



- ### GRADING NOTES
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CQA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY SEDIMENT AND SOIL FENCE AT THE PROPERTY LINES AND SETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A SPECIAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A DRYING SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR DRYING SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MOWING AND GRAVING.
 - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

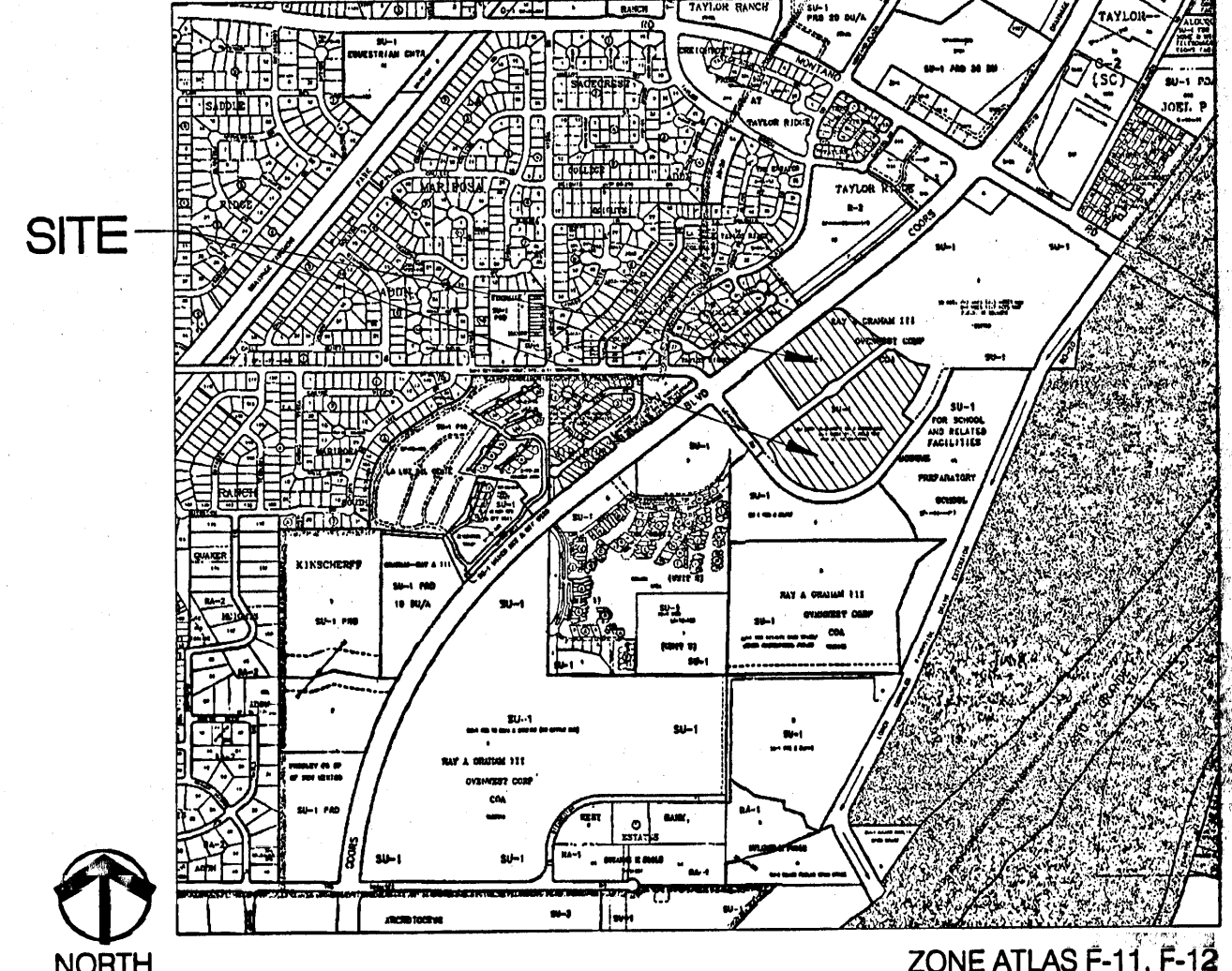
KEYED NOTES

- MASONRY RETAINING WALL
- STORM DRAIN (BY OTHERS)
- 24" STORM DRAIN
- 30" STORM DRAIN
- 36" STORM DRAIN
- DRAINAGE INLET

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FSH = FINISHED GROUND HIGH SIDE
- FLS = FINISHED GROUND LOW SIDE
- FW = TOP OF WALL
- DIRECTION OF FLOW

SITE VICINITY



LEGAL DESCRIPTION

TRACT 11-2-4E, QUADRIC CENTER UNIT 2, PHASE 2
ALBUQUERQUE, NM, TOWNSHIP 20S

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submission is to provide a conceptual Drainage Management Plan for the proposed multifamily development of North Andalusia located at the NE Corner of Learning Road and Coors Boulevard.

II. SITE LOCATION
The site is currently legally described as North Andalusia, Tracts 4 and 6 (+/-24.5 ac.). The site is bounded by Coors Boulevard to the west, Learning Road to the north, Antequera Rd to the south, and the Bosque School to the east. The site is located within zone atlas maps #E-12 and #F-12, and hydrologic zone 1.

III. EXISTING HYDROLOGIC CONDITIONS
The site is currently undeveloped. Existing flows are conveyed by surface drainage to the low lying areas at the Lower Corrales Riverside Drain. The land is low enough that the drainage does not overlap the Lower Corrales Riverside Drain and ponds at the east side of the site. Conveyance currently occurs via Evapotranspiration and infiltration.

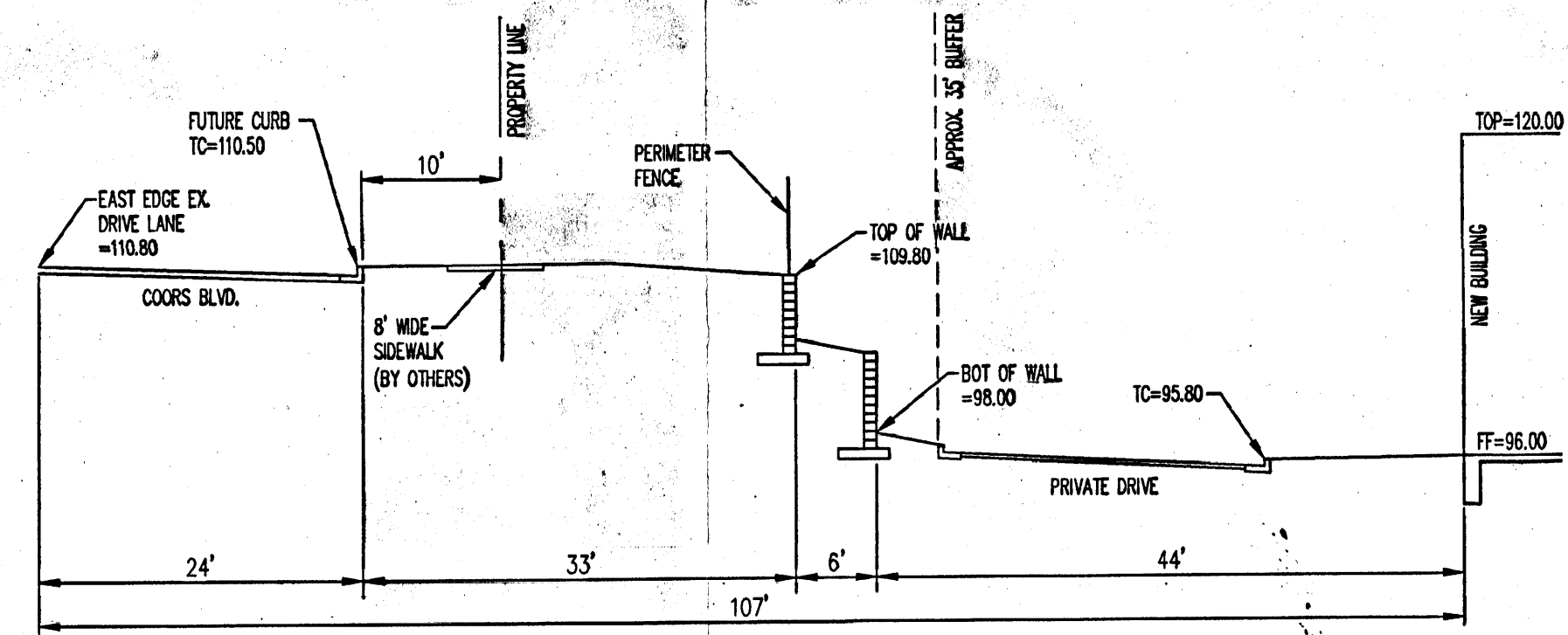
IV. PROPOSED HYDROLOGIC CONDITIONS
The proposed conditions for North Andalusia Tracts 4 and 6 have been shown on the basin map/conceptual grading and drainage plan that was approved on March 14, 2005 for the overall North Andalusia site. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
The +/-24.5 acre multifamily site will generate 96 cfs under newly developed conditions and consists of approximately 75% D land treatment. This flow will drain to the south, surface flow and underground storm drainage to a new retention pond located on Tract 8. The required volume for the retention pond has been calculated as 9.9 acre feet. In the event the 100 year storm were exceeded, a weir structure will allow the overflow to spill over the bank of the Lower Corrales Riverside Drain, so that the excess flow can be conveyed downstream.

V. CONCLUSION
The drainage management plan previously submitted and approved on March 14, 2005 for the Site Plan for Subdivision provides for grading and drainage elements which are capable of safely passing and retaining the 100 year storm and which meet city requirements. With this submission, we are requesting conceptual grading and drainage plan (Site Development Plan for Building Permit) approval.

NORTH ANDALUCIA MULTIFAMILY - TRACTS 4 & 6

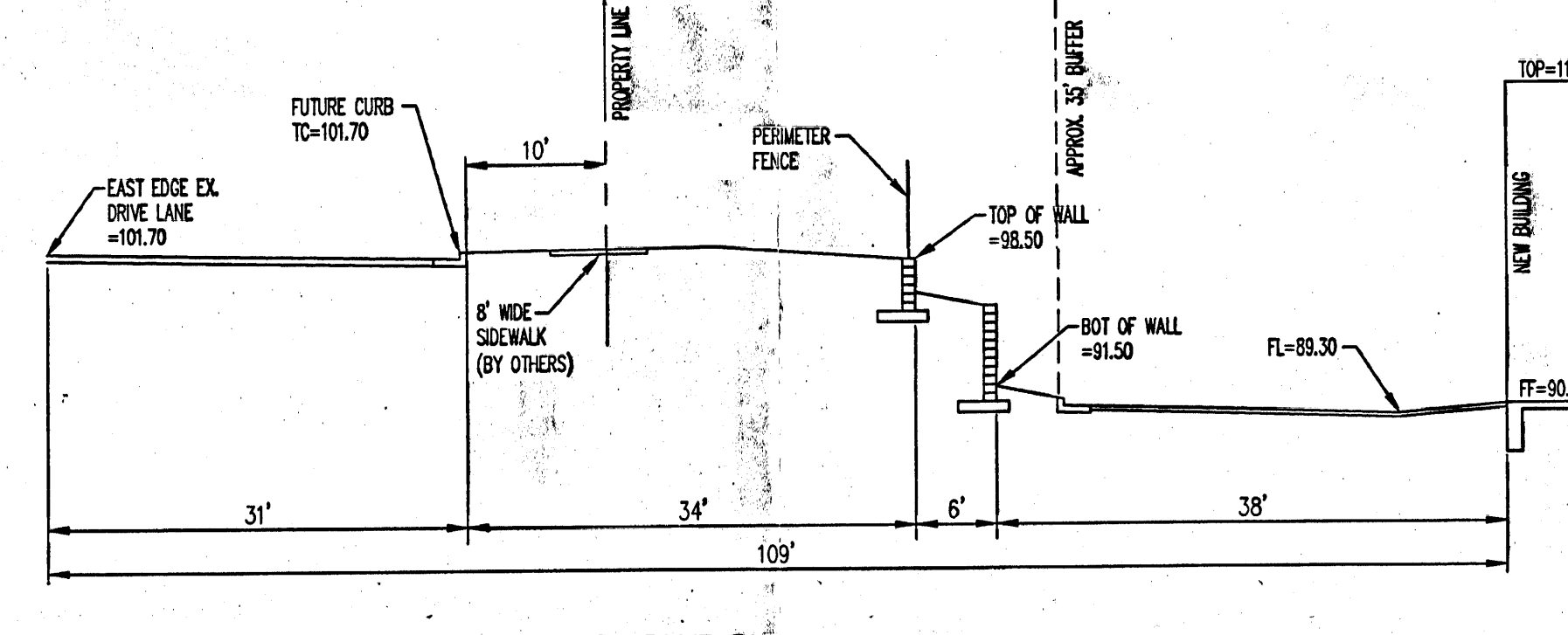
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1											
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WT E	V(100) ³⁶⁰	V(100) ⁴⁴⁰
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(csf)	(inches)	(CF)	(CF)
PROPOSED CONDITIONS											
A	335590	7.70	0.0%	5.0%	25.0%	70.0%	3.88	29.88	1.66	46423	55428
B	267219	6.13	0.0%	5.0%	20.0%	75.0%	3.95	24.25	1.71	38056	45739
C	243910	5.60	0.0%	5.0%	20.0%	75.0%	3.95	22.13	1.71	34737	41749
D	182182	4.18	0.0%	5.0%	20.0%	75.0%	3.95	16.53	1.71	25946	31183
TOTAL	1028901	23.62	-	-	-	-	3.93	92.79	6.79	145162	174100



SECTION 'A-A'

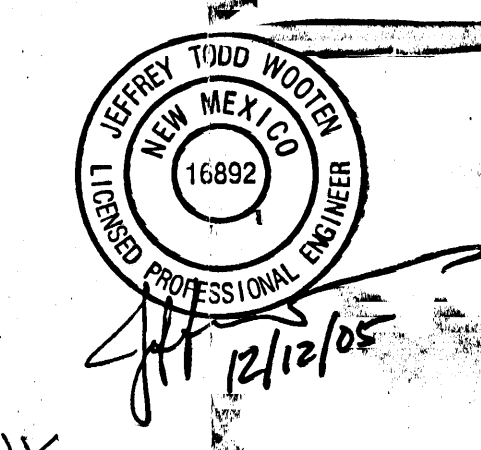
ALTHOUGH THE SECTION IS NOT TO SCALE, THE HORIZONTAL AND VERTICAL PLANES ARE PROPORTIONATELY 1:1.



SECTION 'B-B'

ALTHOUGH THE SECTION IS NOT TO SCALE, THE HORIZONTAL AND VERTICAL PLANES ARE PROPORTIONATELY 1:1.

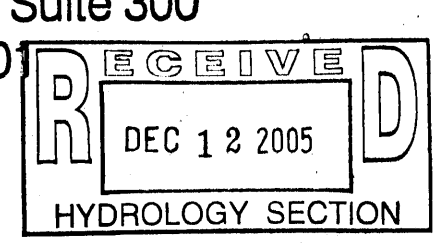
Basin D needs Inlets in Learning Rd. & Properly Place Sidewalk & Drains or Drain Into Basins B & C



North Andalusia at Ca Cuz

Tract 4 & 6 - Conceptual Grading Plan

Prepared for:
Aegis Realty Group LLC
15305 N. Dallas Parkway, Suite 300
Addison, TX 75001



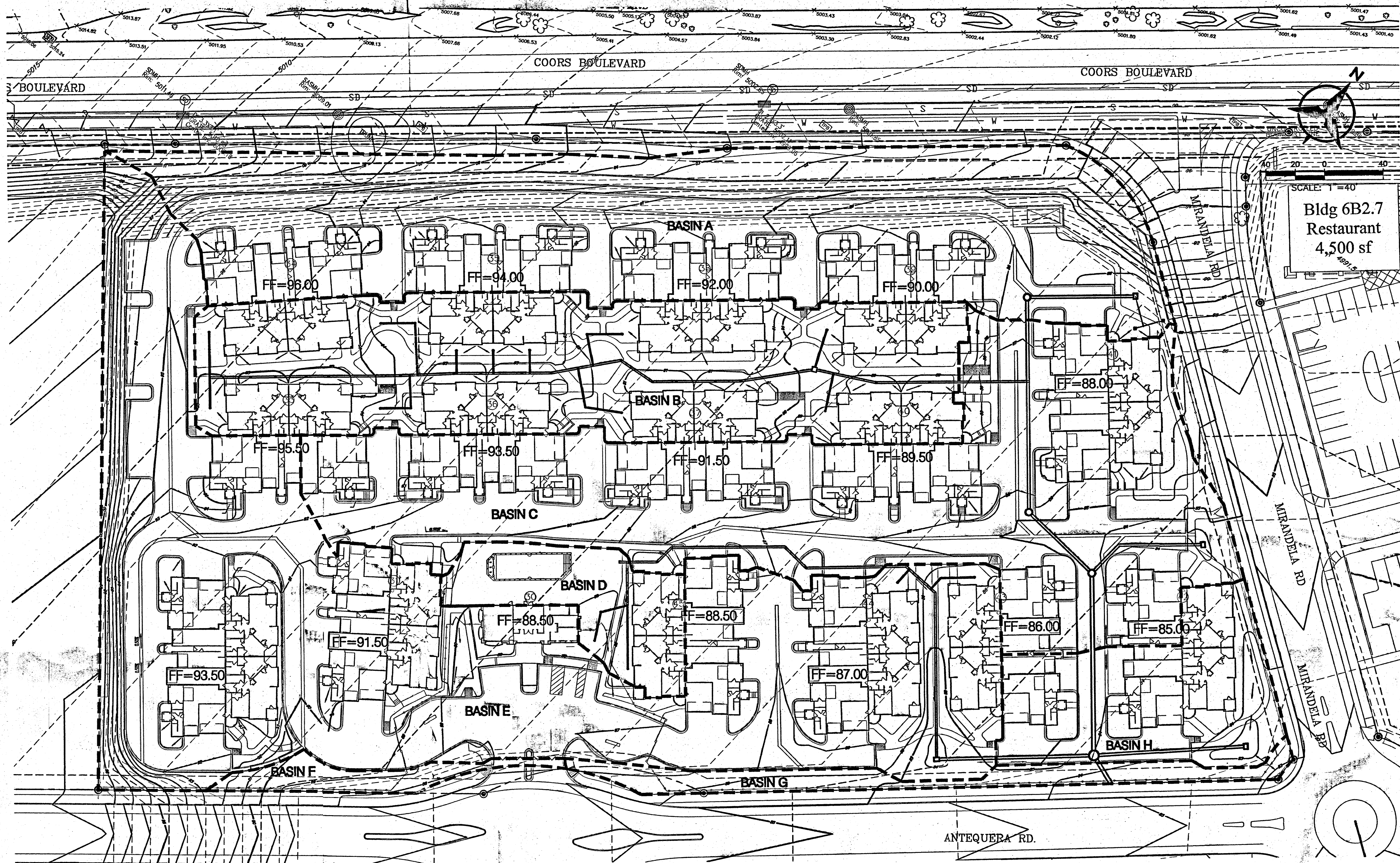
Humphreys and Partners Architects, L.P.
2520 ALPHEA ROAD DALLAS, TEXAS 75228-9721 972.3434

Bohannon & Huston
Courtney | 7800 Jefferson St. NE Albuquerque, NM 87109
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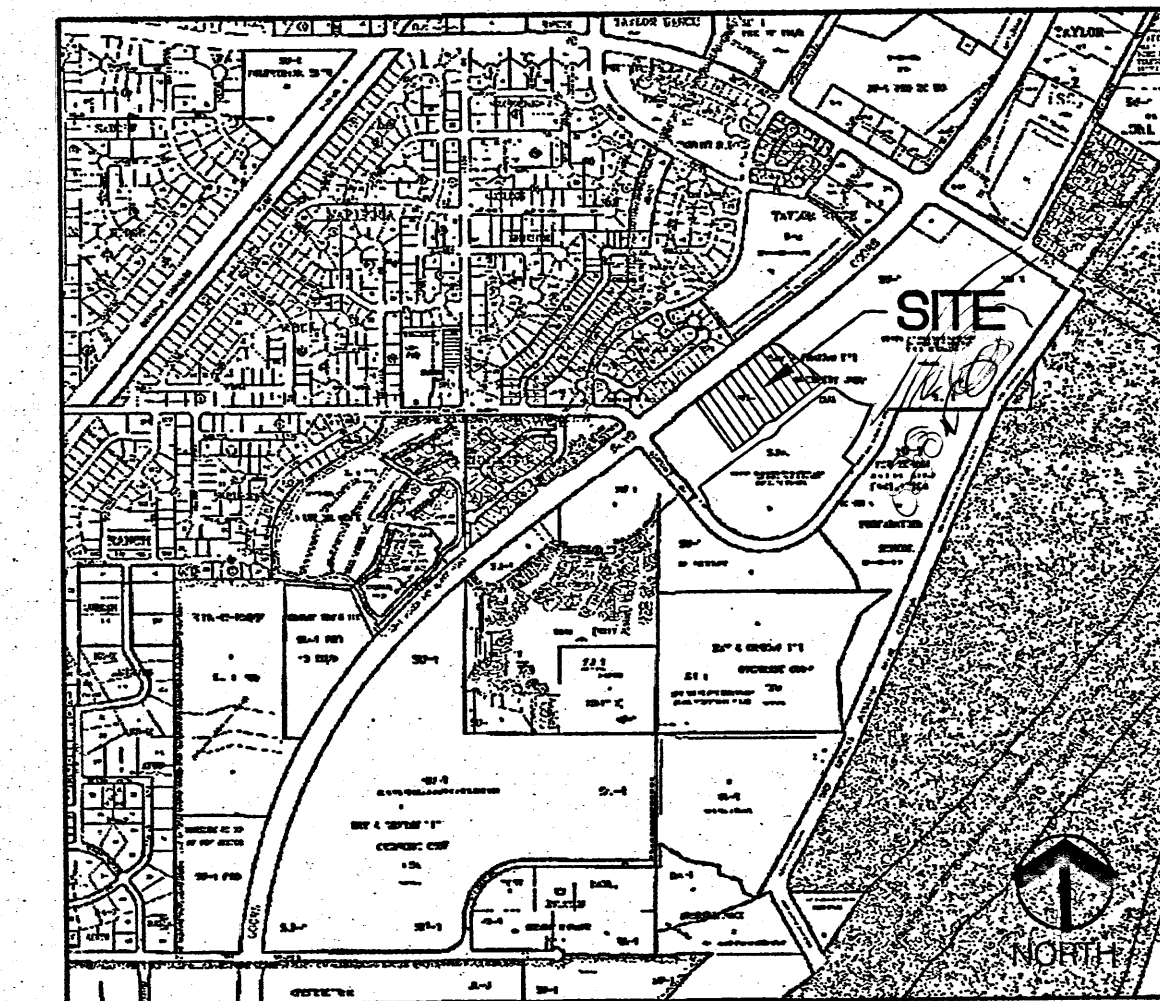
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

October 6, 2005

Sheet 3 of 10



SITE VICINITY



ZONE ATLAS F-11, F-12

LEGAL DESCRIPTION
TRACTS 4 & 5 OF NORTH ANDALUCIA AT LA LUZ
ALBUQUERQUE, NM, OCTOBER, 2005

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to provide a Drainage Management Plan for the proposed multifamily development of North Andalusia located at the NE Corner of Learning Road and Coors Boulevard. This sheet contains Tract 4 of North Andalusia at La Luz.

II. SITE LOCATION

The site is currently legally described as North Andalusia, Tract 4 (+/-7.6 ac.). The site is bounded by Coors Boulevard to the west, Mirandela Road to the North, Learning Road to the south, and Antequera Road to the east. The site is located within zone atlas maps #E-12 and #F-12, and is within hydrologic zone 1.

III. EXISTING HYDROLOGIC CONDITIONS

The site is currently undeveloped. Existing flows are conveyed by surface drainage to the low lying areas at the Lower Corrales Riverside Drain. The land is low enough that the drainage does not overtop the Lower Corrales Riverside Drain and ponds at the east side of the site. Conveyance currently occurs via evapotranspiration and infiltration.

IV. PROPOSED HYDROLOGIC CONDITIONS

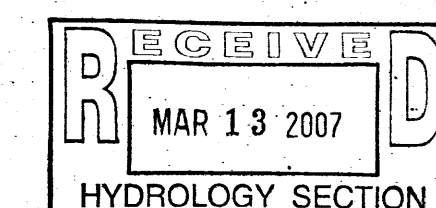
The proposed conditions for North Andalusia Tract 4 has been shown on the basin map/conceptual grading and drainage plan that was approved on April 10, 2006 for the overall North Andalusia site. The hydrology analysis for this area is based on drainage requirements for the 100-yr. 6-hr storm event.

The +/-7.6 acre multifamily site will generate 29.48 cfs under newly developed conditions and consists of approximately 70% D land treatment. This flow will drain to the northeast via surface flow and underground storm drainage to a new retention pond located on Tract 9. The required volume for the retention pond has been calculated as 7.2 acre feet. In the event the 100 year storm is exceeded, the overflow spills over to the Bosque School site located to the south, such that the excess flow can be conveyed downstream.

V. CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. The downstream ponds were designed to safely handle the 100-year, six hour storm. With this submittal, we are requesting final grading and drainage plan approval for building permit.

NORTH ANDALUCIA MULTIFAMILY - TRACT 4										
Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 1										
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (Inches)	V(100) ₉₆₀ (CF)
			A	B	C	D				V(100) ₁₄₄₀ (CF)
PROPOSED CONDITIONS										
A	70026	1.61	0.0%	5.0%	25.0%	70.0%	3.88	6.23	1.66	9687
B	50094	1.15	0.0%	5.0%	25.0%	70.0%	3.88	4.46	1.66	6930
C	71880	1.65	0.0%	5.0%	25.0%	70.0%	3.88	6.40	1.66	9943
D	9707	0.22	0.0%	5.0%	25.0%	70.0%	3.88	0.86	1.66	1343
E	102979	2.36	0.0%	5.0%	25.0%	70.0%	3.88	9.17	1.66	14245
F	3166	0.07	0.0%	5.0%	25.0%	70.0%	3.88	0.28	1.66	438
G	6405	0.15	0.0%	5.0%	25.0%	70.0%	3.88	0.57	1.66	886
H	16910	0.39	0.0%	5.0%	25.0%	70.0%	3.88	1.51	1.66	2339
TOTAL	331167	7.60	-	-	-	-	3.88	29.48	13.28	45811



Bohannon & Fuston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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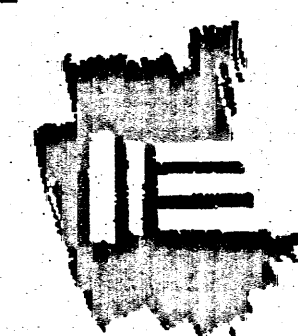
PERMIT SET

MANSIONS AT ANDALUCIA NORTH
CONDOMINIUMS
ALBUQUERQUE, NEW MEXICO



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ARCHITECTS, L.P.

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(972) 701-8638 • (972) 701-0041 FAX
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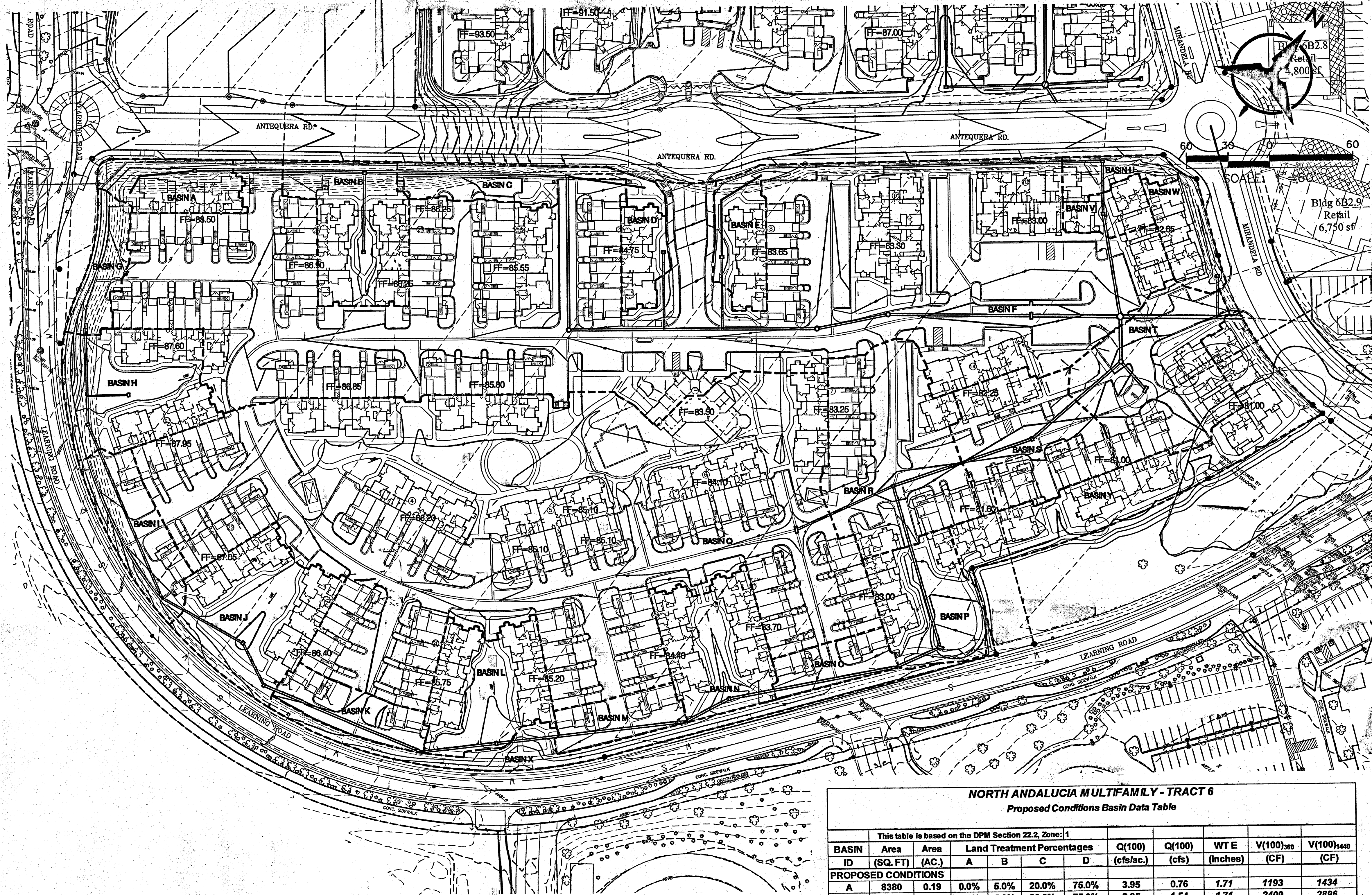


SHEET CONTENTS:
TRACT 4 DRAINAGE
MANAGEMENT PLAN

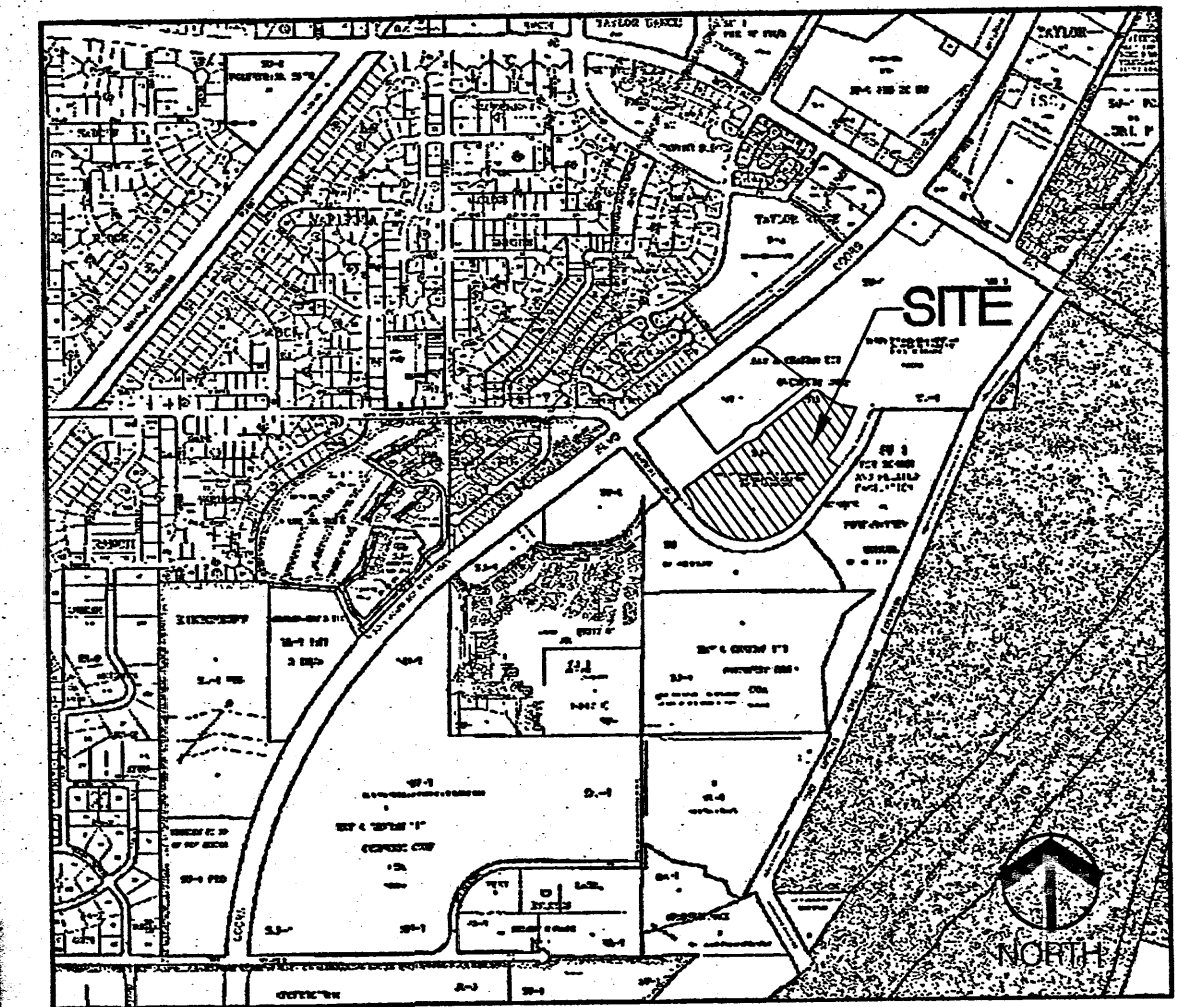
SHEET NO.

C2.01

05216



SITE VICINITY



ZONE ATLAS F-11, F-12

LEGAL DESCRIPTION
TRACTS 4 & 6 OF NORTH ANDALUCIA AT LA LUZ
ALBUQUERQUE, NM, OCTOBER, 2005

Designed by: **AN**
Drawn by: **JDK**
Architect of Record: **Michael Cox**
Date Plotted: **2/12/07**

Issue for Pricing / Bidding:
Issue for Permit Application:
Issue for Construction:

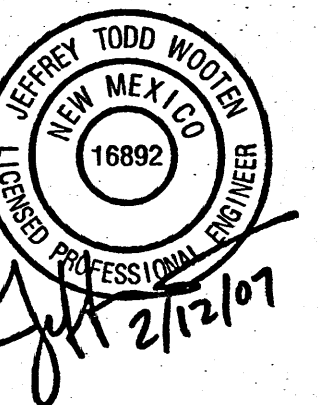
Revisions:

#	DATE	COMMENTS

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**MANIONS AT ANDALUCIA NORTH
CONDOMINIUMS**
ALBUQUERQUE, NEW MEXICO



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ARCHITECTS, L.P.**

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(972) 701-9898
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SHEET CONTENTS:
TRACT 6 DRAINAGE
MANAGEMENT PLAN

SHEET NO.

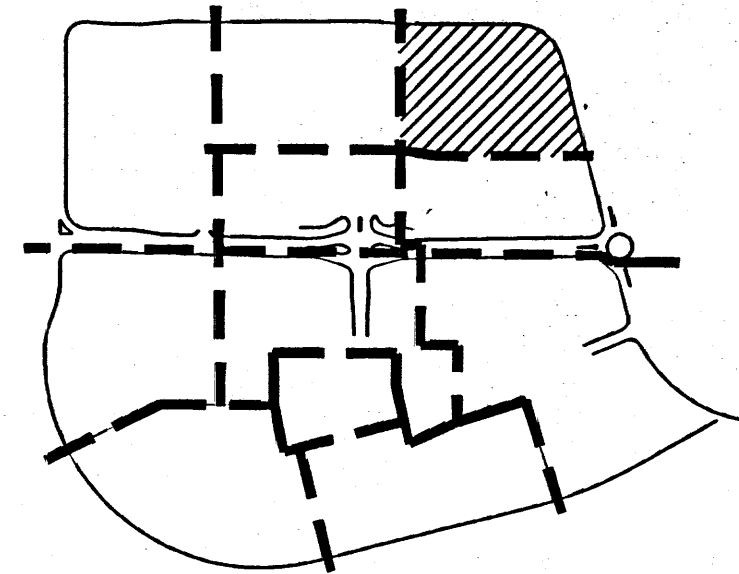
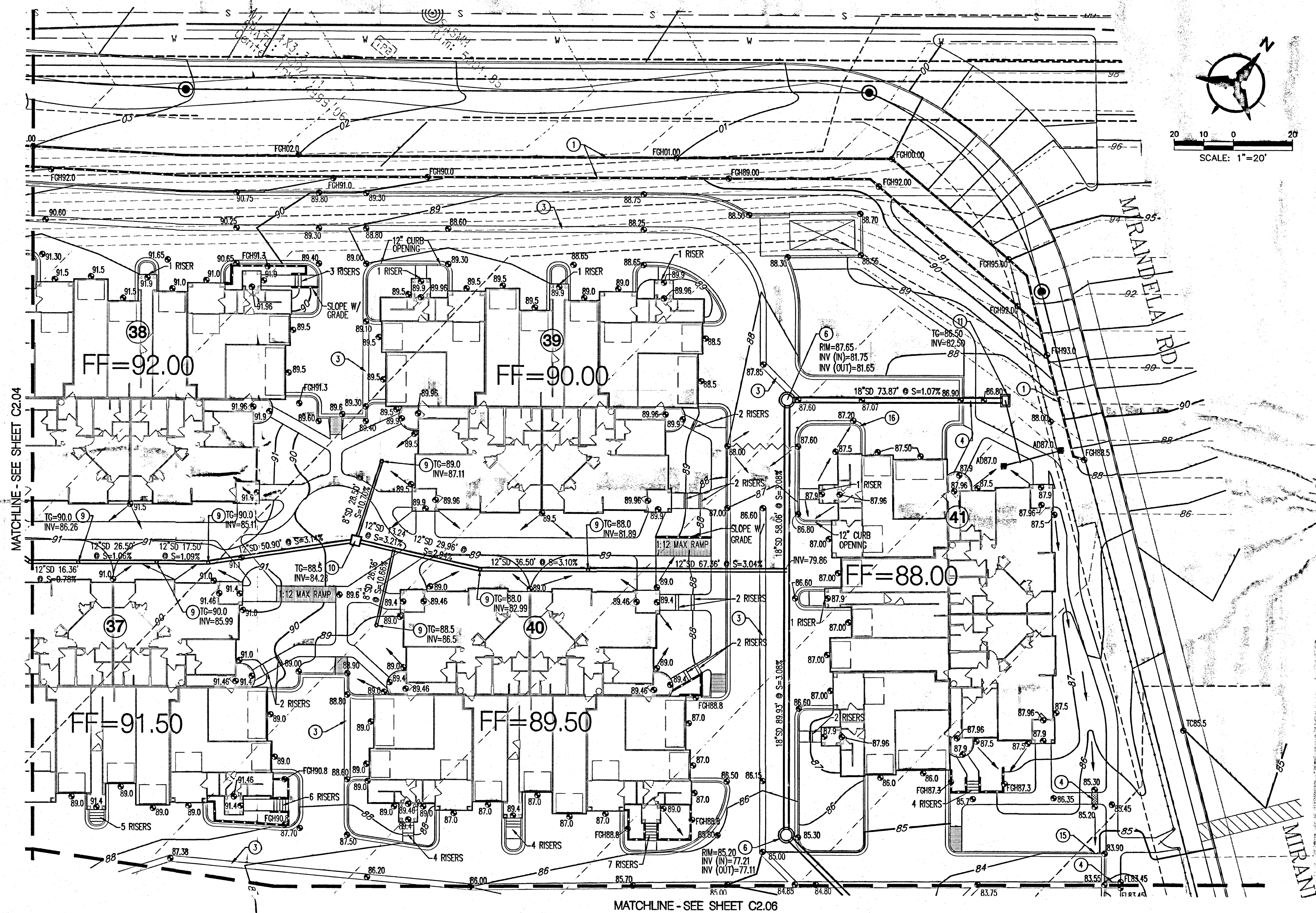
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PERMIT SET

C2.02

05216

NORTH ANDALUCIA MULTIFAMILY - TRACT 6										
Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 1										
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WTE (Inches)	V(100) ³⁶⁰ (CF)
			A	B	C	D				V(100) ¹⁴⁴⁰ (CF)
PROPOSED CONDITIONS										
A	8380	0.19	0.0%	5.0%	20.0%	75.0%	3.95	0.76	1.71	1193
B	16918	0.39	0.0%	5.0%	20.0%	75.0%	3.95	1.54	1.71	2409
C	9300	0.21	0.0%	5.0%	20.0%	75.0%	3.95	0.84	1.71	1324
D	5027	0.12	0.0%	5.0%	20.0%	75.0%	3.95	0.46	1.71	716
E	8827	0.20	0.0%	5.0%	20.0%	75.0%	3.95	0.80	1.71	1257
F	207424	4.76	0.0%	5.0%	20.0%	75.0%	3.95	18.82	1.71	29541
G	6065	0.14	0.0%	5.0%	20.0%	75.0%	3.95	0.55	1.71	864
H	18983	0.44	0.0%	5.0%	20.0%	75.0%	3.95	1.72	1.71	2703
I	10675	0.25	0.0%	5.0%	20.0%	75.0%	3.95	0.97	1.71	1520
J	20343	0.47	0.0%	5.0%	20.0%	75.0%	3.95	1.85	1.71	2897
K	7653	0.18	0.0%	5.0%	20.0%	75.0%	3.95	0.89	1.71	1090
L	15719	0.36	0.0%	5.0%	20.0%	75.0%	3.95	1.43	1.71	2239
M	6404	0.15	0.0%	5.0%	20.0%	75.0%	3.95	0.58	1.71	912
N	15295	0.35	0.0%	5.0%	20.0%	75.0%	3.95	1.39	1.71	2178
O	5904	0.14	0.0%	5.0%	20.0%	75.0%	3.95	0.54	1.71	841
P	14075	0.32	0.0%	5.0%	20.0%	75.0%	3.95	1.28	1.71	2005
Q	188546	4.33	0.0%	5.0%	20.0%	75.0%	3.95	17.11	1.71	26852
R	28879	0.66	0.0%	5.0%	20.0%	75.0%	3.95	2.82	1.71	4113
S	19427	0.45	0.0%	5.0%	20.0%	75.0%	3.95	1.76	1.71	2767
T	23302	0.53	0.0%	5.0%	20.0%	75.0%	3.95	2.11	1.71	3319
U	4234	0.10	0.0%	5.0%	20.0%	75.0%	3.95	0.38	1.71	603
V	4363	0.10	0.0%	5.0%	20.0%	75.0%	3.95	0.40	1.71	621
W	6768	0.16	0.0%	5.0%	20.0%	75.0%	3.95	0.61	1.71	964
X	12379	0.28	0.0%	5.0%	20.0%	75.0%	3.95	1.12	1.71	1763
Y	25274	0.58	0.0%	5.0%	20.0%	75.0%	3.95	2.29	1.71	3599
TOTAL	690164	15.84	-	-	-	-	3.95	62.63	42.73	98291
										118133



KEY

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED INDEX CONTOUR
- - - - - PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- TL = FLOWLINE
- TS = TOP OF SIDEWALK
- FGH = FINISHED GROUND HIGH SIDE
- FGL = FINISHED GROUND LOW SIDE

KEYED NOTES

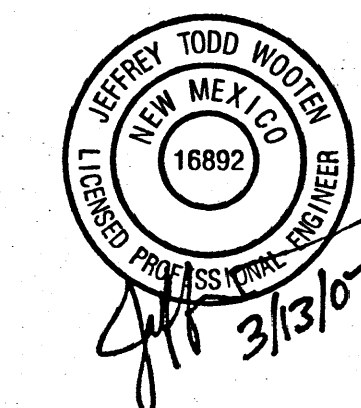
1. MASONRY RETAINING WALL
2. STORM DRAIN (BY OTHERS)
3. 24\"/>

NOTE:
ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT / FLOWLINE UNLESS OTHERWISE SPECIFIED. IN THE EVENT QUESTIONS ARISE, CONTACT THE ENGINEER.

Designed by:	JTW	
Drawn by:	RWB	
Architect of Record:	Michael Cox	
Date Plotted:	3/12/07	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
3/10/08		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

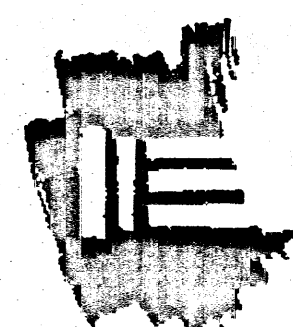
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MANSIONS AT ANDALUCIA NORTH
CONDOMINIUMS
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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

SHEET NO.

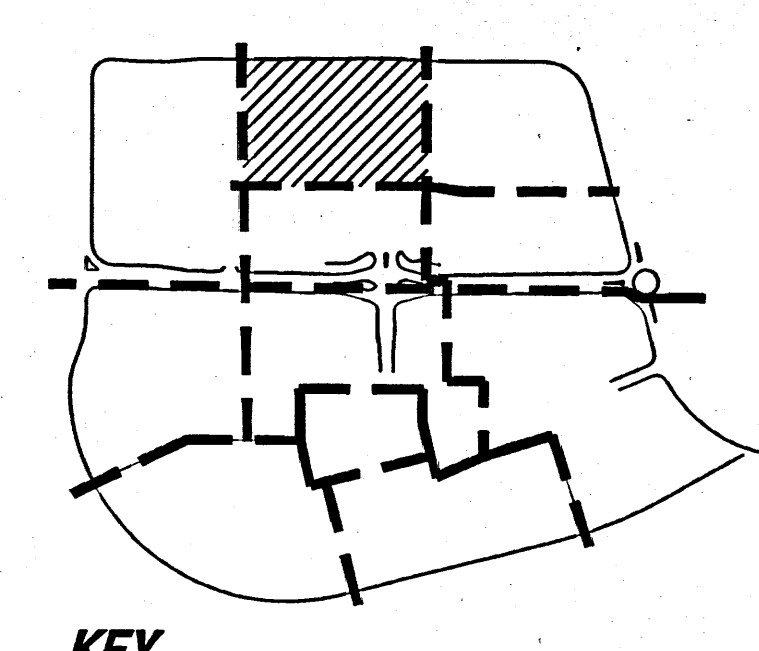
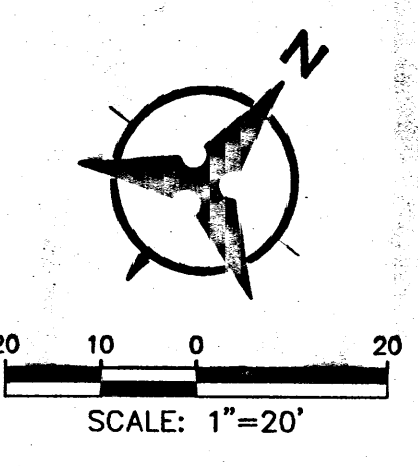
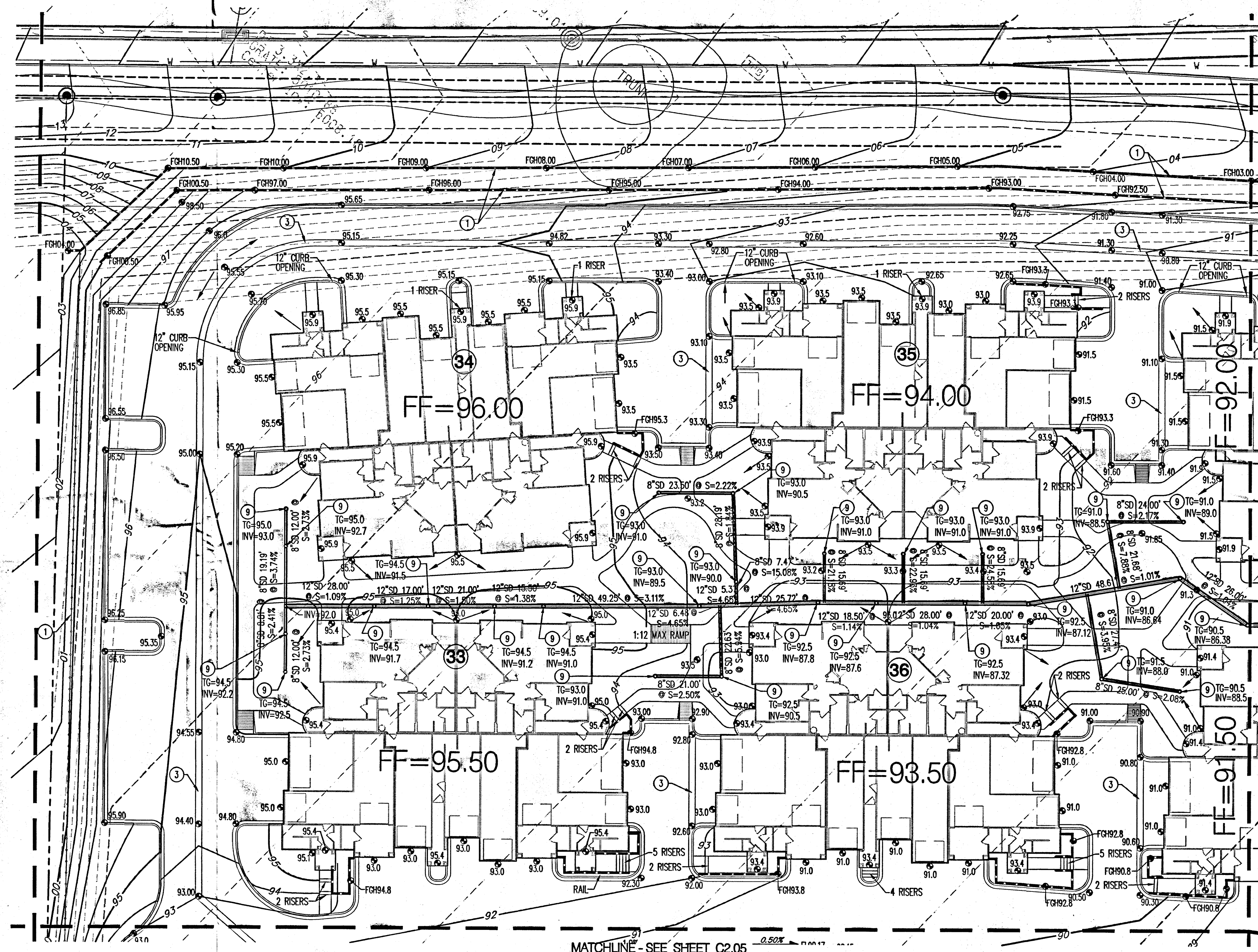
C2.03

05216

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PERMIT SET



- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOUR
 - - - - - PROPOSED INDEX CONTOUR
 - - - - - PROPOSED INTERMEDIATE CONTOUR
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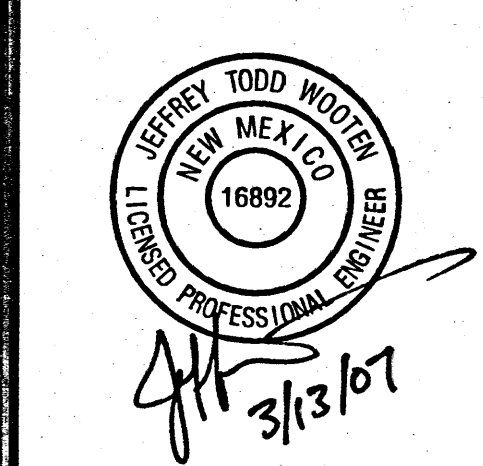
- KEYED NOTES**
1. MASONRY RETAINING WALL
 2. STORM DRAIN (BY OTHERS)
 3. 24" VALLEY GUTTER PER COA Std Dwg 2422
 4. 24" SIDEWALK CULVERT PER COA Std Dwg 2236
 5. 24" CONCRETE RUNDOWN PER DETAIL, SHEET C4.01
 6. 4" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 7. 6" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 8. 8" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 9. 12" AREA DRAIN
 10. 24" AREA DRAIN
 11. SINGLE TYPE "D" INLET PER COA Std Dwg 2206
 12. DOUBLE TYPE "D" INLET PER COA Std Dwg 2206
 13. TYPE "A" INLET PER COA Std Dwg 2201
 14. 12" SIDEWALK CULVERT PER COA Std Dwg 2236
 15. 24" CURB OPENING
 16. 12" CURB OPENING

NOTE:
ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT / FLOWLINE UNLESS OTHERWISE SPECIFIED. IN THE EVENT QUESTIONS ARISE, CONTACT THE ENGINEER.

Designed by:	JTW	
Drawn by:	RWB	
Architect of Record:	Michael Cox	
Date Plotted:	3/12/07	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
3/10/06		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

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**MANSIONS AT ANDALUCIA NORTH
CONDOMINIUMS**
ALBUQUERQUE, NEW MEXICO



**HUMPHREYS & PARTNERS
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(972) 701-1636 • (972) 701-1041 FAX
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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

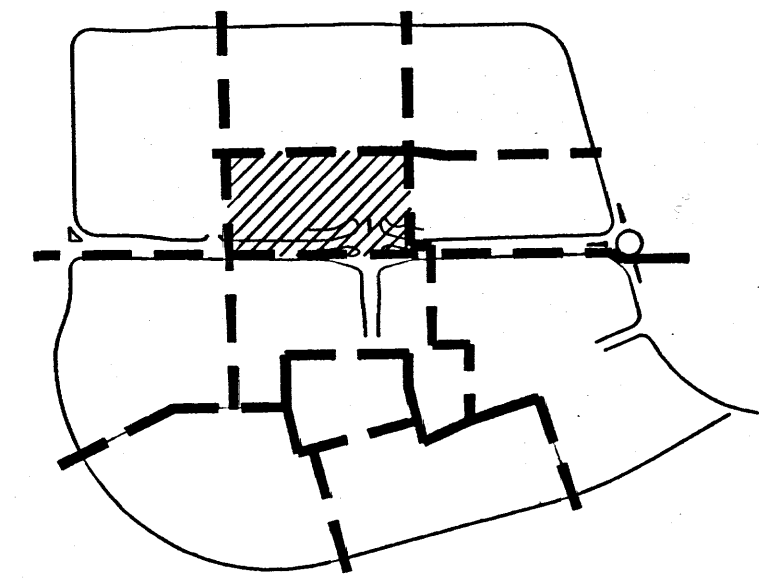
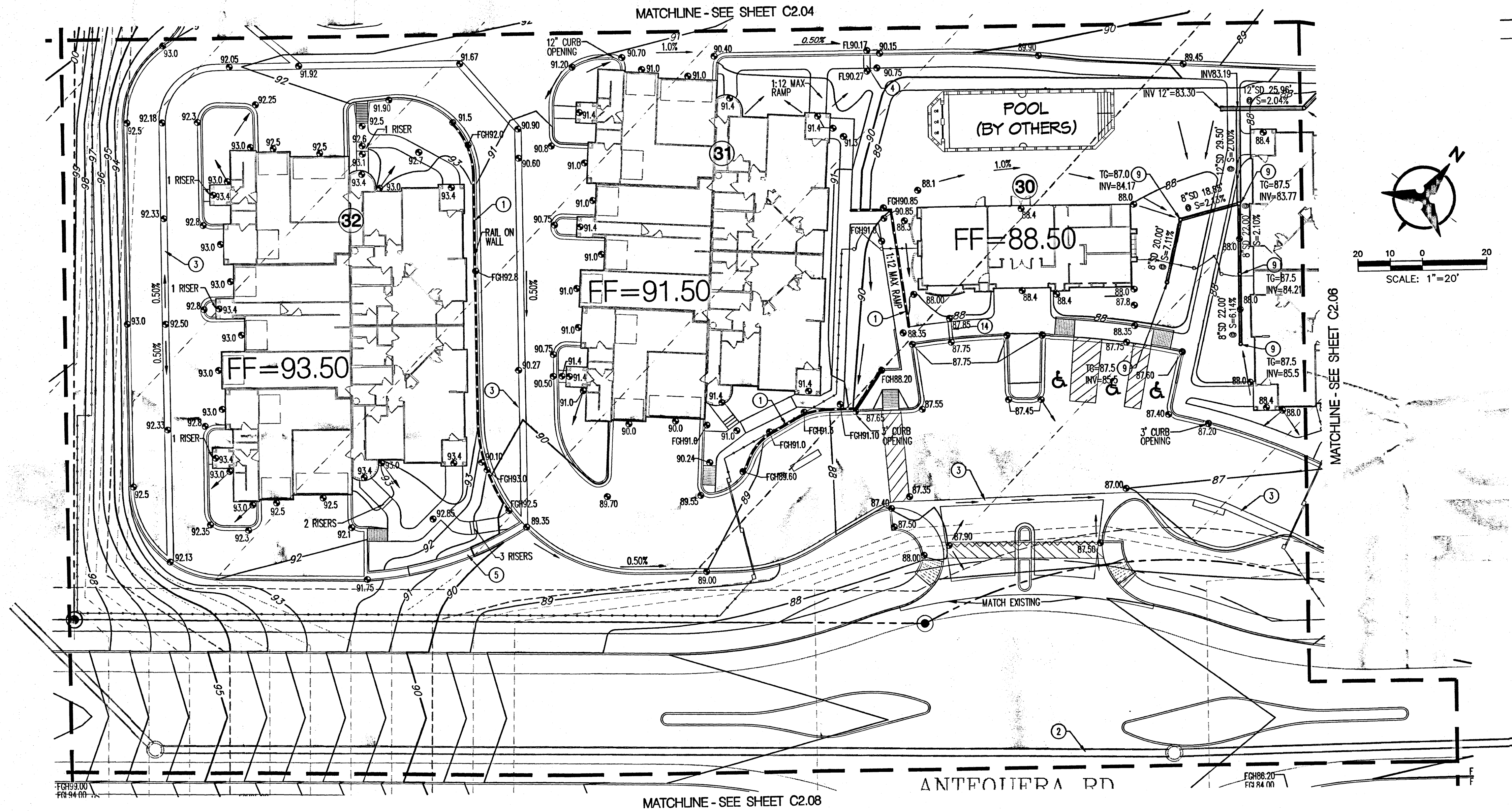
SHEET NO.

C2.04

05216

Bohannon & Huston
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PERMIT SET



- LEGEND**
- PROPERTY LINE
 - - - - -504.0- - - - - EXISTING CONTOUR
 - 35 — PROPOSED INDEX CONTOUR
 - 32 — PROPOSED INTERMEDIATE CONTOUR
 - ⊕ 32.40 EXISTING SPOT ELEVATION
 - ⊕ 32.40 PROPOSED SPOT ELEVATION
 - FL = FLOWLINE
 - TS = TOP OF SIDEWALK
 - FGH = FINISHED GROUND HIGH SIDE
 - FLS = FINISHED GROUND LOW SIDE

- KEYED NOTES**
1. MASONRY RETAINING WALL
 2. STORM DRAIN (BY OTHERS)
 3. 24" VALLEY GUTTER PER COA Std Dwg 2422
 4. 24" SIDEWALK CULVERT PER COA Std Dwg 2236
 5. 24" CONCRETE RUNDOWN PER DETAIL, SHEET C4.01
 6. 4" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 7. 6" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 8. 8" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
 9. 12" AREA DRAIN
 10. 24" AREA DRAIN
 11. SINGLE TYPE "D" INLET PER COA Std Dwg 2206
 12. DOUBLE TYPE "D" INLET PER COA Std Dwg 2206
 13. TYPE "A" INLET PER COA Std Dwg 2201
 14. 12" SIDEWALK CULVERT PER COA Std Dwg 2236
 15. 24" CURB OPENING
 16. 12" CURB OPENING

NOTE:
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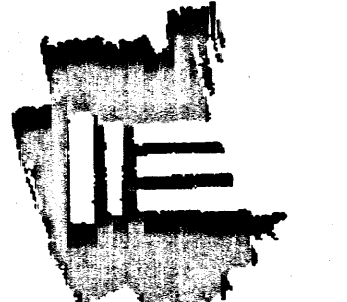
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Drawn by:	RWB	
Architect of Record:	Michael Cox	
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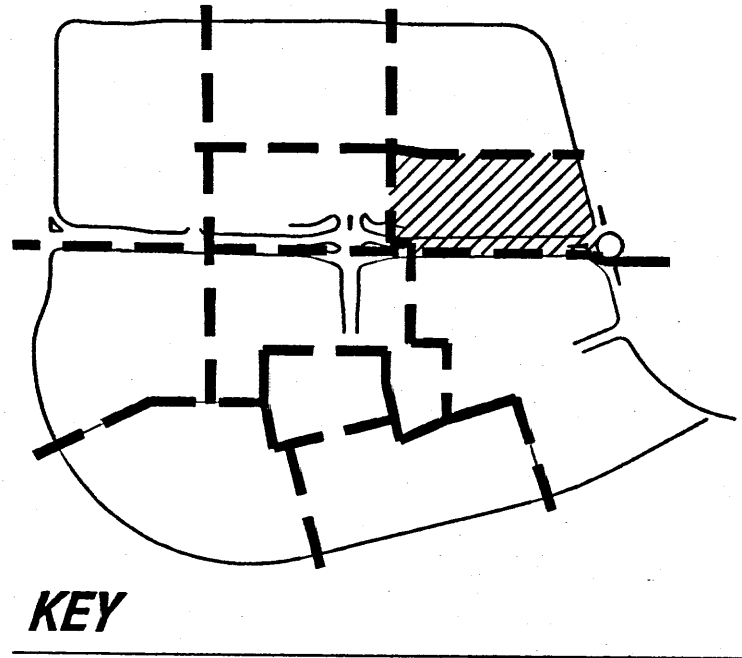
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DRAINAGE PLAN

SHEET NO.

C2.05

05216

Bohannon & Huston
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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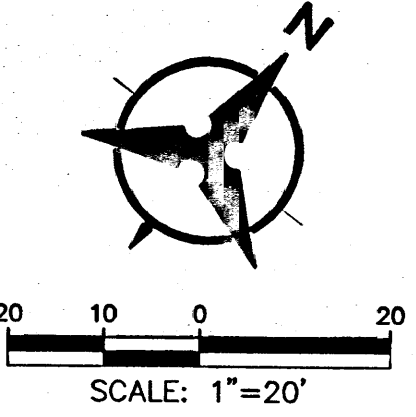
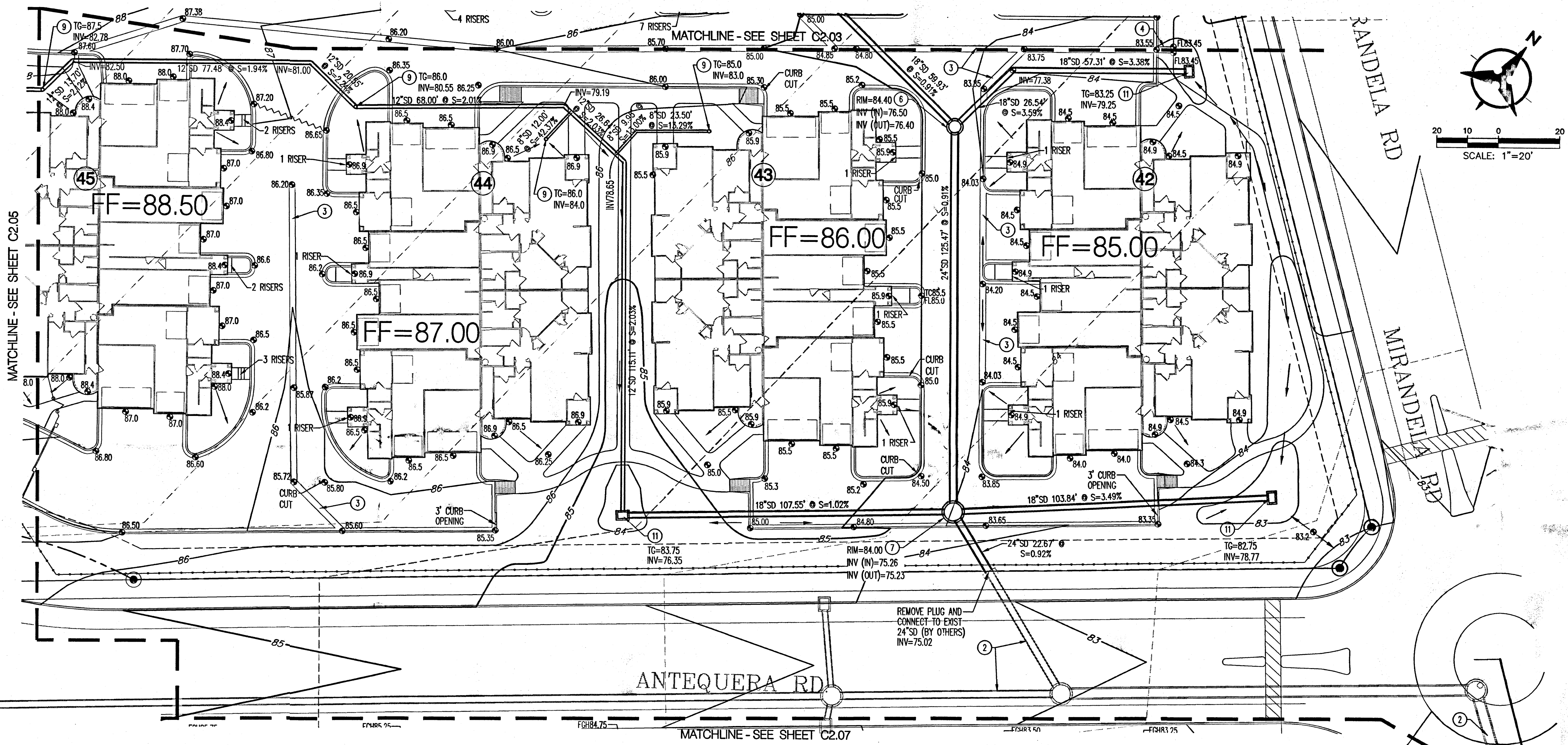


LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
●	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
FL	FINISHED GROUND LOW SIDE
TS	TOP OF SIDEWALK
FGH	FINISHED GROUND HIGH SIDE
FL	FINISHED GROUND LOW SIDE

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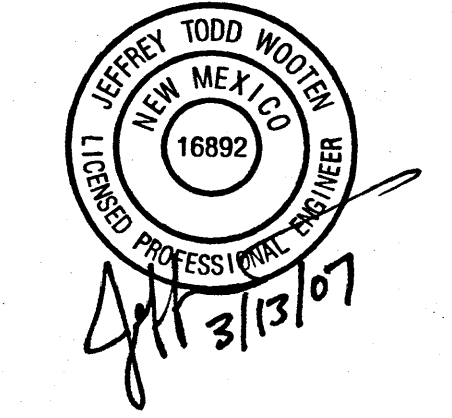


Designed by: JTW
 Drawn by: RWR
 Architect of Record: Michael Cox
 Date Plotted: 3/12/07
 Issue for Pricing / Bidding:
 Issue for Permit Application: 3/10/06
 Issue for Construction:
 Revisions:

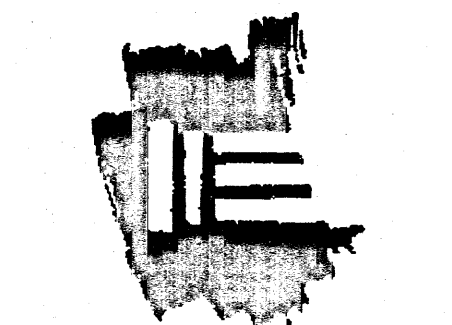
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MANSIONS AT ANDALUCIA NORTH CONDOMINIUMS
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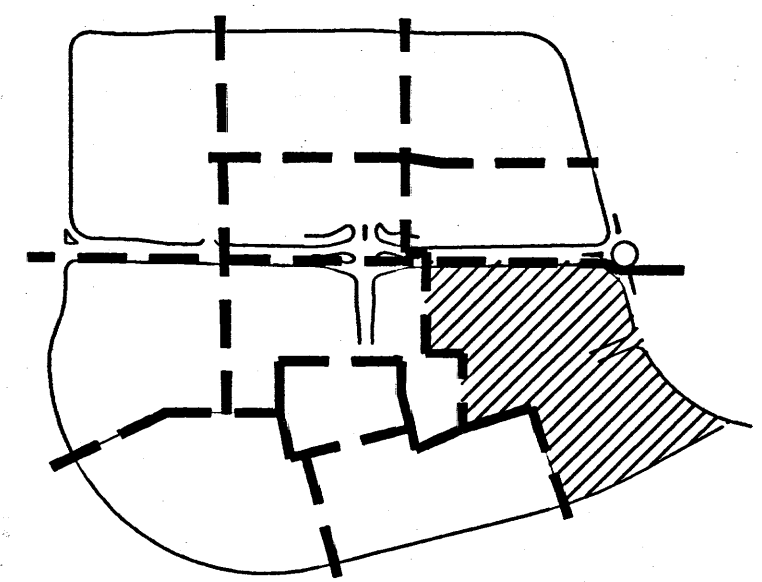
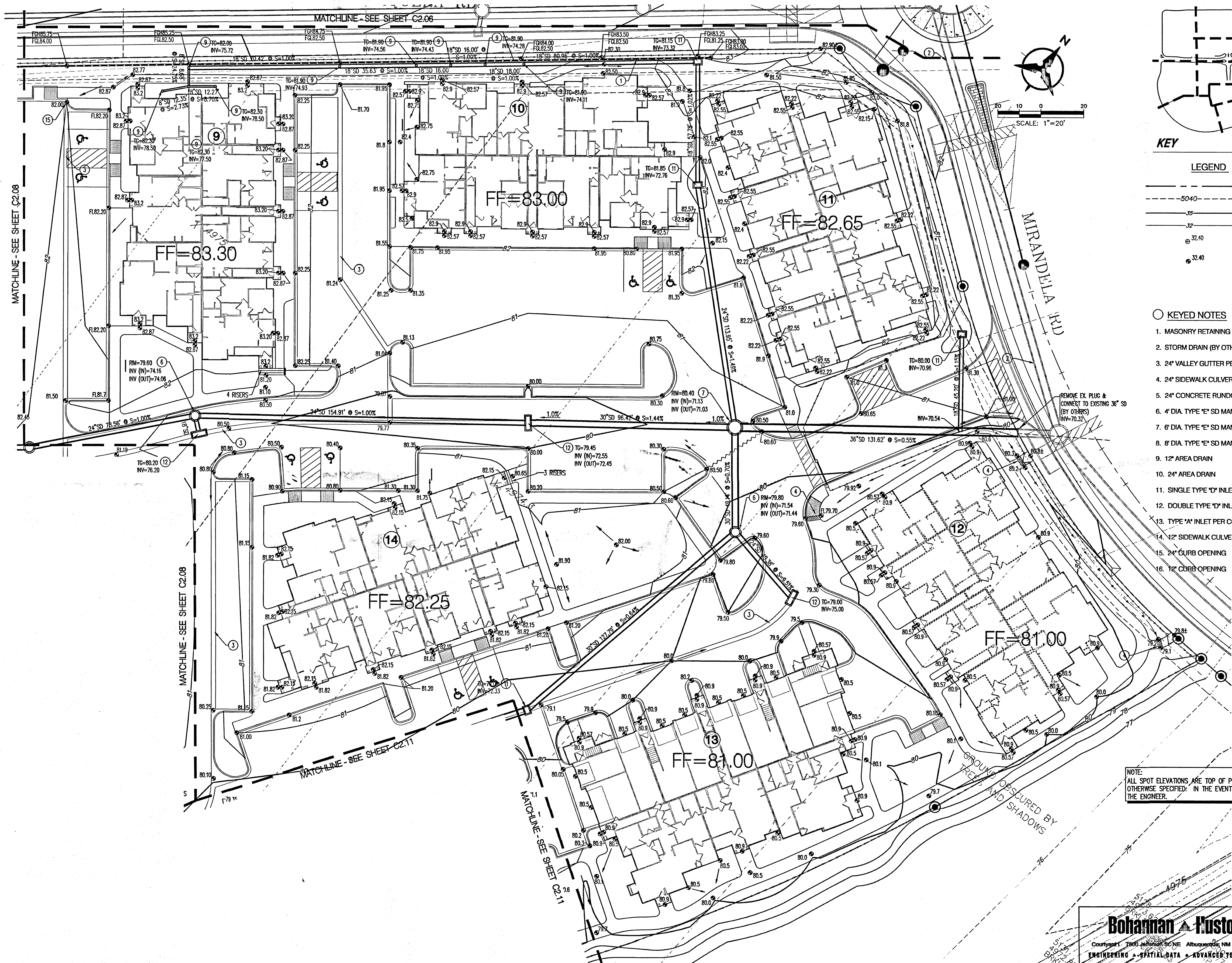


SHEET CONTENTS:
 GRADING & DRAINAGE PLAN
 SHEET NO.

C2.06
 05216

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 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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KEY

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED INDEX CONTOUR
- - - - - PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
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KEYED NOTES

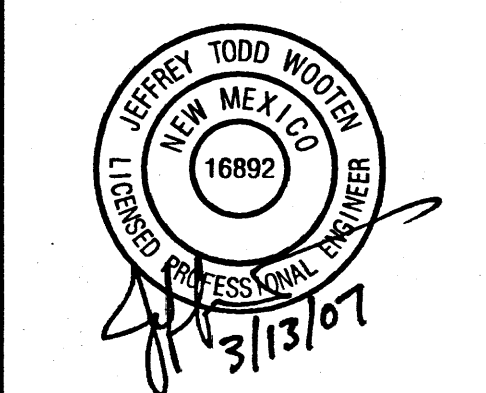
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NOTE:
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Designed by:	JTW	
Drawn by:	RWB	
Architect of Record:	Michael Cox	
Date Plotted:	3/12/07	
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3/10/06		
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Revisions:		
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CONDOMINIUMS**
ALBUQUERQUE, NEW MEXICO



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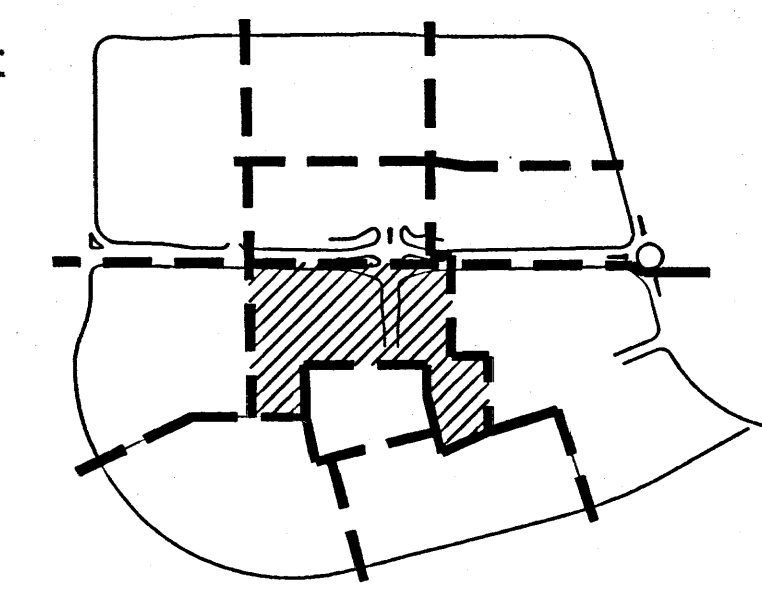
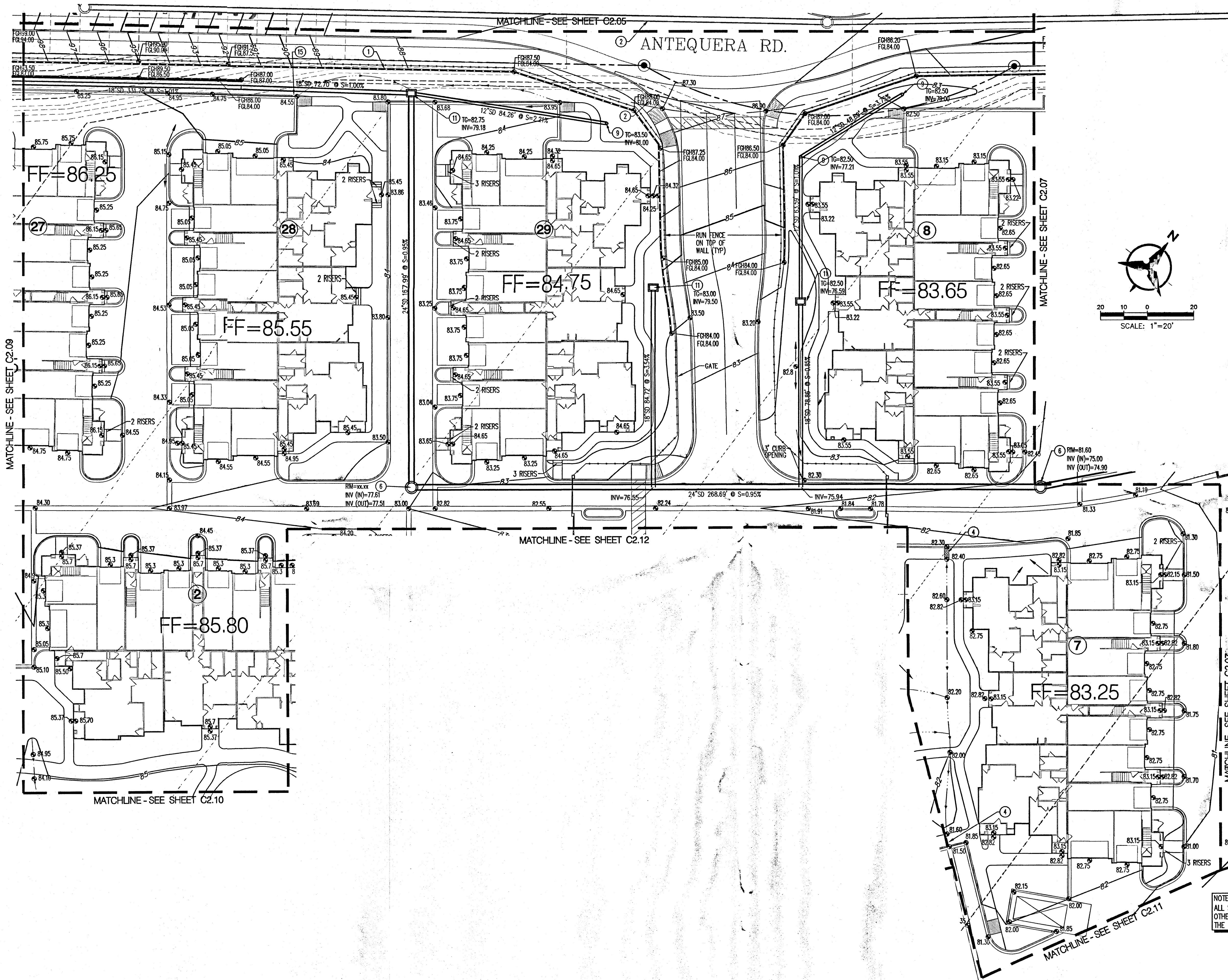
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GRADING &
DRAINAGE PLAN

SHEET NO.

C2.07

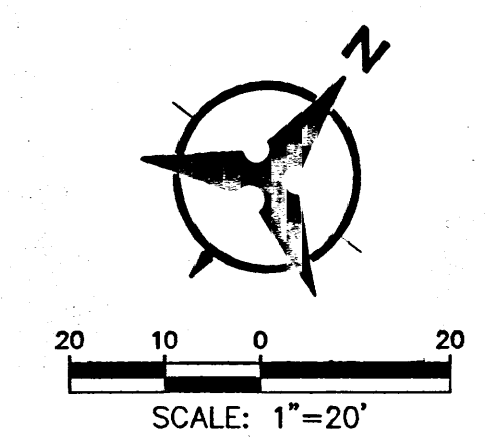
05216

Bohannon & Huston
COURTNEY L. BOHANNON, SCHE Albuquerque, NM 87109-4335
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KEY

---	PROPERTY LINE
- - - - -	EXISTING CONTOUR
- . - . -	PROPOSED INDEX CONTOUR
- - - - -	PROPOSED INTERMEDIATE CONTOUR
⊙ 32.40	EXISTING SPOT ELEVATION
⊙ 32.40	PROPOSED SPOT ELEVATION
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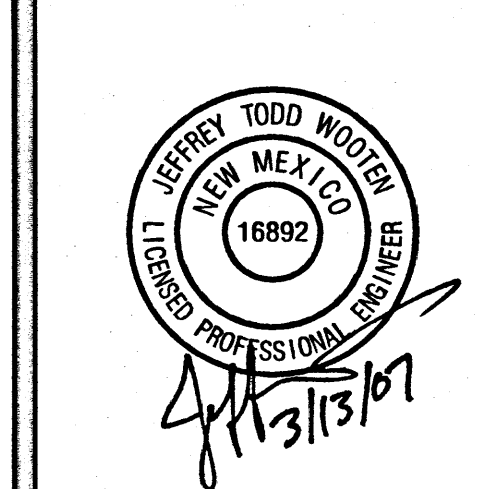
NOTE:
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Designed by: JTW
Drawn by: RWS
Architect of Record: Michael Cox
Date Plotted: 3/12/07

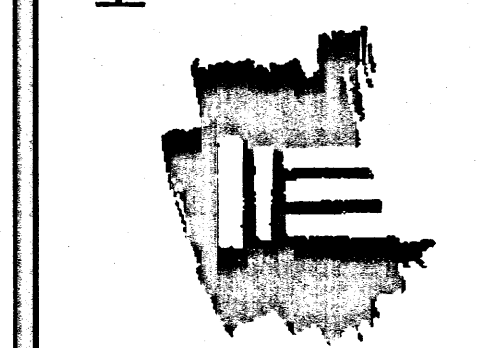
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3/10/06		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

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CONDOMINIUMS**
ALBUQUERQUE, NEW MEXICO



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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

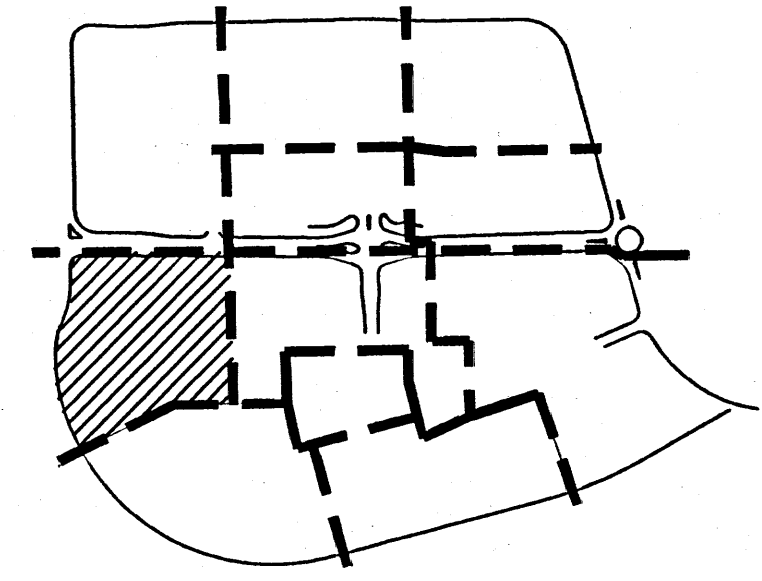
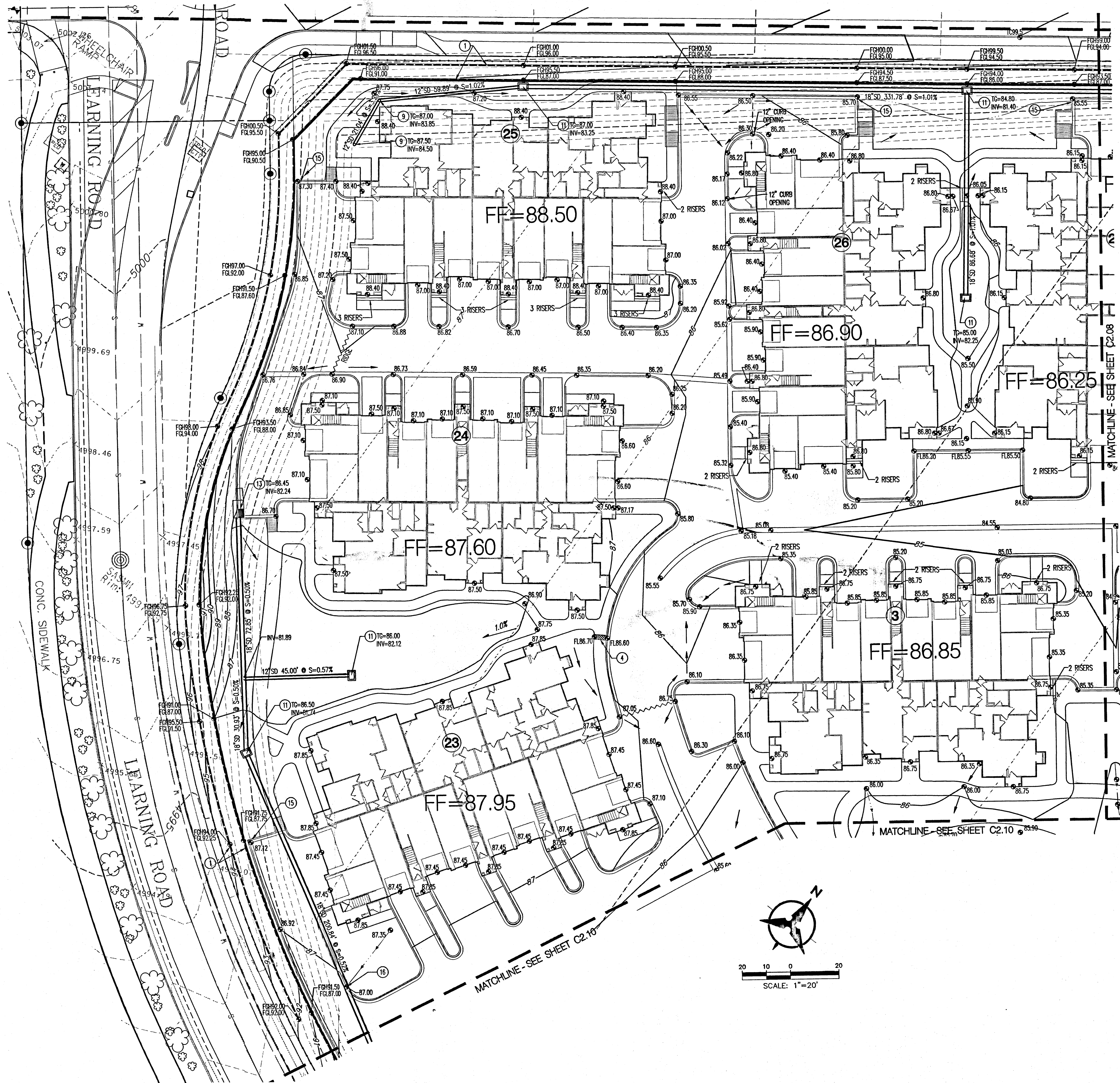
SHEET NO.

C2.08

05216

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PERMIT SET



KEY

LEGEND

- — — — — PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED INDEX CONTOUR
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KEYED NOTES

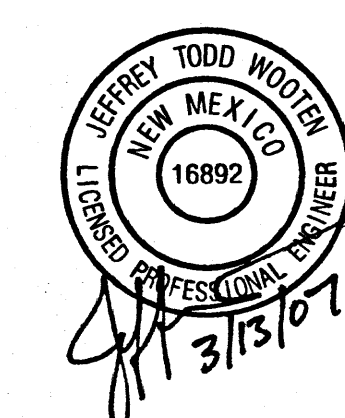
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Designed by:	ATW	
Drawn by:	RWB	
Architect of Record:	Michael Cox	
Date Plotted:	3/12/07	
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Issue for Permit Application:		
3/10/08		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

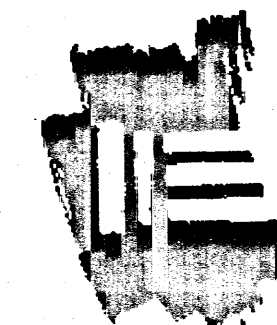
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ALBUQUERQUE, NEW MEXICO



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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

SHEET NO.

C2.09

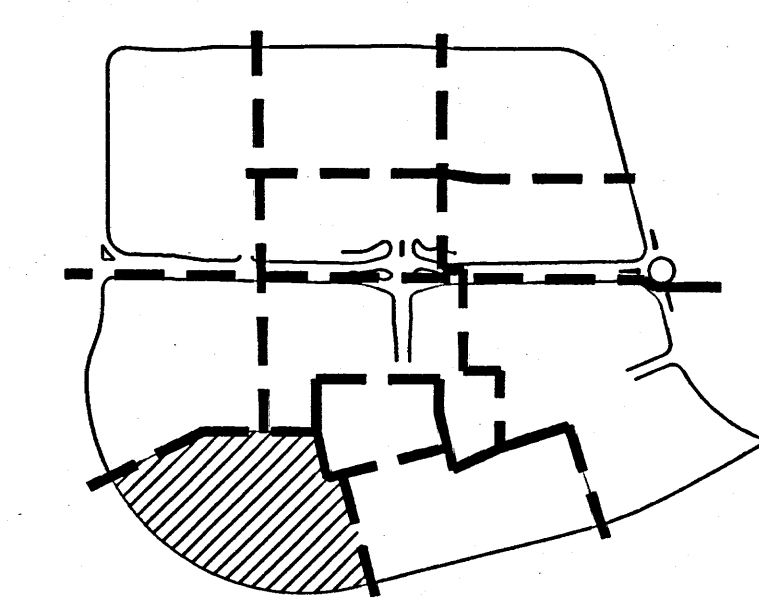
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PERMIT SET



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LEGEND

---	PROPERTY LINE
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Designed by: JTW
 Drawn by: RMB
 Architect of Record: Michael Cox
 Date Plotted: 3/12/07

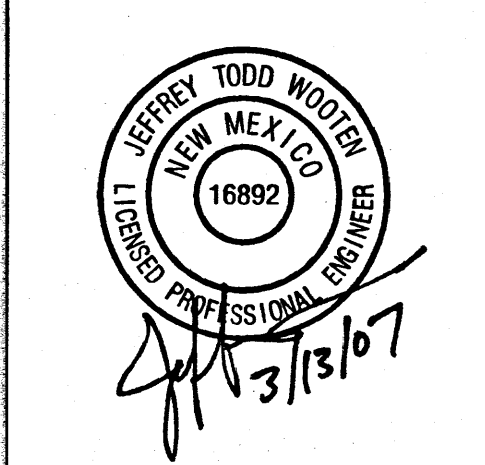
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 Issue for Construction:

Revisions:

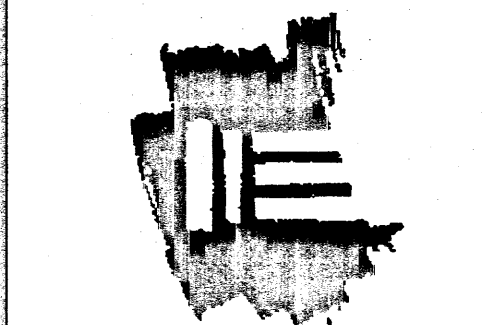
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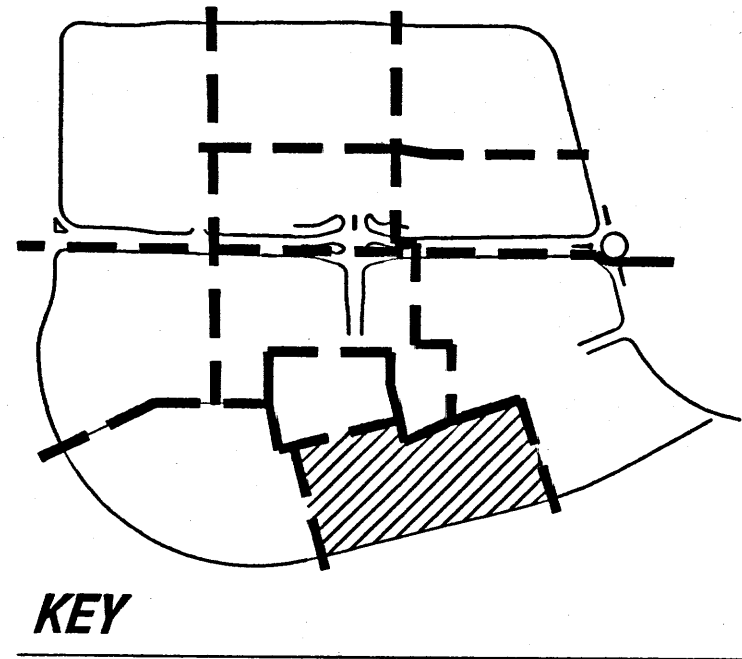
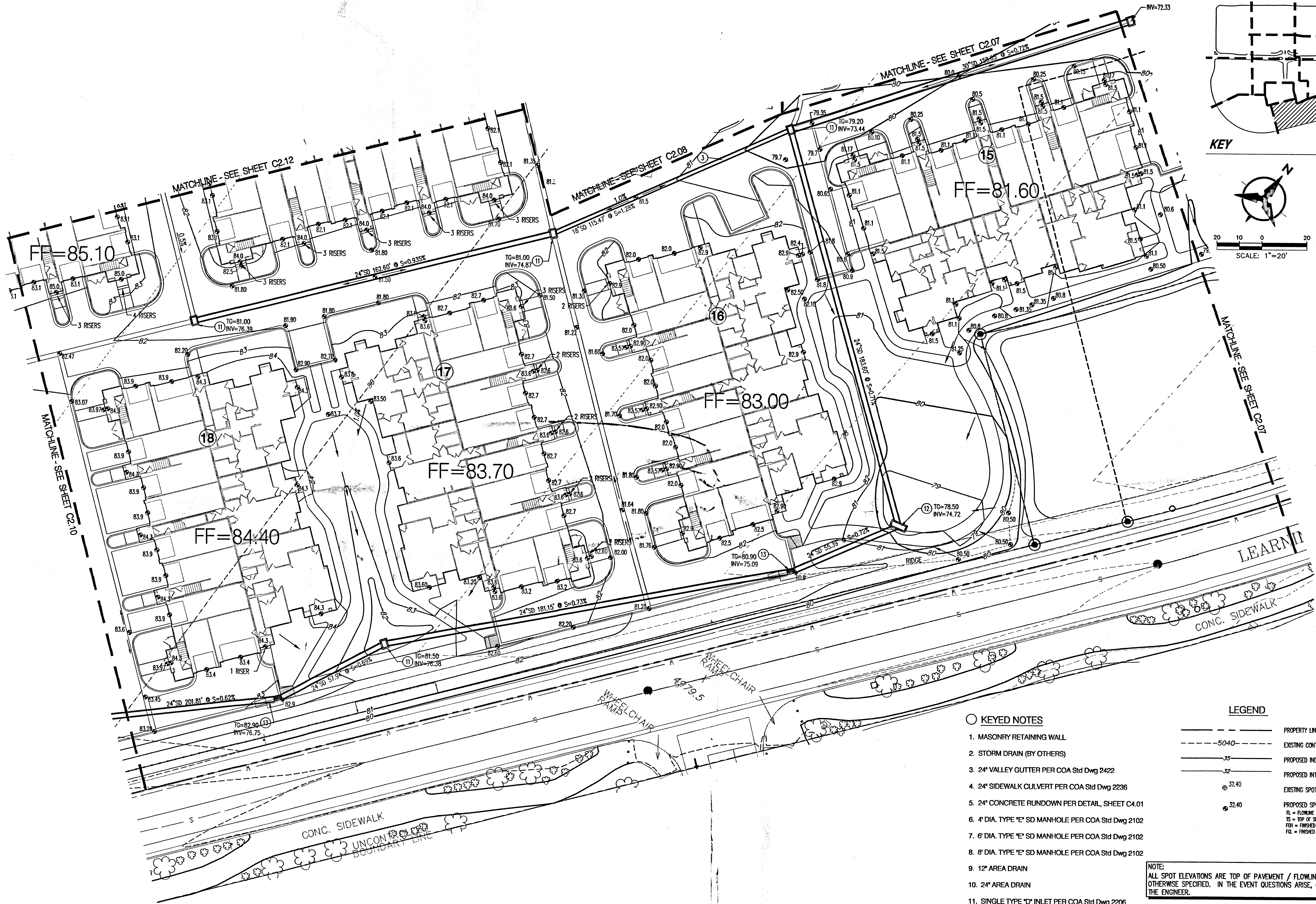
SHEET CONTENTS:
 GRADING &
 DRAINAGE PLAN

SHEET NO.

C2.10

05216

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



KEYED NOTES

1. MASONRY RETAINING WALL
2. STORM DRAIN (BY OTHERS)
3. 24" VALLEY GUTTER PER COA Std Dwg 2422
4. 24" SIDEWALK CULVERT PER COA Std Dwg 2236
5. 24" CONCRETE RUNDOWN PER DETAIL, SHEET C4.01
6. 4" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
7. 6" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
8. 8" DIA. TYPE "E" SD MANHOLE PER COA Std Dwg 2102
9. 12" AREA DRAIN
10. 24" AREA DRAIN
11. SINGLE TYPE "D" INLET PER COA Std Dwg 2206
12. DOUBLE TYPE "D" INLET PER COA Std Dwg 2206
13. TYPE "A" INLET PER COA Std Dwg 2201
14. 12" SIDEWALK CULVERT PER COA Std Dwg 2236
15. 24" CURB OPENING
16. 12" CURB OPENING

NOTE:
ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT / FLOWLINE UNLESS OTHERWISE SPECIFIED. IN THE EVENT QUESTIONS ARISE, CONTACT THE ENGINEER.

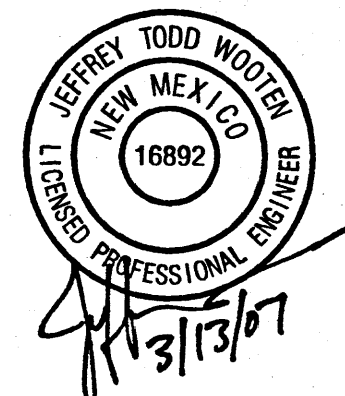
LEGEND

- — — — — PROPERTY LINE
- - - - - 5040 EXISTING CONTOUR
- - - - - 35 PROPOSED INDEX CONTOUR
- - - - - 32 PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FBI = FINISHED GROUND HIGH SIDE
- FEL = FINISHED GROUND LOW SIDE

Designed by:	JTW	
Drawn by:	RWB	
Architect of Record:	Michael Cox	
Date Plotted:	3/12/07	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
3/10/08		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

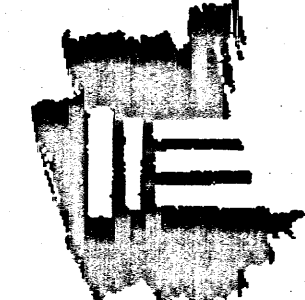
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**MANSIONS AT ANDALUCIA NORTH
CONDOMINIUMS**
ALBUQUERQUE, NEW MEXICO



**HUMPHREYS & PARTNERS
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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

SHEET NO.

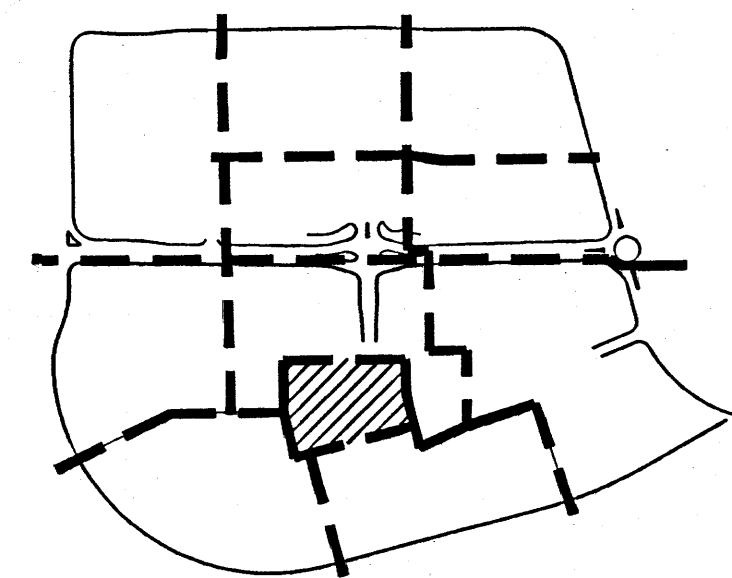
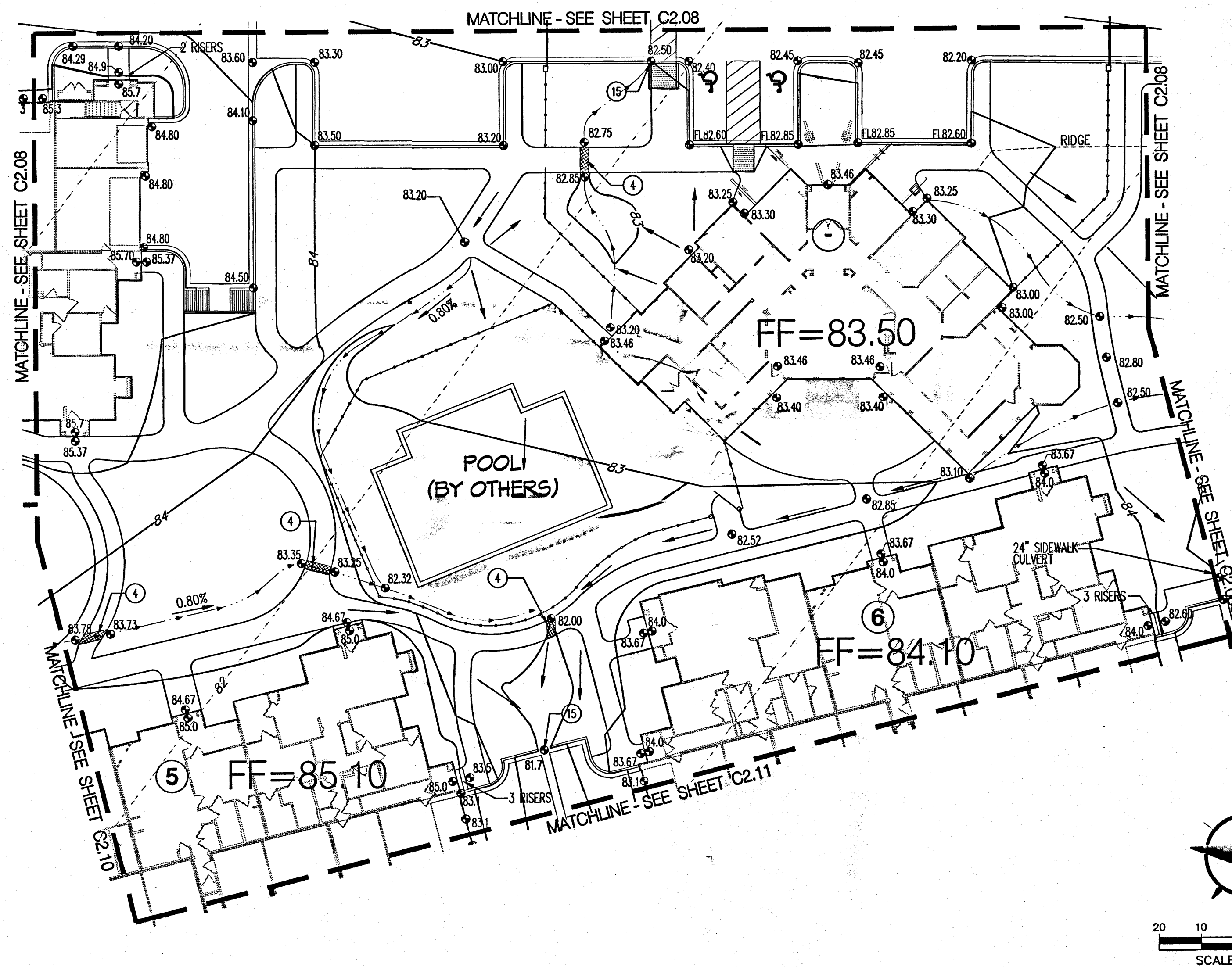
C2.11

05216

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PERMIT SET



KEY

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
⊕ 32.40	EXISTING SPOT ELEVATION
⊕ 32.40	PROPOSED SPOT ELEVATION
FL	FLOWLINE
TS	TOP OF SIDEWALK
FGL	FINISHED GROUND HIGH SIDE
FGL	FINISHED GROUND LOW SIDE

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SHEET CONTENTS:
GRADING &
DRAINAGE PLAN

SHEET NO.

C2.12

05216

PERMIT SET