

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 4, 2020

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Overture Andalucia
5301 Antequera Rd. NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 05/28/20
Hydrology File: E12D015G**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 05/28/2020, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Overture Andalucia Building Permit #: _____ Hydrology File #: E-12
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 4, Plat of North Andalucia at La Luz, Albuquerque, NM
City Address: 5301 Antequera Rd. NW, Albuquerque, NM 87120

Applicant: Isaacson & Arfman, Inc. Contact: Fred C. Arfman
Bryan J. Bobrick
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com
bryanb@iacivil.com
Owner: Greystar Development Group, LP Contact: Nic Whittaker
Address: 1717 West 6th Street, Suite 262, Austin, TX 78703
Phone#: (505) 764-9801 Fax#: _____ E-mail: nwhittaker@graystar.com

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
☒ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

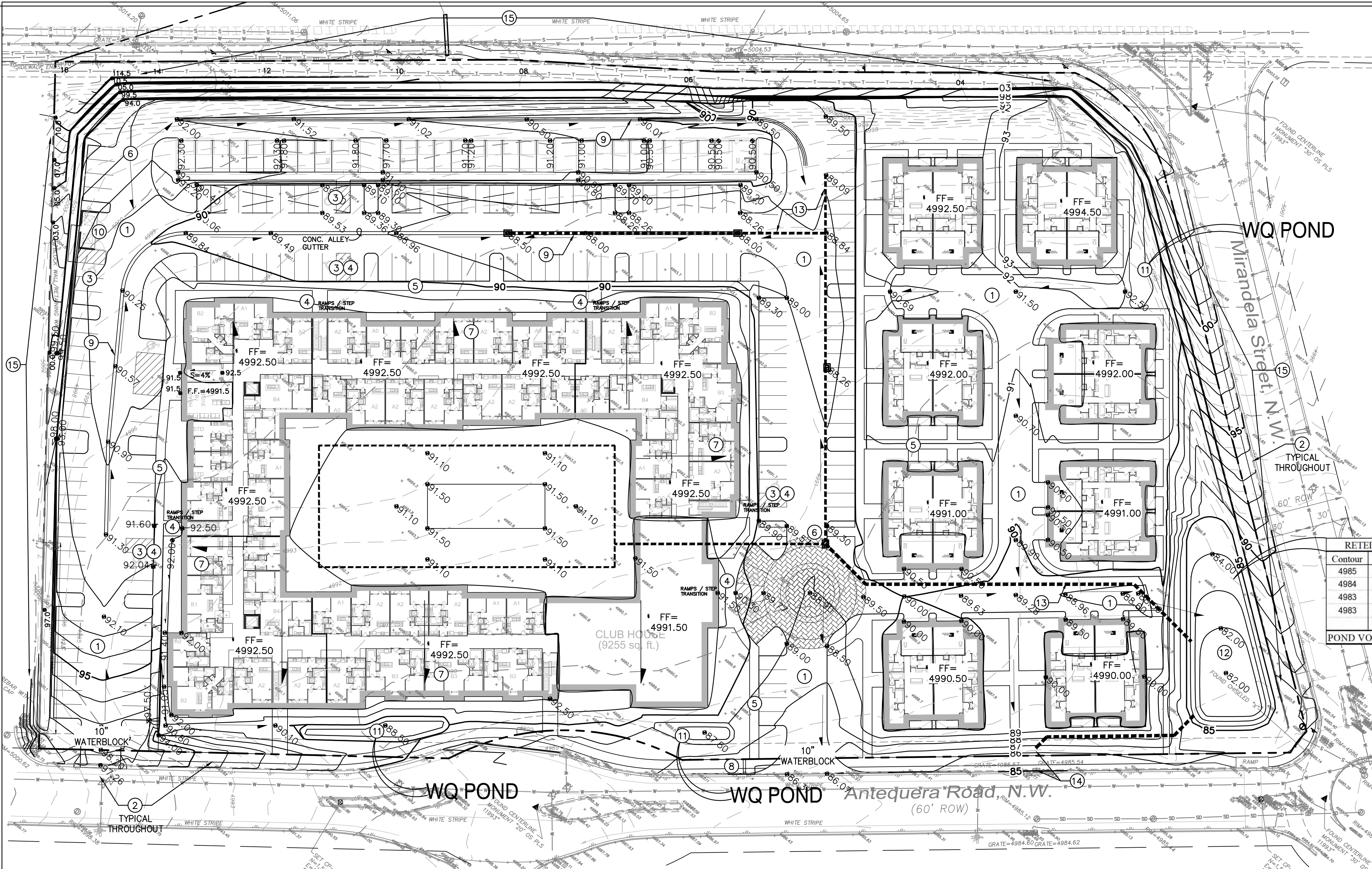
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 20, 2020 By: Fred C. Arfman

COA STAFF:

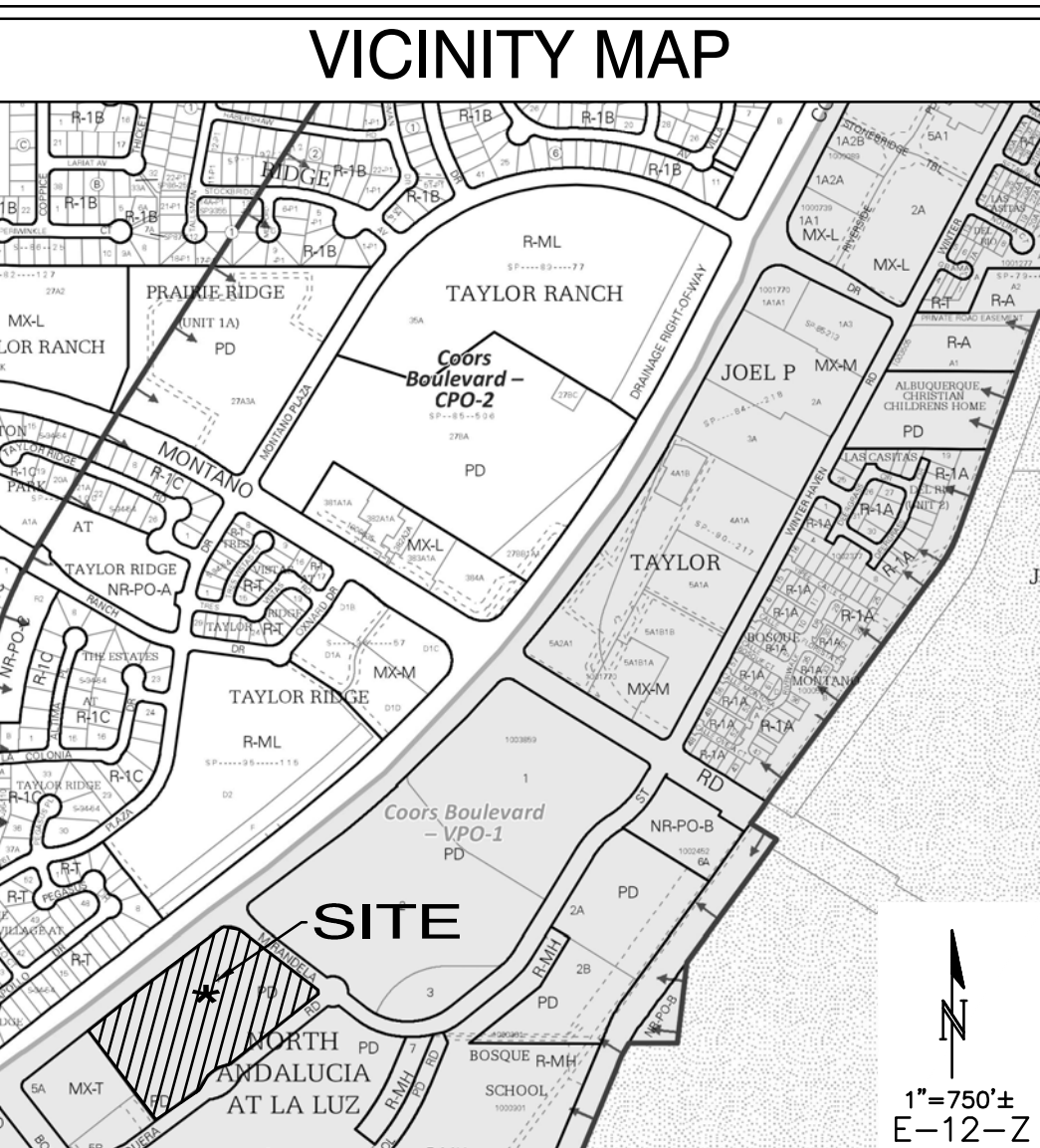
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



RETENTION POND		
Contour	Area	Volume
4985	5890	
4984	4365	5128 CF
4983	3015	3690 CF
4983	1840	1214 CF
POND VOLUME =		10031 CF

NOTE: FINAL RETENTION POND CONFIGURATION AND VOLUME SHALL BE BASED ON TOTAL REQUIRED VOLUME PER DRAINAGE MASTER PLAN, LESS RETENTION VOLUME PROVIDED WITHIN STORMWATER QUALITY PONDS THROUGHOUT SITE.



- ### KEYED NOTES
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 - ADA COMPLIANT 1:12 MAX. SLOPE ACCESS RAMP. ADDITIONAL RAMPS WILL BE LOCATED WHERE REQUIRED.
 - ADA COMPLIANT PEDESTRIAN ACCESS WALK. MAX. 5% SLOPE, MAX. 2% CROSS-SLOPE.
 - HIGH POINT / GRADE BREAK LOCATION.
 - ROOF DISCHARGE TO EXTERIOR ALL SIDES. INSTALL PRECAST SPLASHPAD AND/OR EXTEND DRAIN LINES TO STORM DRAIN SYSTEM. ROOF DISCHARGE TO INTERIOR COURTYARD WILL BE LIMITED.
 - COVERED CONCRETE SIDEWALK CULVERT (S.O.19 PERMIT REQUIRED IF IN PUBLIC R.O.W.) FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL.
 - 2' WIDE CONCRETE ALLEY GUTTER.
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 - RETENTION POND. TOTAL OF ALL ON-SITE RETENTION PER DRAINAGE MASTER PLAN.
 - PRIVATE STORM DRAIN SYSTEM.
 - EXISTING 24" STUB PROVIDED AS PART OF MASTER DRAINAGE CONCEPT. MAX. DISCHARGE FROM SITE = 28.2 CFS.
 - SITE TIERED RETAINING WALL(S) (RETAINING > 30"). FINAL DESIGN BY BUILDING PERMIT SUBMITTAL.

TYPICAL: DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.

REQUIRED POND VOLUME

THE DRAINAGE MASTER PLAN (DMP) INCORPORATED THE REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION ON-SITE FOR THIS PROPERTY (BASIN A-5). THE DMP CALCULATED THIS RETENTION VOLUME AS 0.28 AC.FT.

THIS REQUIRED RETENTION IS INTENDED TO REDUCE THE 100-YEAR 10-DAY VOLUME DIRECTED TO POND 'A'.

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OF 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION]. THEREFORE, THE RETENTION VOLUME PROVIDED WITHIN THE PROPOSED PONDS WILL BE SIZED TO STORE 0.34"/SF TO ACCOUNT FOR THE INITIAL ABSTRACTION. THIS WILL SATISFY THE DRAINAGE MASTER PLAN REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION.

TOTAL POND VOLUME = (7.71 AC.*43560 SF/AC * .34"/SF)/12 = 9,516 SF.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS APPROXIMATELY 70% OF TOTAL AREA: (0.70 * 7.71 AC) = 235,094 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34/12 * (235,094 SF) = 6,661 CF. THE PROPOSED RETENTION POND(S) WILL STORE MORE THAN THIS REQUIRED VOLUME.

RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED WITH THE BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS SHOWN (LABELED WITH *) INDICATE ANTICIPATED POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED BY THE PROPERTY OWNER FOR DRAINAGE INFRASTRUCTURE INCLUDING PONDS AND OUTFALL STRUCTURES. THESE WILL BE RECORDED AS REQUIRED.

PROJECT INFORMATION

PROPERTY: THE SITE IS A DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP E-12. THE SITE IS BOUND TO THE NORTHEAST BY MIRANDELA ST., TO THE NORTHWEST BY COORS BLVD., TO THE SOUTHEAST BY ANTEQUERA RD. AND TO THE SOUTHWEST BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY MULTI-FAMILY APARTMENT BUILDING AND EIGHT DUPLEX HOUSING UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT 4 PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, NEW MEXICO.

AREA: 7.7061 AC

ADDRESS: 5301 ANTEQUERA RD NW, ALBUQUERQUE NM 87120

BENCHMARK: NAVD 1988 FROM AGRS MONUMENT "NM_448_N8", PUBLISHED ELEVATION (FEET) = 5021.651

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0114H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

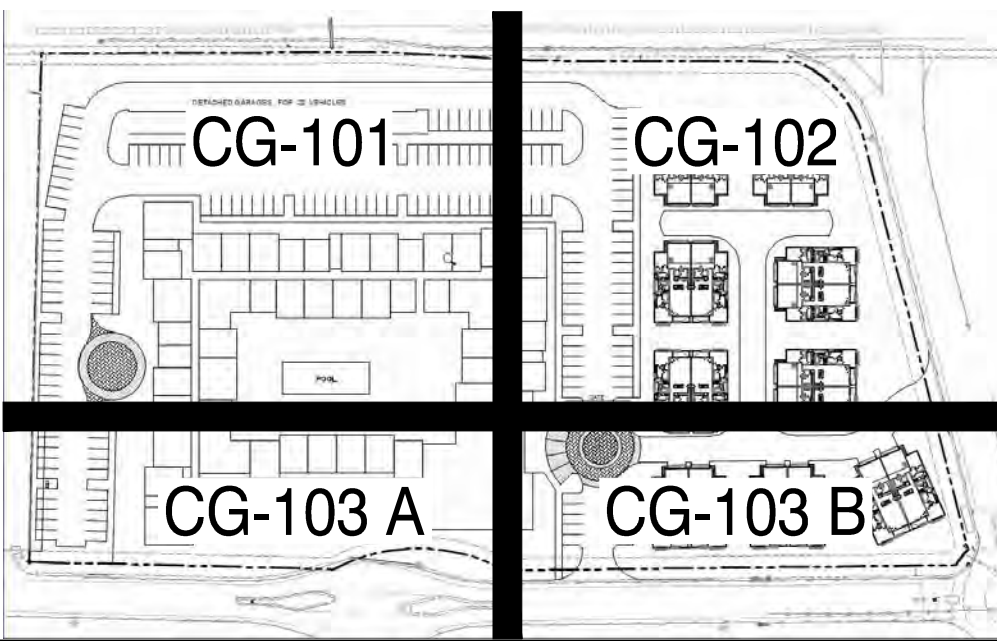
DRAINAGE PLAN CONCEPT:

THE NORTH ANDALUCIA DRAINAGE MASTER PLAN PREPARED BY BOHANNAN HUSTON WITH STAMP DATE 2/19/13, ESTABLISHED THE CRITERIA FOR NORTH ANDALUCIA, TRACTS 1-B AND BOSQUE SCHOOL, TRACTS 1-2. THIS 7.71 ACRE PROPERTY, IDENTIFIED AS BASIN A-5, WAS PROPOSED TO BE DEVELOPED WITH THE FOLLOWING LAND TREATMENTS: 0% A, 24% B, 10% C, 66% D.

THE SITE IS PERMITTED FREE DISCHARGE (LESS STORMWATER QUALITY VOLUME REQUIREMENTS) TO THE NORTH ANDALUCIA DRAINAGE POND 'A' BASED ON AN ANTICIPATED RATE OF 3.66 CFS/ACRE (28.19 CFS).

A 24"Ø STORM DRAIN STUB TO THE PROPERTY WITH FULL CAPACITY FLOWRATE OF 29.92 CFS WAS PROVIDED FOR ON THE MASTERPLAN WHICH WILL ACCEPT THE FREE DISCHARGE FROM BASIN A-5.

GRADING & DRAINAGE SHEET KEY



Isaacson & Arfman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacvil.com

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Date **05/28/20**

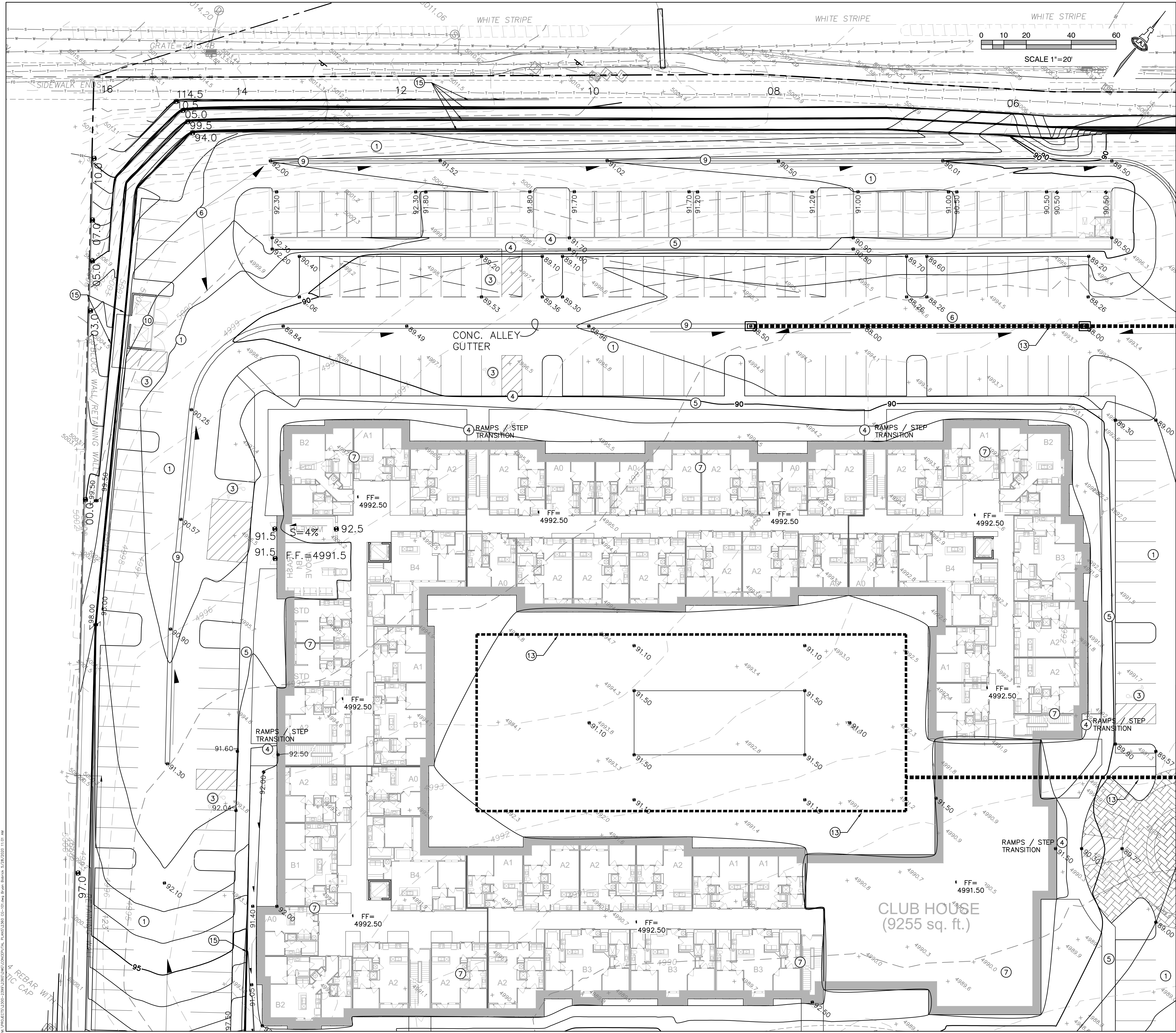
OVERTURE ANDALUCIA
Albuquerque, New Mexico
a development of
Greystar Development Group, LP

DESIGN DEVELOPMENT

ISSUE: PROJECT NUMBER: IA 2360
FILE: DRAWN BY: BJB
CHECKED BY: FCA
DATE: 05-28-2020

Overall Grading & Drainage Plan

SHEET NUMBER
CG-100



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ADA COMPLIANCE

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ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%. LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

LEGEND

— 5088 —	EXISTING CONTOUR
5001.62	EXISTING SPOT ELEVATION
— 88 —	PROPOSED 1.0' CONTOUR
--- 88.5 ---	PROPOSED 0.5' CONTOUR
◆ 88.3	PROPOSED SPOT ELEVATION
→	FLOW DIRECTION
FF = 4992.50	FINISH FLOOR ELEVATION
-----●-----	PROPOSED STORM DRAIN / INLET

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NOT FOR CONSTRUCTION

NEW MEXICO
7322
LICENSED PROFESSIONAL ENGINEER

Date 05/28/20

OVERTURE ANDALUCIA

Albuquerque, New Mexico

a development of
Greystar Development Group, LP

ISSUE:	PROJECT NUMBER: IA 2360	FILE:	DRAWN BY: BJB	CHECKED BY: FCA	DATE: 05-28-2020
DESCRIPTION					
No.	Date				

SHEET TITLE

Grading & Drainage
Plan 1 Of 3

SHEET NUMBER

CG-101



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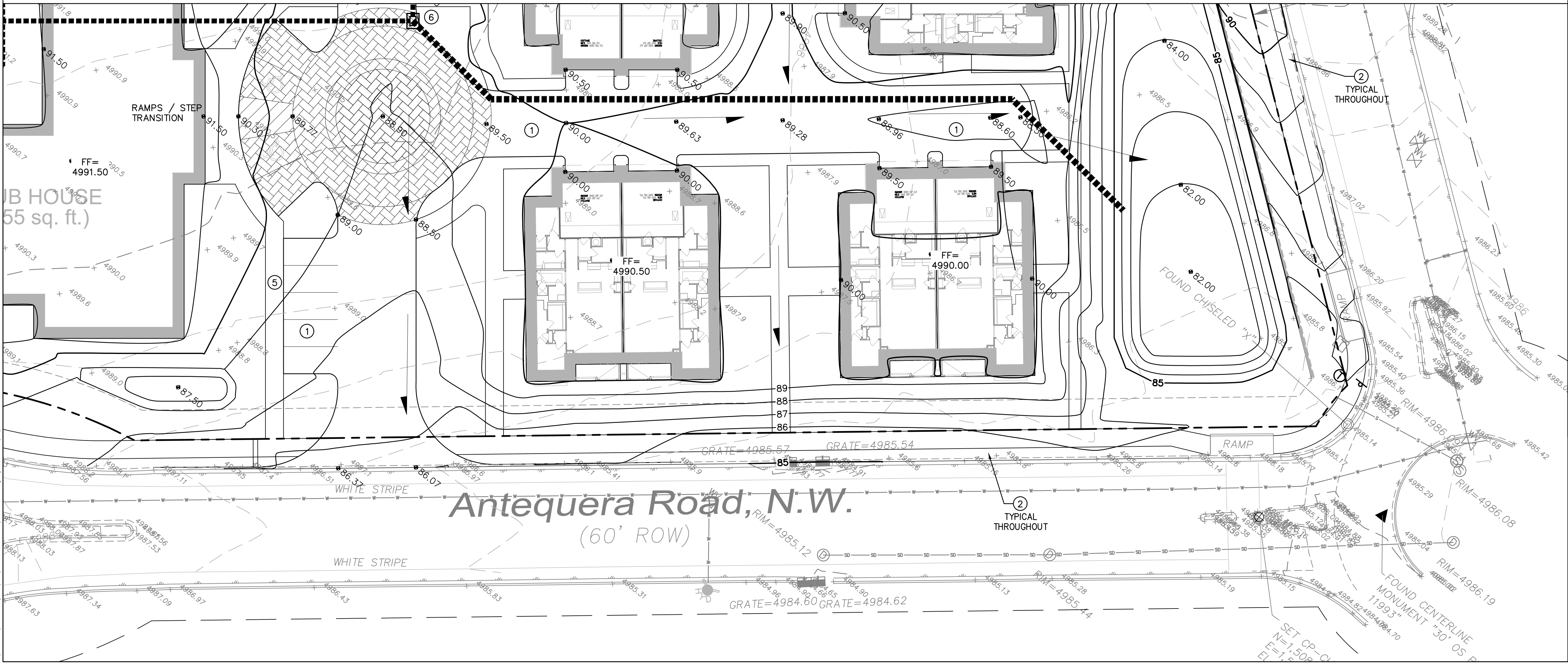
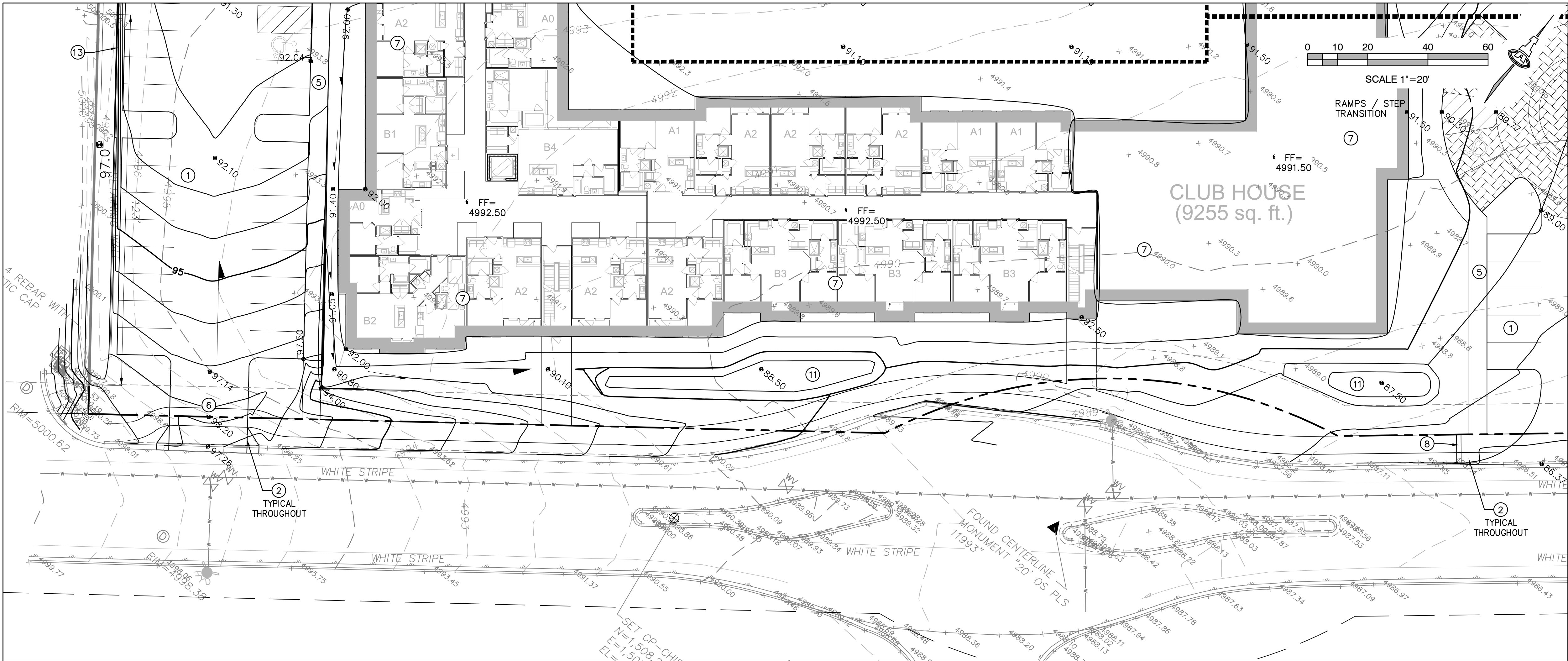
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Date **05/28/20**

OVERTURE ANDALUCIA
Albuquerque, New Mexico
a development of
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No		Date	Description
DESIGN DEVELOPMENT			
ISSUE:			
PROJECT NUMBER: IA 2360			
FILE: -			
DRAWN BY: BJB			
CHECKED BY: FCA			
DATE: 05-28-2020			



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DRAWN BY: BJB			
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DATE: 05-28-2020			
SHEET TITLE			
Grading & Drainage Plan 3 Of 3			
SHEET NUMBER			
CG-103			