

CITY OF ALBUQUERQUE



April 20, 2015

Scott Steffen, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

Re: Andalusia Villas
5300 Antequera NW, Buildings 3, 4, 13 and 14
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 1-18-13 (E12D015C)
Certification dated: 4-13-15

Dear Mr. Broughton,

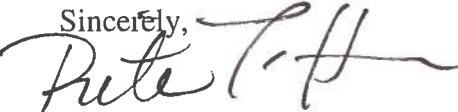
Based on the Certification received 4/13/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology for the above named buildings.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,


Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

C: RR/RH
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

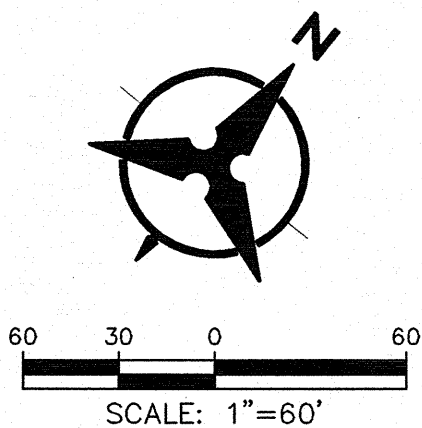
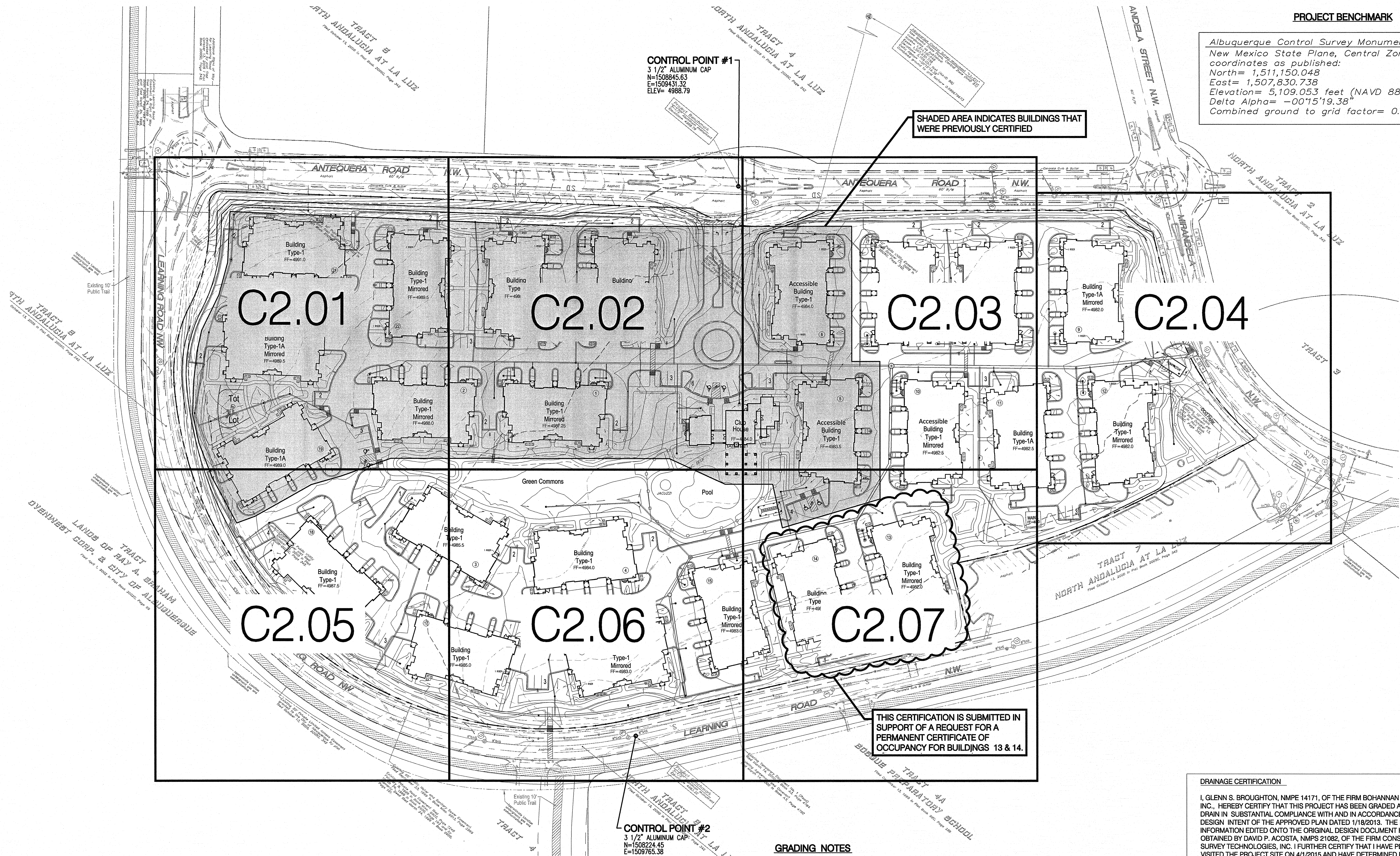
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE CERTIFICATION

I, GLENN S. BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/18/2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID P. ACOSTA, NMPS 21082, OF THE FIRM CONSTRUCTION SURVEY TECHNOLOGIES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/1/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDINGS 13 & 14.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn S. Broughton
GLENN S. BROUGHTON, NMPE 14171

4/13/15
DATE:

LEGEND

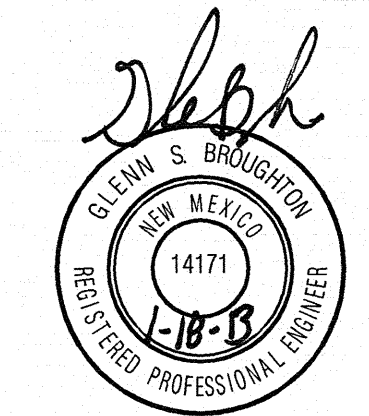
- FL70.22 DESIGN GRADE
- 4894.88 AS-BUILT GRADE



PROJECT BENCHMARK

Albuquerque Control Survey Monument "13-E11"
New Mexico State Plane, Central Zone (NAD 83)
coordinates as published:
North= 1,511,150.048
East= 1,507,830.738
Elevation= 5,109.053 feet (NAVD 88)
Delta Alpha= -00°15'19.38"
Combined ground to grid factor= 0.999679673

ANDALUCIA VILLAS
ALBUQUERQUE, NM
BAY HILLS DEVELOPMENT



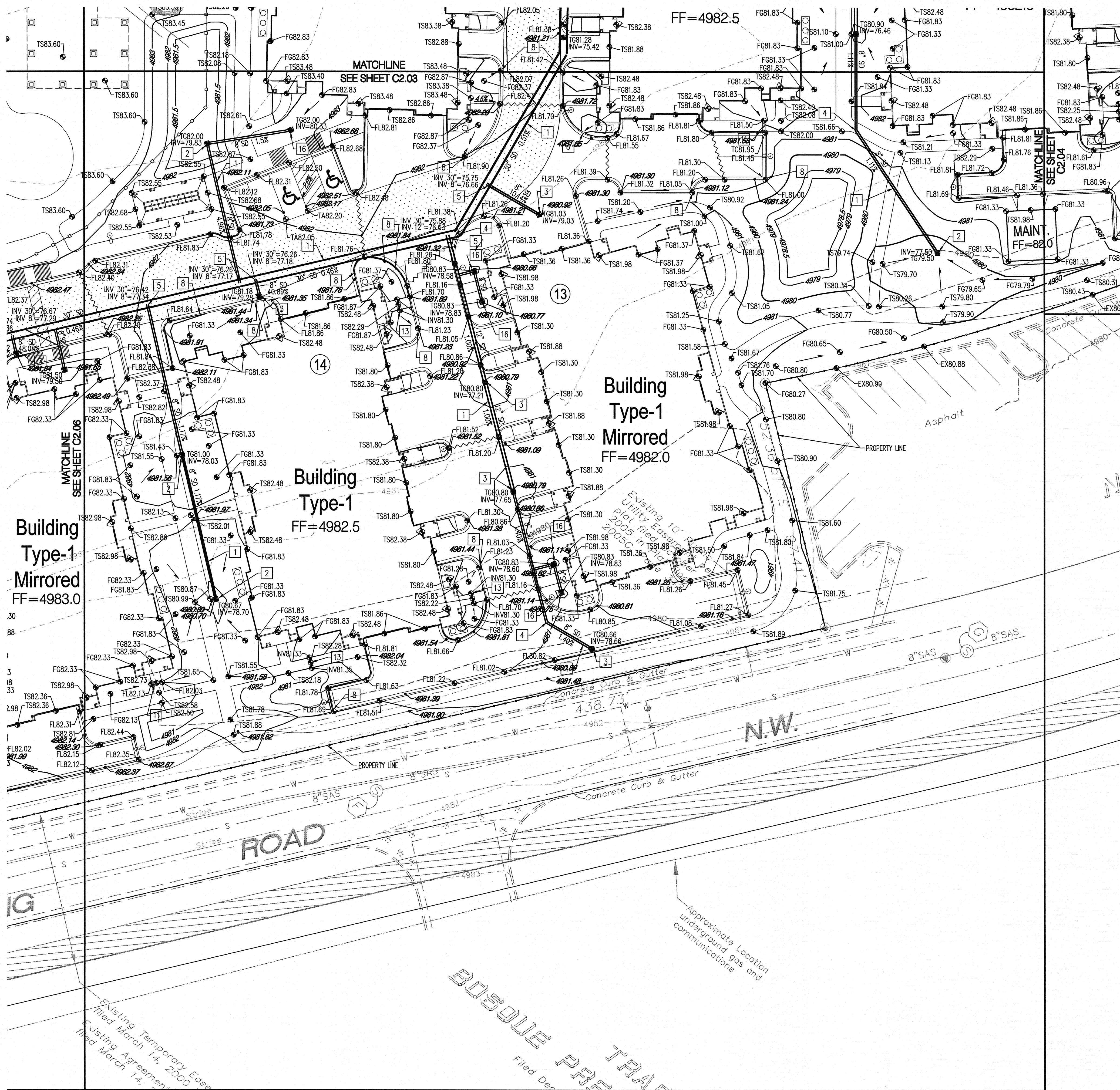
Bohannon & Huston

SHEET CONTENTS:
OVERALL GRADING &
DRAINAGE PLAN

SHEET NO.

C2.00

10350



GRADING KEYED NOTES

1. INSTALL HDPE STORM DRAIN WITH WATER TIGHT JOINTS. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
2. INSTALL NYLOPLAST INLINE DRAIN WITH 12" DOMED GRATE.
3. INSTALL NYLOPLAST 2'x2' TRAFFIC RATED INLET & GRATE.
4. INSTALL PREFABRICATED BEND WITH WATER TIGHT JOINTS.
5. INSTALL PREFABRICATED INSERTA TEE.
6. CONNECT TO EXISTING STORM DRAIN STUB OUT WITH CONCRETE COLLAR.
7. INSTALL 18" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
8. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE.
9. INSTALL PREFABRICATED INSERTA WYE.
10. INSTALL 4" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2102.
11. INSTALL 12" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
12. INSTALL 6" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2102.
13. INSTALL 6" SDR-35 PVC PIPE.
14. TRANSITION FROM 6" HIGH CURB TO FLUSH CURB.
15. MAINTAIN A 4" WIDE PEDESTRIAN WALKWAY WITH A 2.0% MAXIMUM CROSS SLOPE.
16. INSTALL NYLOPLAST INLINE DRAIN WITH 8" DOMED GRATE.
17. INSTALL NYLOPLAST INLINE DRAIN WITH 18" DOMED GRATE.
18. INSTALL NYLOPLAST JUNCTION STRUCTURE.
19. INSTALL 4" DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
20. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL PER COA STD DWG 2236, OMIT CHECKERED STEEL PLATE.
21. CONSTRUCT 3'-0" WIDE x 12" DEEP RIP-RAP RUNDOWN. 4"-6" ROCK OVER NON-WOVEN FILTER FABRIC.
22. INSTALL NYLOPLAST 2'x2' TRAFFIC RATED INLET & GRATE. CONNECT TO SANITARY SEWER SYSTEM. SEE UTILITY PLAN FOR DETAILS.

NOTE:
IN LOCATIONS REQUIRING CURB OPENINGS FOR DRAINAGE (KEYED NOTE 8) THE FINISHED SURFACE OF LANDSCAPE MATERIAL SHALL BE AT EQUAL ELEVATION WITH THE ADJACENT ASPHALT PAVEMENT OR CONCRETE GUTTER.



SCALE: 1"=20'

DRAINAGE CERTIFICATION

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Glenn S. Broughton 4/13/15
GLENN S. BROUGHTON, NMPE 14171 DATE:

LEGEND

- FL70.22 DESIGN GRADE
- 4984.88 AS-BUILT GRADE



Designed by: BJS / GSB
Drawn by: BO

Architect of Record:

Date Plotted: 1/18/13

Issue for Pricing / Bidding:

Issue for Permit Application:

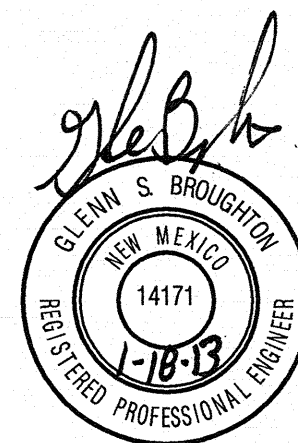
Issue for Construction:

Revisions:

#	DATE	COMMENTS

ANDALUCIA VILLAS

ALBUQUERQUE, NM
BAY HILLS DEVELOPMENT



Bohannon & Huston

SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

SHEET NO.

C2.07

10350



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- _____ DRAINAGE PLAN RESUBMITTAL
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- _____ ENGINEER'S CERT (ESC)
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- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
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- _____ ESC CERT. ACCEPTANCE
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WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

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April 13, 2015

Ms. Racquel Michel, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

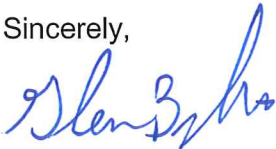
Re: Traffic Circulation Layout Engineer's Certification – Buildings 3 and 4
Andalucia Villas (F12)

Dear Racquel:

Enclosed for your review is the approved Site Plan dated February 3, 2012. I visited the site on April 1, 2015 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for a **Permanent Certificate of Occupancy** for the buildings noted above. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



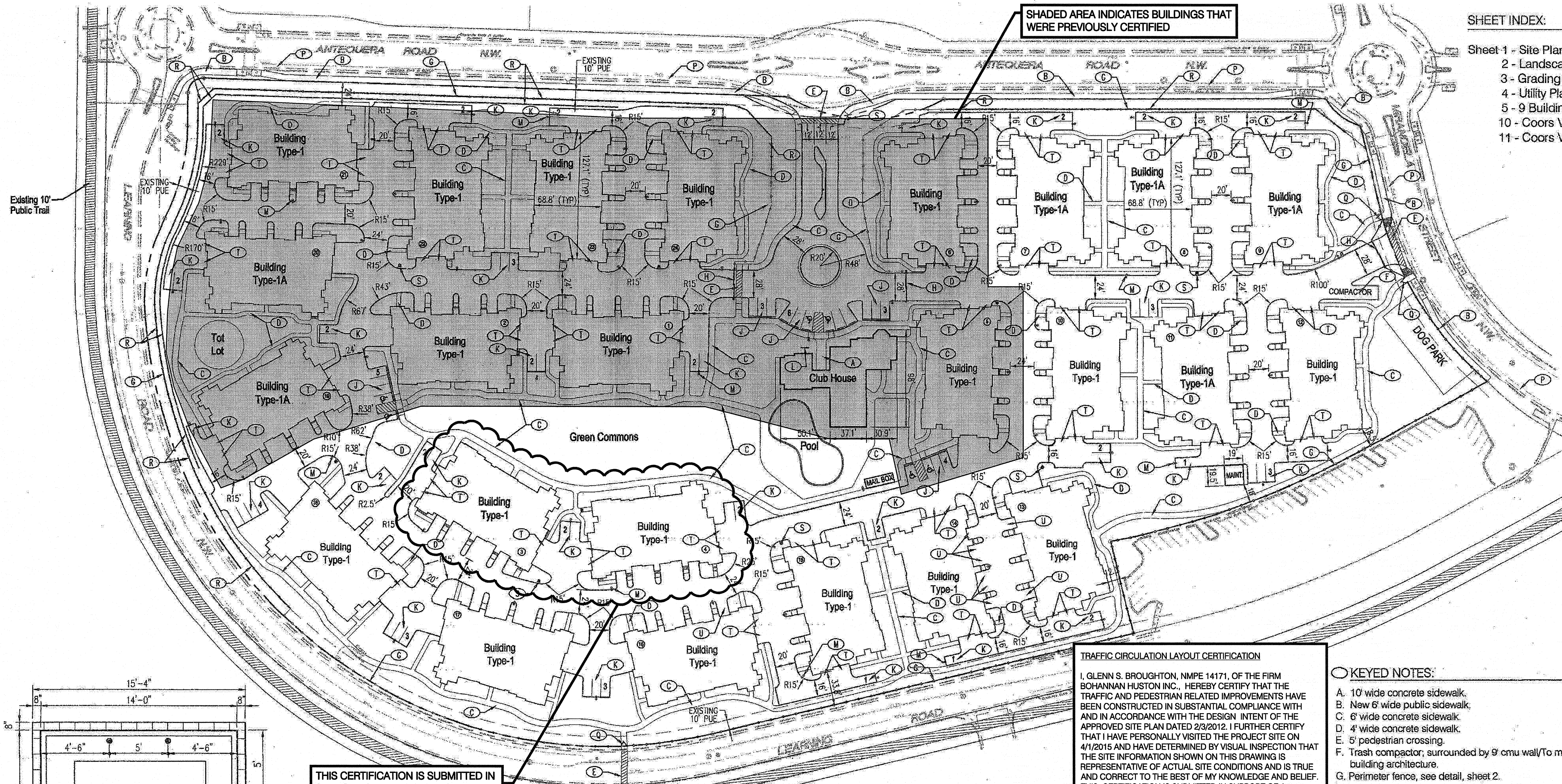
Glenn S. Broughton, P.E.
Senior Project Manager
Community Development & Planning

GSB/jcm
Enclosure

Engineering ▲

Spatial Data ▲

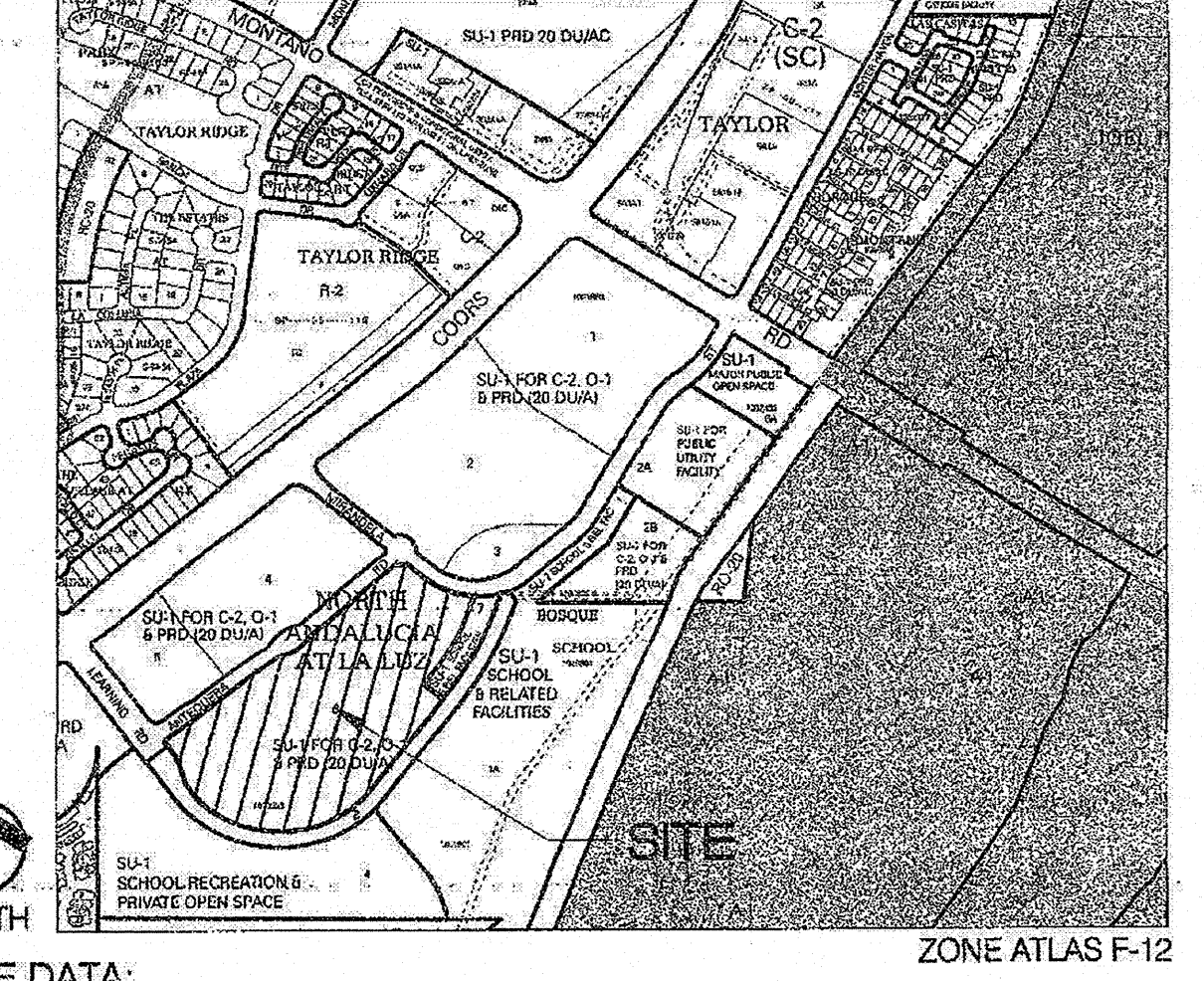
Advanced Technologies ▲



SHEET INDEX:

- Sheet 1 - Site Plan for Building Permit
- 2 - Landscape Plan
- 3 - Grading Plan
- 4 - Utility Plan
- 5 - 9 Building Elevations
- 10 - Coors View Plane Analysis
- 11 - Coors View Area Analysis

SITE VICINITY



SITE DATA:

Zoning: SU-1 for C-2 Uses (±23.3 Acres Max.),
O-1 Uses (±11.7 Acres Max.),
PRD (20 du/ac)
Land Use designation per Site Plan for Subdivision: PRD
Acreage: 15.86 Ac.

BUILDING CALCULATIONS:

Building Type	#Bldgs	Total Units
Type 1 - 10 Units	18	180
Type 1A - 10 Units	6	60
Total	24	240

GENERAL NOTES:

- This Site Development Plan for Building Permit amends the EPC approved Site Development Plan for Building Permit (Project #1004433-05EPC01567-06DRB01888).
- This Site Development Plan for Building Permit applies to Tract 6, North Andalusia at La Luz only. It shall be consistent with the approved Site Plan for Subdivision (Project #1003859; 04EPC01845).
- Site design shall comply with the Coors Corridor Plan view guidelines. (see Sheets 10-11 for more detail).
- Overall Gross Density is 15.13 du/ac.

PROJECT NUMBER: 1004473

Application Number: 05EPC01567, 06DRB-01888

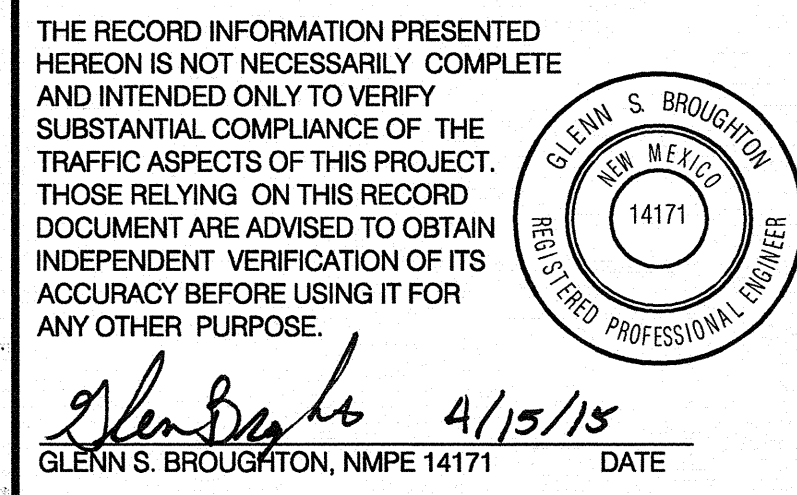
Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering/Transportation Division	9-5-06 Date
<i>[Signature]</i> Water Utility Department	8-23-06 Date
<i>[Signature]</i> Parks and Recreation Department	8/23/06 Date
<i>[Signature]</i> City Engineer	8/23/06 Date
N/A	
* Environmental Health Department (conditional)	
<i>[Signature]</i> Solid Waste Management	9/10/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3-29-11 Date

TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, GLENN S. BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 2/3/2012. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/15/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDINGS 3 & 4.



KEYED NOTES:

- 10' wide concrete sidewalk.
- New 6' wide public sidewalk.
- 6' wide concrete sidewalk.
- 4' wide concrete sidewalk.
- 5' pedestrian crossing.
- Trash compactor, surrounded by 9' cmu wall/To match building architecture.
- Perimeter fence, see detail, sheet 2.
- Electronic entry gate, to be equipped for Fire Dept. access.
- 9x20' parking spaces.
- 9x18' parking spaces.
- Bike rack, 6 per rack.
- Lighting Fixture. Location and quantity of fixtures shown is approximate.
- Not used.
- 6' bike lane.
- Gate opening.
- Retaining wall, see Grading Plan.
- New Fire Hydrant. Location and quantity of fire hydrants shown is approximate.
- 'No Parking' painted on pavement in front of garage. See typical detail this sheet.
- Compact parking space. Paint 'Compact' on pavement.

DETACHED AND ON-LOT USEABLE OPEN SPACE REQUIREMENTS*

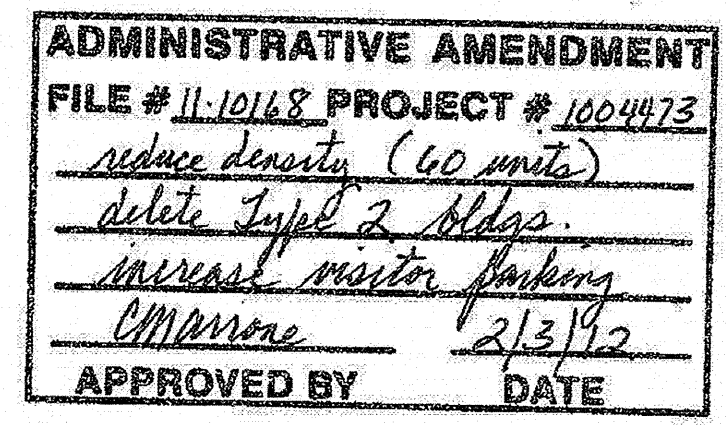
OPEN SPACE REQUIREMENTS - TRACT 6				
	SF Required Per DU	# of DUs	Total Required	Total AC. Provided
Open Space	2400	240	13,224 AC.	25.04 AC.
MINIMUM ON-LOT USEABLE OPEN SPACE REQUIRED & PROVIDED				
	SF Required Per DU	# of DUs	Total SF Required	Total SF Provided
1 Bedroom	48	48	9,800	
2 Bedroom	250	132	33,000	
3 Bedroom	300	60	18,000	
Total Minimum On-Lot Useable Open Space Required			60,800	(1.39 Acres)
On-Lot Useable Open Space Provided			281,496	(6.46 Acres)
Balconies/Covered Spaces				23,964
Total On-Lot Useable Open Space Provided			305,462	(7.01 Acres)
DETACHED OPEN SPACE				
Andalusia South			785,367	(18.03 Acres)
Total			1,090,849**	(25.04 Acres)

*Only buildings within the Developing Urban area, as designated by the City of Albuquerque/Bernalillo County Comprehensive Plan, require Useable Open Space, per the City Comprehensive Zoning Code. All of the units in Tract 6 (24 buildings) fall within the Developing Urban area.
**Does not include Tract 4, North Andalusia

PARKING SPACE REQUIREMENTS

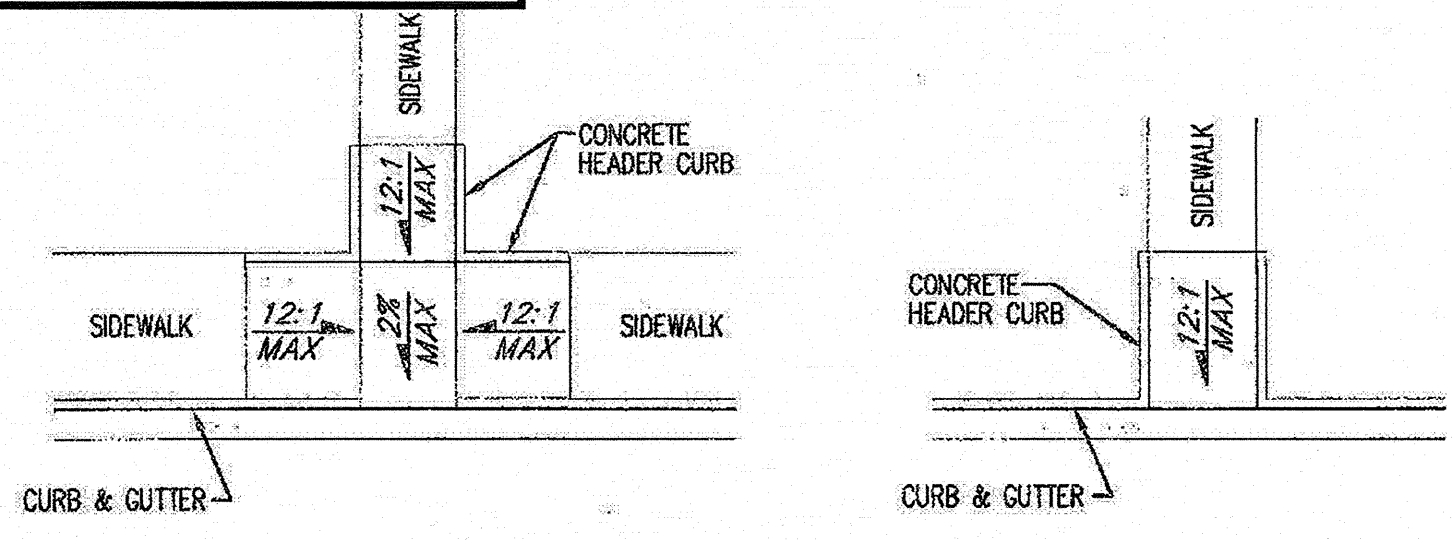
MINIMUM ON-SITE PARKING SPACES		
Building Type 1 & 1A - 10 units per Building	Parking Ratio Required	Parking Spaces
Dwelling Units < 1000 SF		
4 - 1 bed/ 1 bath	1.5 / 1	6
Dwelling Units > 1000 SF		
4 - 2 bed/ 2 bath	2 / 2	8
2 - 3 bed/ 2 bath	2 / 2	4
Parking Required per Building		18
*Total Parking Spaces Provided per Building		20
Total Parking Spaces Required		432
Accessible Parking Required		12
Accessible Parking Provided		8 Surface/4 indoor
Compact Parking Spaces		9
Clubhouse Parking Provided		12
Total On-Site Parking Provided		574
Bike Parking Provided		8**

*Parking is allowed in front of garages where space is adequate.
** Provided at Clubhouse.



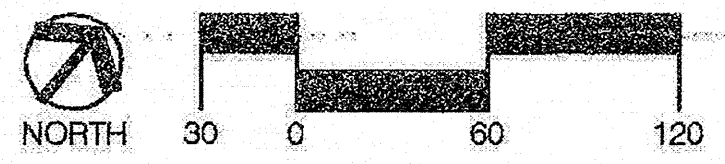
TYPICAL HANDICAP RAMP DETAILS

NOT TO SCALE

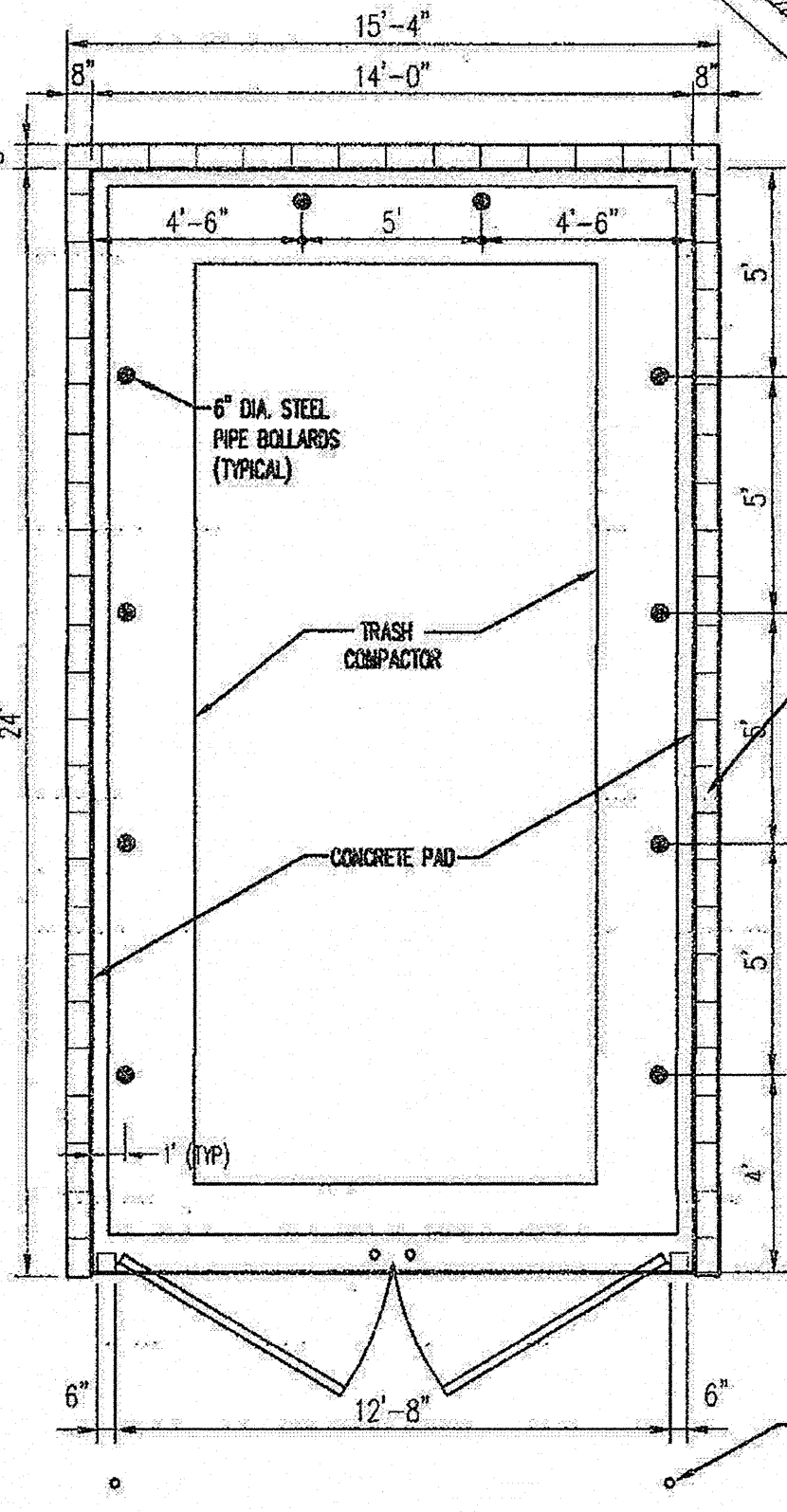


Amendment to Tract 6
December 28, 2011

Scale: 1" = 60'

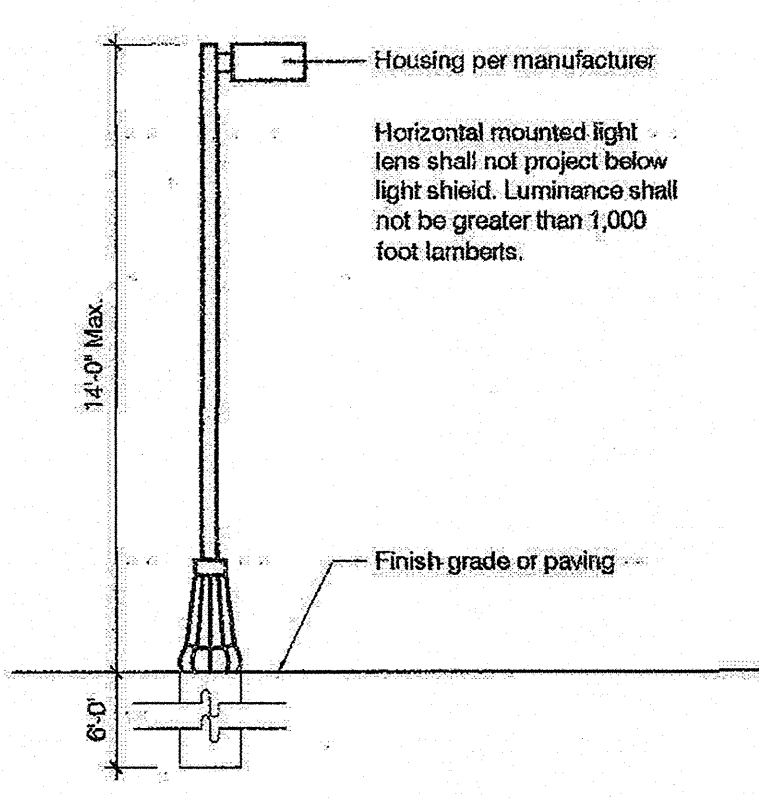


THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDINGS 3 & 4.



1 TRASH COMPACTOR ENCLOSURE

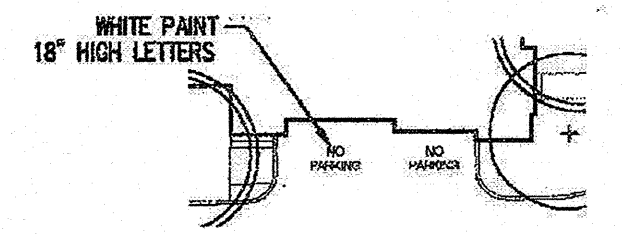
N.T.S.



2 LIGHT FIXTURE*

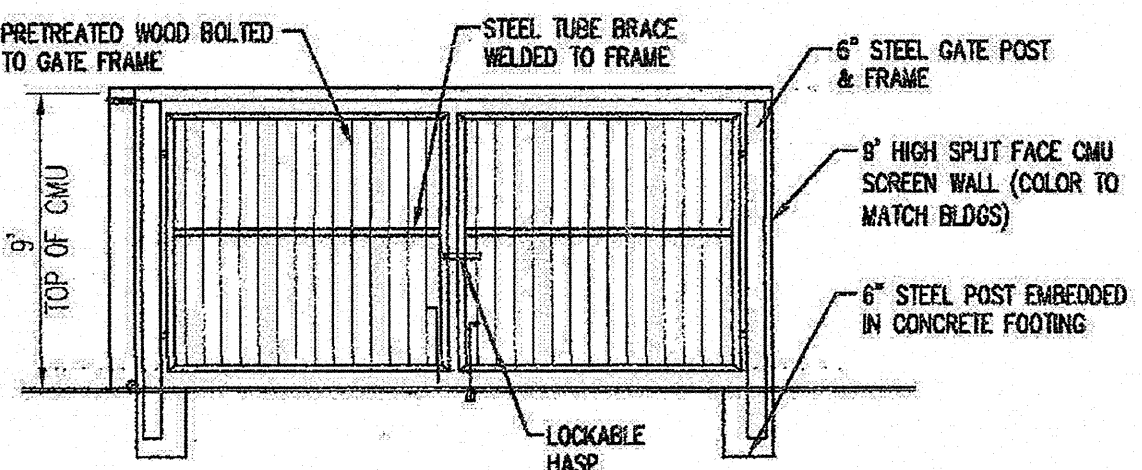
N.T.S.

*Height of light fixture for internal to the site. Light fixtures within Public R.O.W. shall comply with City Comprehensive Zoning Code Section 14-16-3-B(A) and P&M Standards.



3 NO PARKING PAVEMENT MARKING

N.T.S.



North Andalusia at La Luz

Amendment Tract 6, Site Plan for Building Permit

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August 9, 2006

