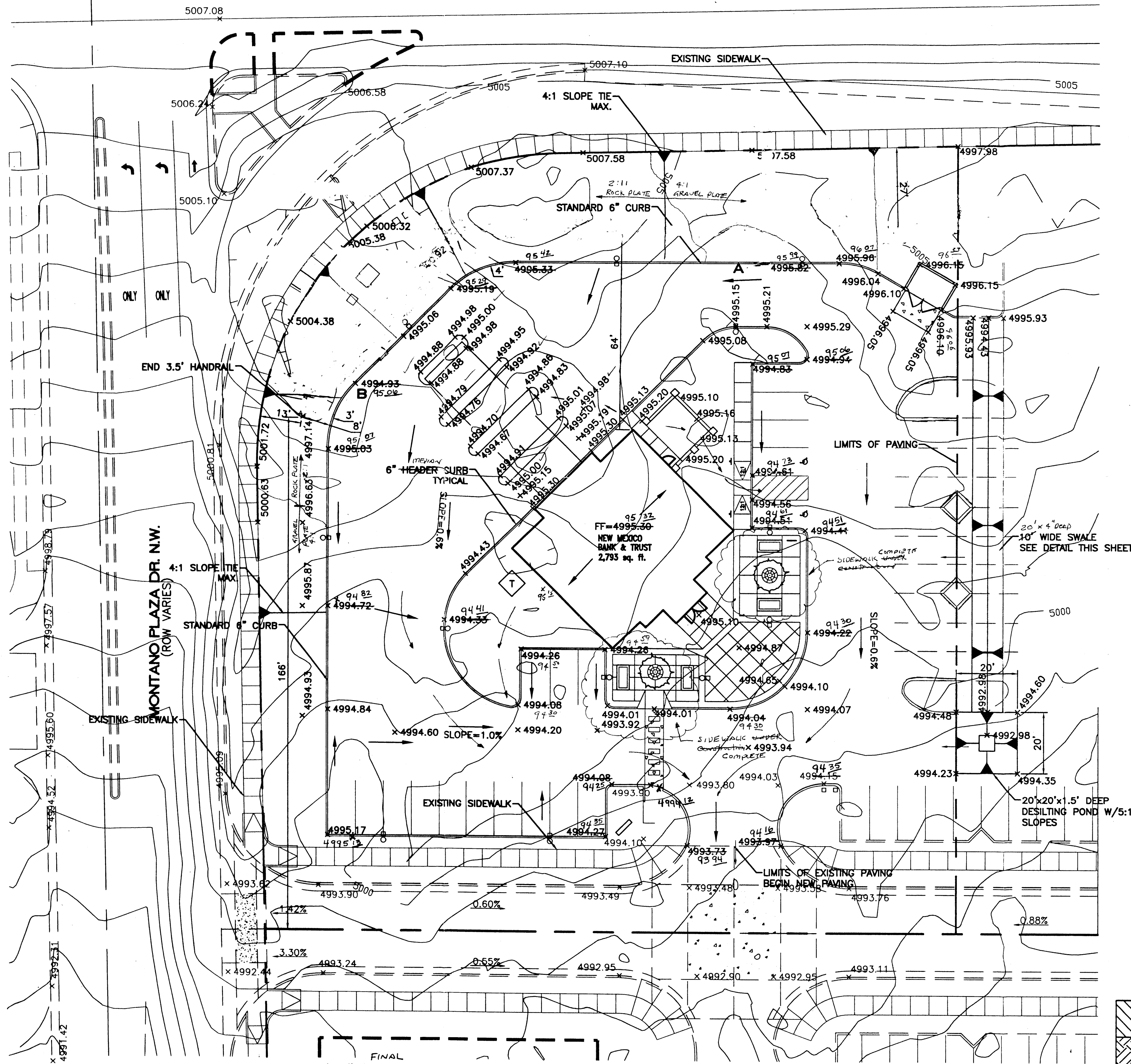
30-DAY TEMPORARY

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 8/31/00. Survey information was supplied by SURU-TEK INC. in accordance with normal surveying practices.

Ronald R. Bohannon

#7868

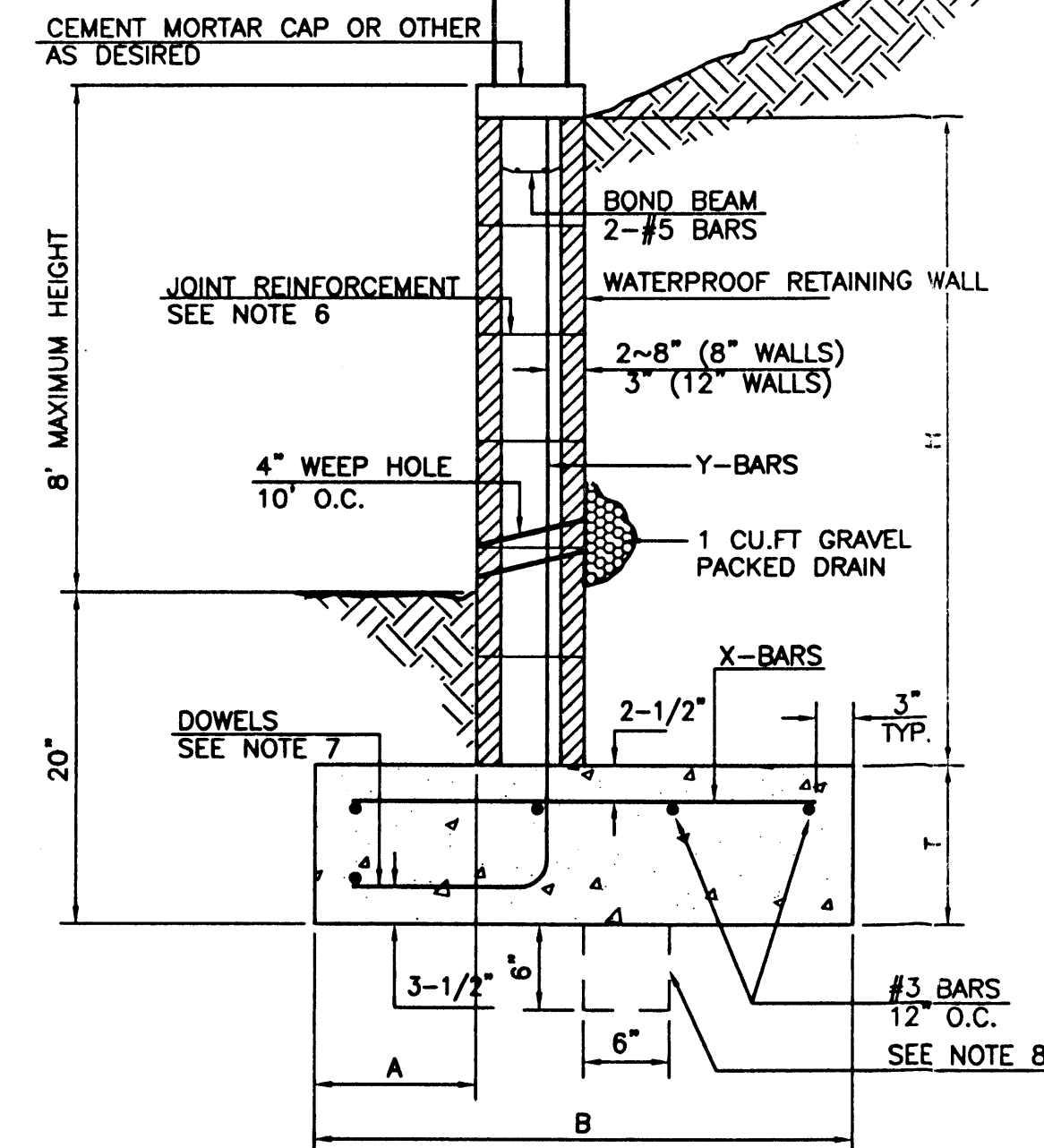
COORS RD. N.W.
(156' ROW)



I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 8-31-00. Survey information was supplied by SURU-TEK INC. in accordance with normal surveying practices.

Ronald R. Bohannon

#7868



8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	3'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

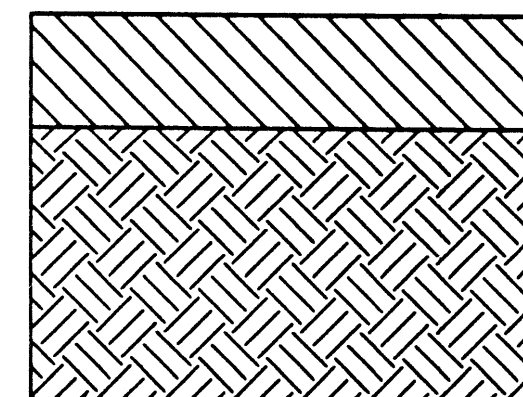
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

GENERAL NOTES:

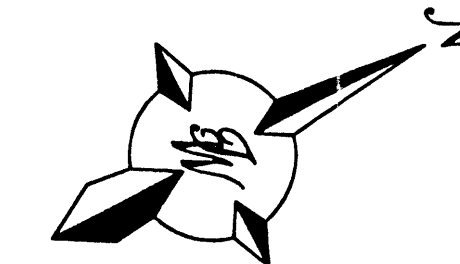
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE CUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 10' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL

NTS NOT USED

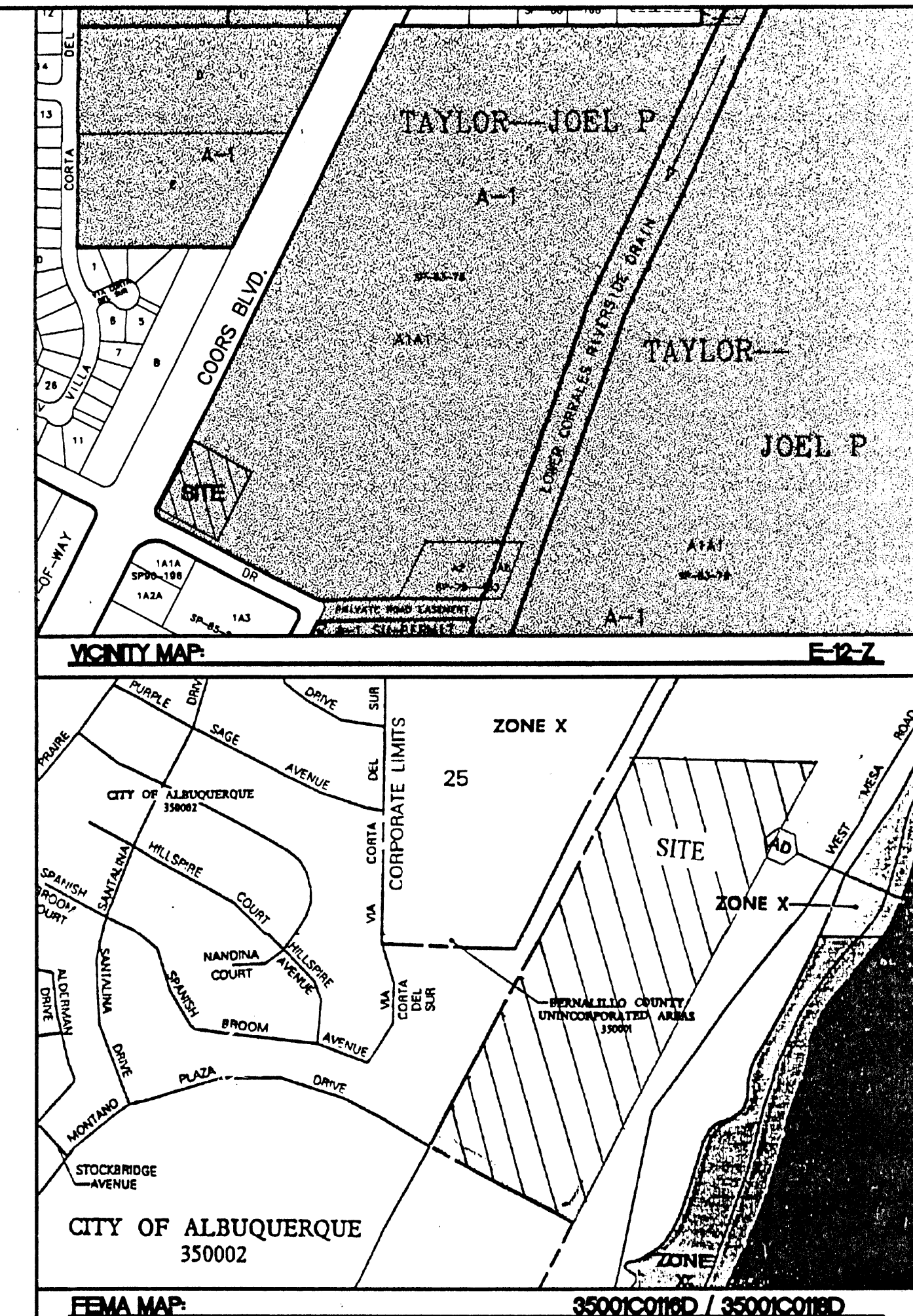


PAVING SECTION



GRAPHIC SCALE

SCALE: 1"=20'



LEGAL DESCRIPTION:

LOT A, TRACT 1, RIVERSIDE PLAZA

NOTES:

- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED

LEGEND

- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- ROOF DRAINAGE/FLOW ARROWS
- TRANSFORMER PAD
- PROPOSED LIGHT POLE

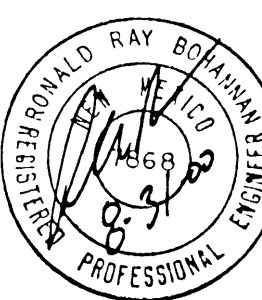
SWALE DETAIL

NTS

ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL



RONALD R. BOHANNAN
P.E. #7868

NEW MEXICO BANK AND TRUST
GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY WCWJ

DATE

8-30-00

9758AGR.DWG

SHEET #

JOB #

970058A

