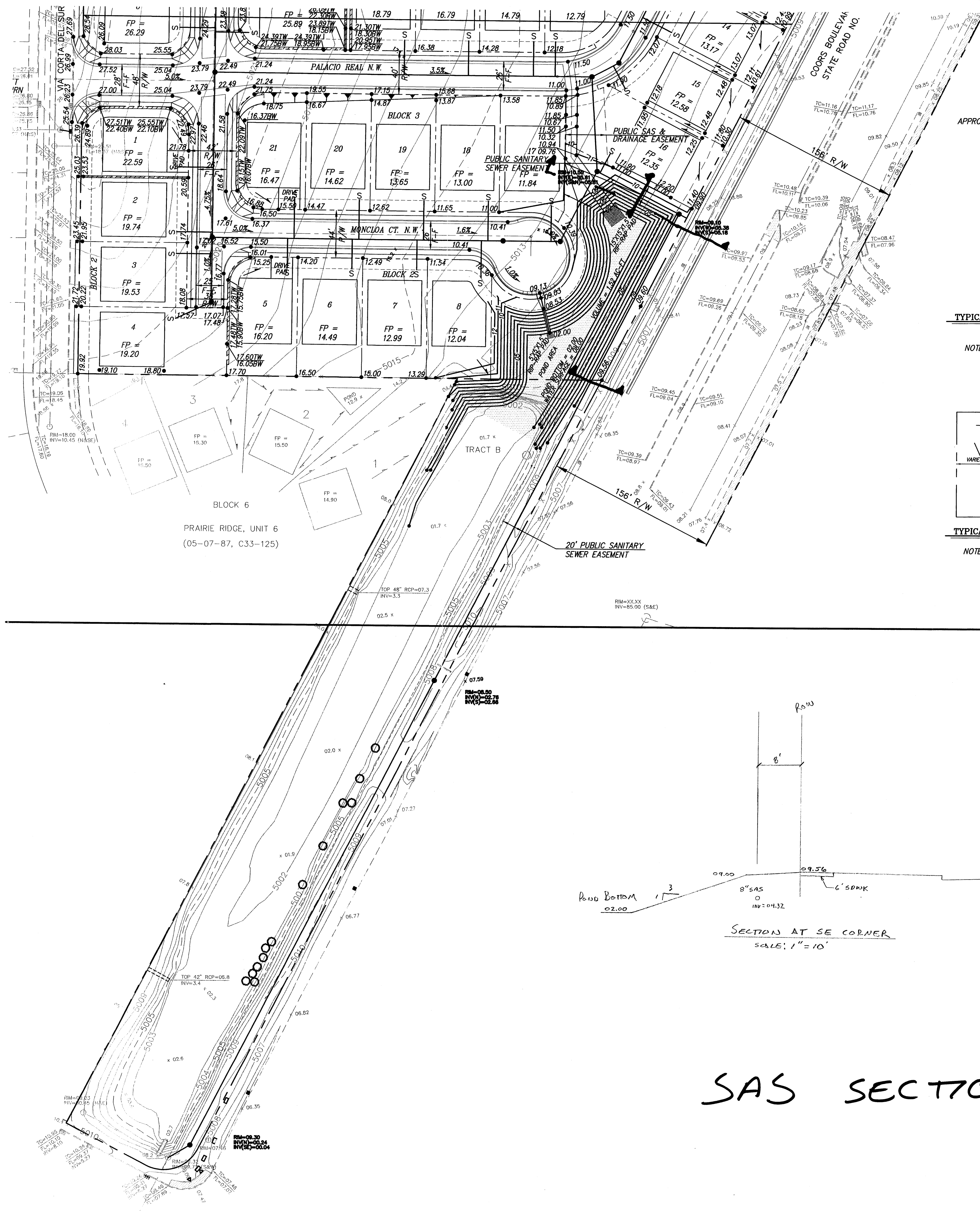
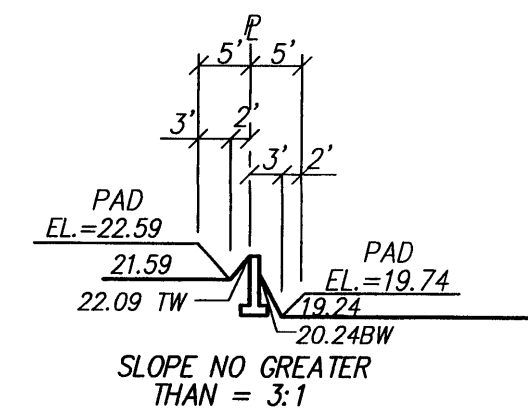


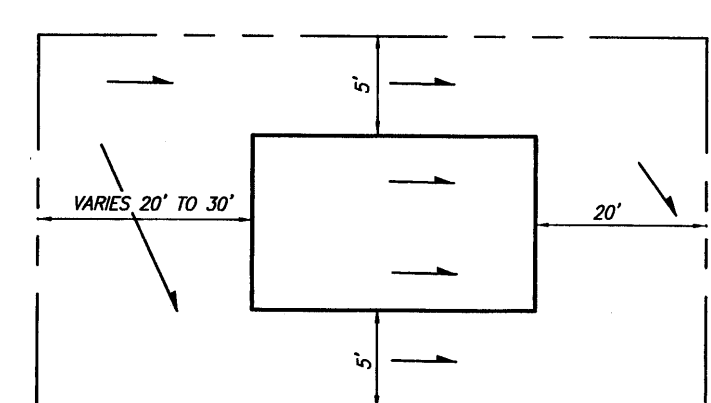


APPROVED ROUGH GRADING $\pm 18"$ CITY HYDROLOGY



TYPICAL LOT LAYOUT: SECTION

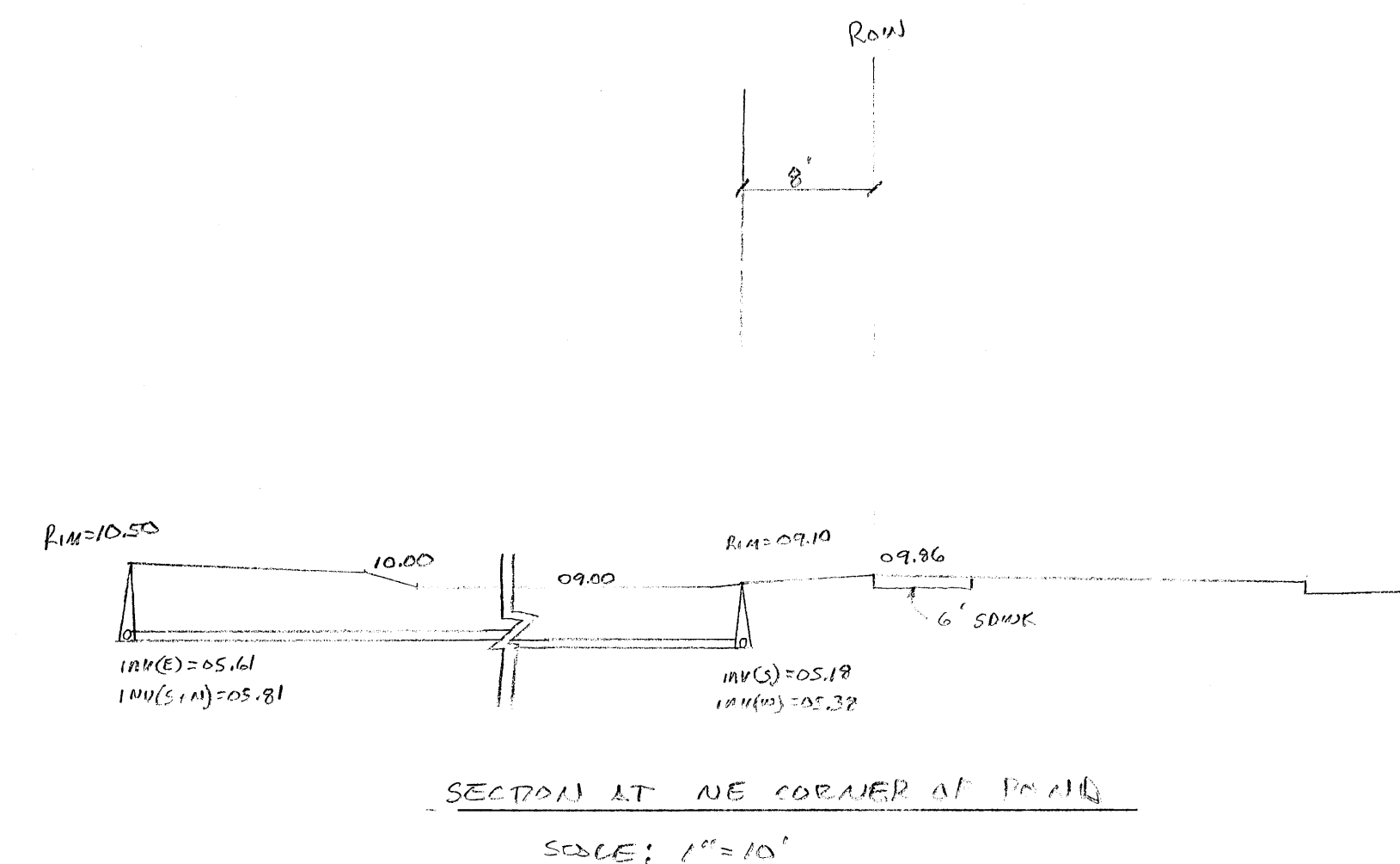
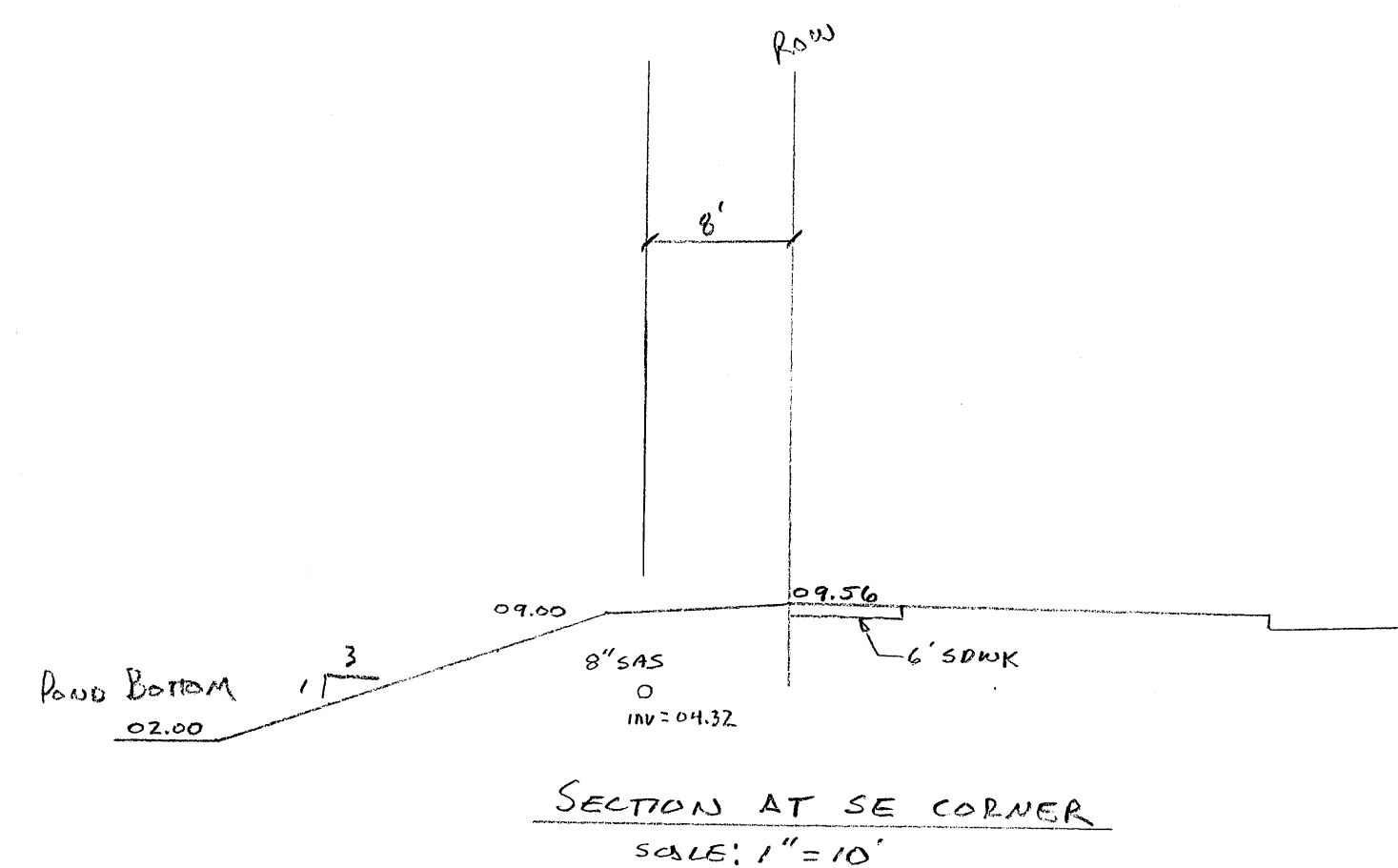
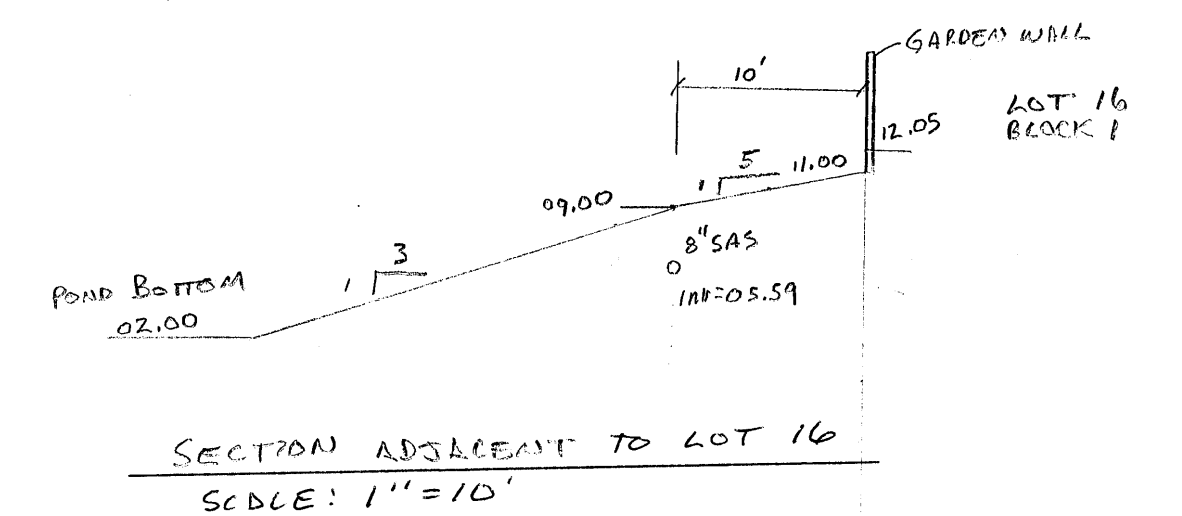
NOTE: RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 2.5 FEET BETWEEN LOTS 1 & 2, BLOCK 2



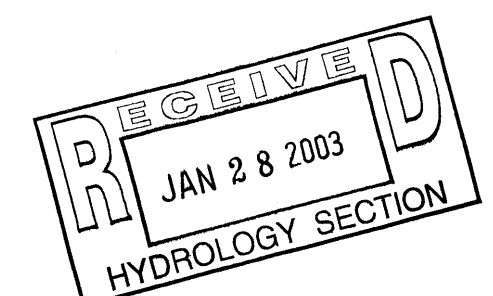
TYPICAL LOT LAYOUT PLAN

NOTE: ALL LOT RUNOFF DRAINS TO THE STREET IN FRONT OF THE LOT EXCEPT THE BACKYARDS OF LOTS 10-16, BLOCK 3 WILL DRAIN TO COORS BLVD.

A02061/A2061-GD50-REV1/01-23-03/AC



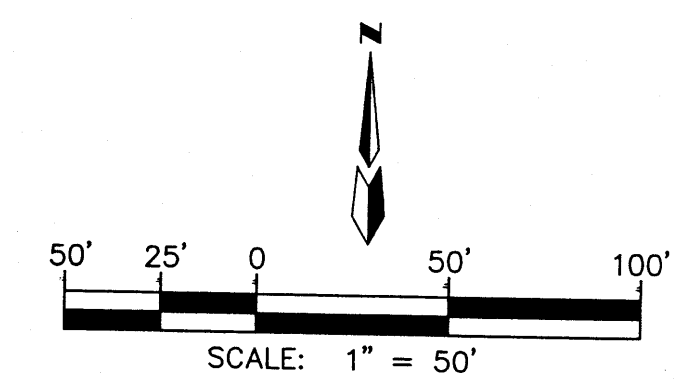
SAS SECTIONS ADJACENT TO POND



Please Find



- LEGEND**
- 5615 EXISTING CONTOUR (MAJOR)
 - 5616 EXISTING CONTOUR (MINOR)
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE CURB
 - EXISTING WALL OR HEAD WALL
 - EXISTING SIGN
 - EXISTING FENCE
 - EXISTING TREE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING TELEPHONE BOX
 - NEW MOUNTABLE CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW SIDEWALK
 - NEW RIGHT-OF-WAY
 - NEW CENTERLINE
 - NEW LOT LINES
 - NEW EASEMENTS
 - NEW RETAINING WALL
 - NEW SPOT ELEVATIONS
 - NEW FLOW
 - NEW SLOPE
 - NEW HIGH POINT
 - NEW BASIN BOUNDARY



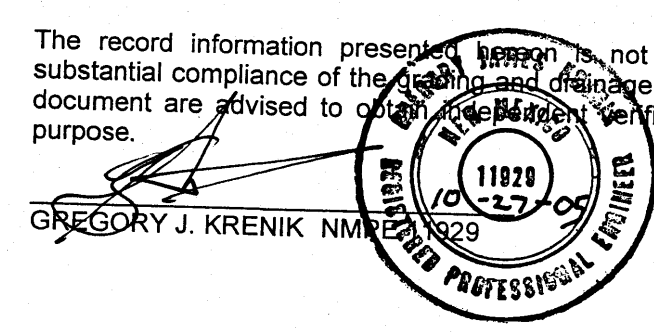
H. Blaugrund
OWNER PARCEL B & C, TAYLOR RANCH
E. Blaugrund & Associates, a New Mexico
General Partnership
By: Lee S. Blaugrund, General Partner
APPROVED ROUGH GRADING ±18" *Paul L. Bish* 2/10/02
CITY HYDROLOGY DATE

DRAINAGE CERTIFICATION

I, Gregory J. Krenik, NMPE 11929, of the firm Mark Goodwin & Associates, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1/23/03. The record information edited onto the original design document has been obtained by Timothy Aldrich, of the firm ALS, Inc., I further certify that I have personally visited the project site on 10/24/03 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Grading Certification approval.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to conduct their own verification of its accuracy before using it for any other purpose.

GREGORY J. KRENK NMPE 11929



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: RIO OESTE SUBDIVISION GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL R OCT 27 2005 HYDROLOGY SECTION
CITY PROJECT NO.	ZONE MAP NO. E-12
SHEET 2 OF 2	

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		DATE	
CONTRACTOR	WORK	DATE	NO.	BY	DATE	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE
NMS Brass Cap stamped "HUGHES"	North 6.1 miles from the intersection of Coors Road N.W. and Central Avenue N.W. from this point, west 450 feet plus or minus												
	Geographic Position (NAD 1927), in feet												
	N.M. State Plane Coordinates (Central Zone)												
	X=371,688.59, Y=1,514,376.32												
	Elevation=5049.93, NGVD29, in feet												