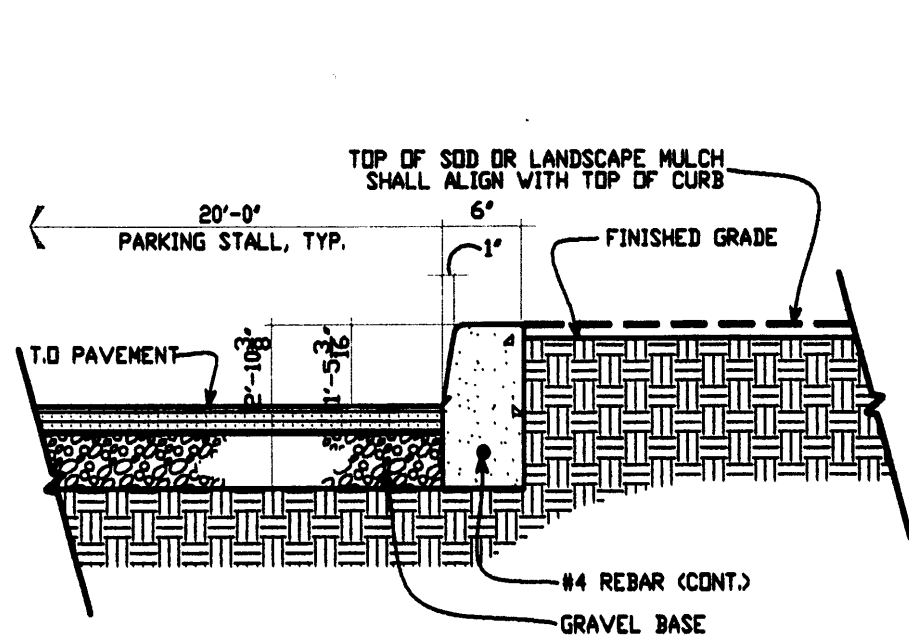
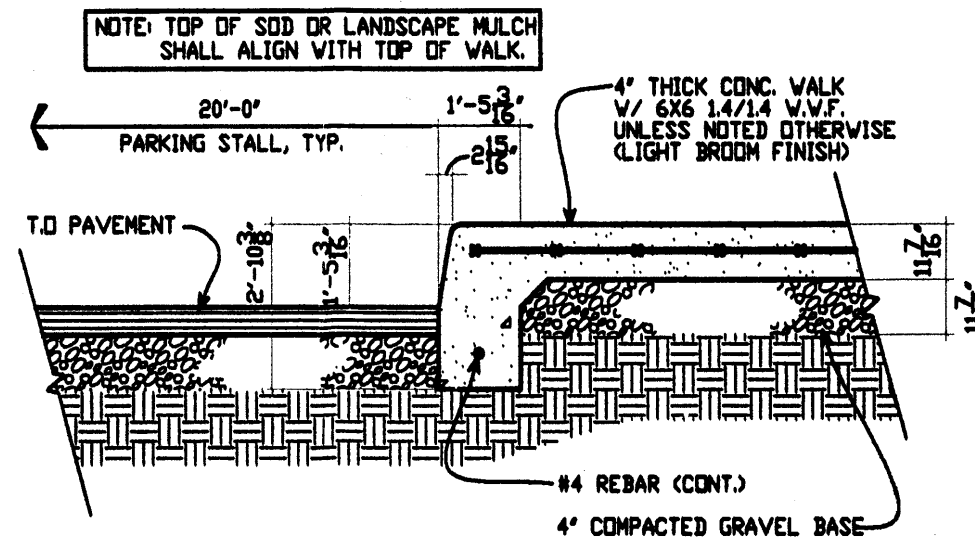


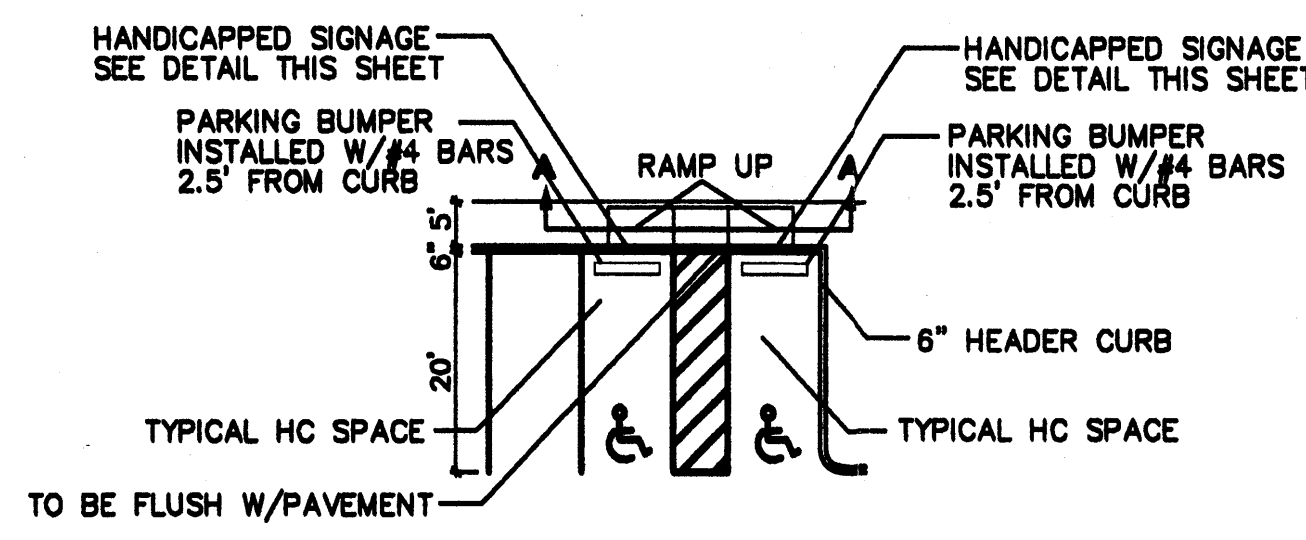
HEADER CURB DETAIL
NTS



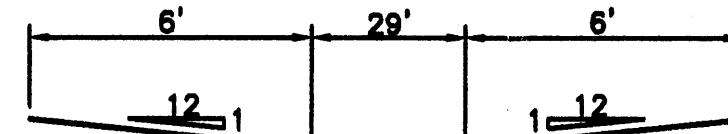
SIDEWALK/CURB DETAIL
NTS



HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



PROJECT NUMBER: 1002397
APPLICATION NUMBER: 04-01588

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/20/04, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Transportation Division 10-20-04
Date

Utilities Development 10/20/04
Date

Parks & Recreation Department 10/20/04
Date

City Engineer 10/20/04
Date

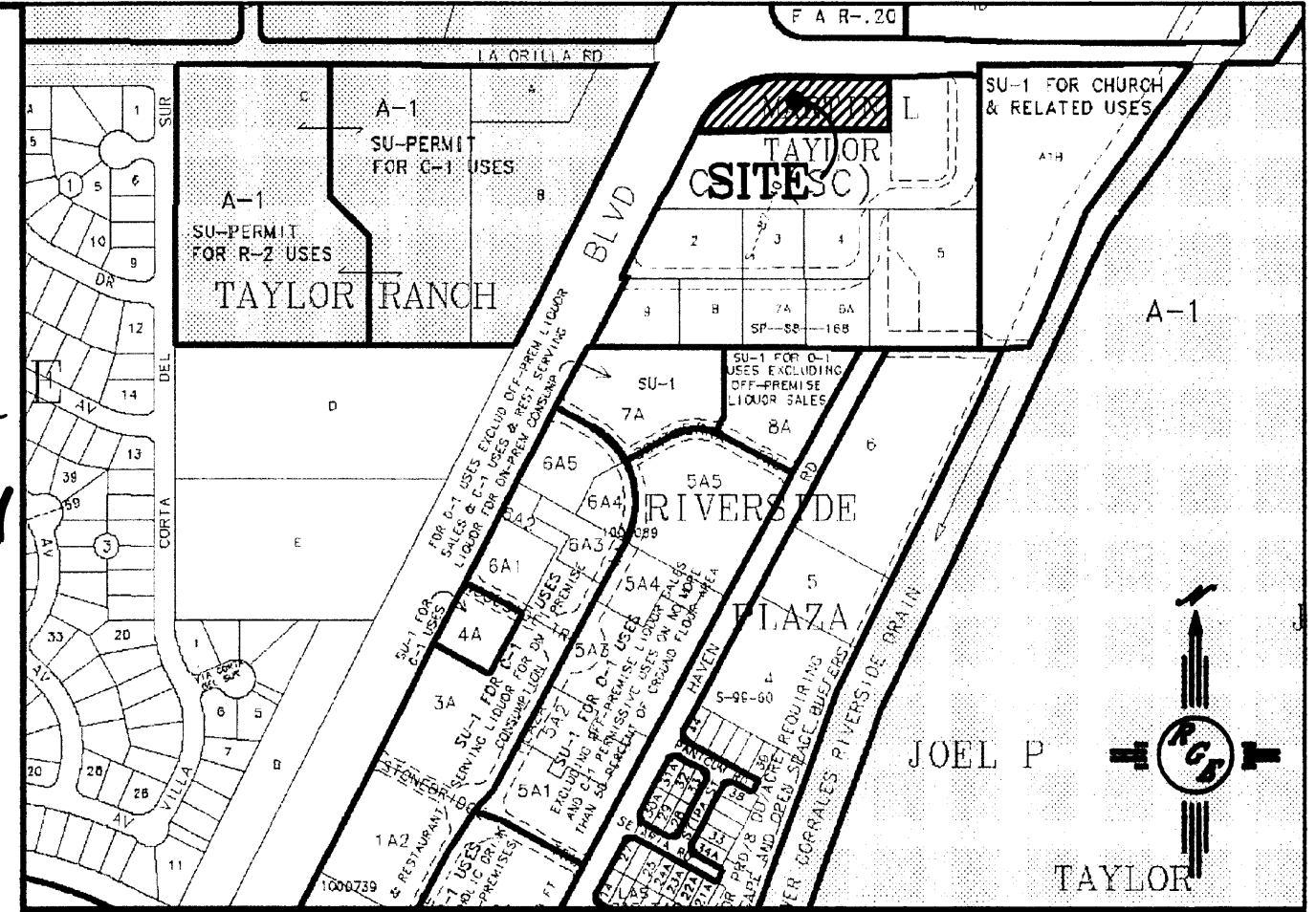
N/A
Date

Environmental Health Department (conditional) Date

Waste Management 10/20/04
Date

DRB Chairperson, Planning Department 10/20/04
Date

Environmental Health, if necessary 12/16/03
Date



VICINITY MAP: E-12-7

LEGAL DESCRIPTION:
A PORTION OF TRACT 1, MARTIN L. TAYLOR

NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- HVAC EQUIPMENT ON THE ROOF SHALL BE SCREENED BY EXTERIOR SCREEN WALL.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 20' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
- MAXIMUM BUILDING HEIGHT SHALL BE 28'.
- MINIMUM BUILDING SETBACK SHALL BE 35' ALONG COORS BOULEVARD AND 15' FROM LA ORILLA ROAD.

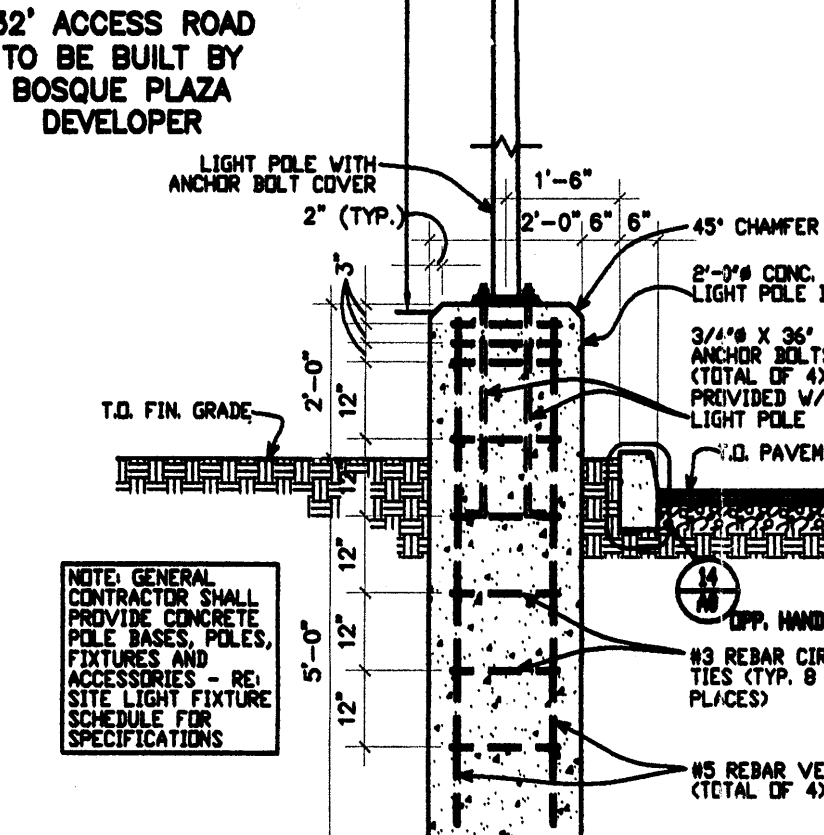
SITE DATA

LOT SIZE:	1.4600 AC±
EXISTING ZONING:	C-1 (SC)
PROPOSED ZONING:	C-1 (SC)
PROPOSED USE:	RESTAURANT
BUILDING SIZE:	4,441 SF
FAR:	.07
PARKING PROVIDED:	84 SPACES
PARKING REQUIRED:	39 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
BIKE SPACES PROVIDED:	8 SPACES
BIKE SPACES REQUIRED:	8 SPACES
LANDSCAPE PROVIDED:	19,181 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	8,849 SF

LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
=====	PROPOSED 6' SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	LIMITS OF CONSTRUCTION

LIGHT POLE DETAIL
NTS

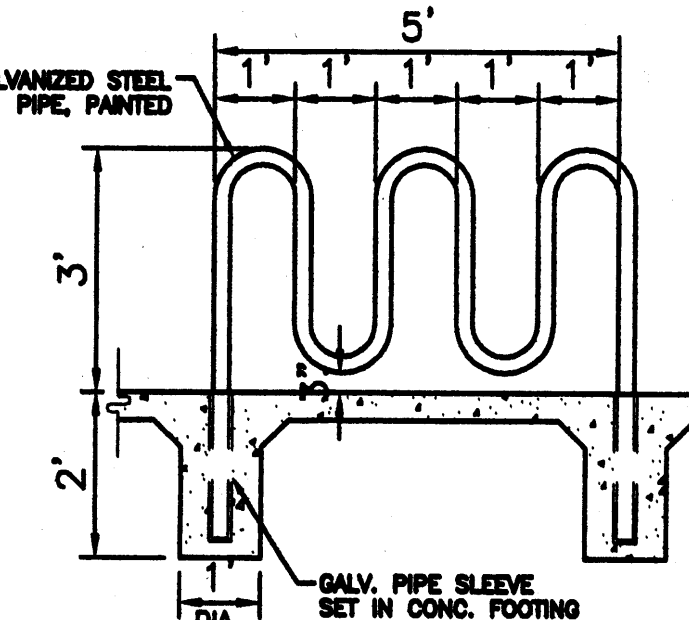


LOT 10-B
1.3975 ACRES

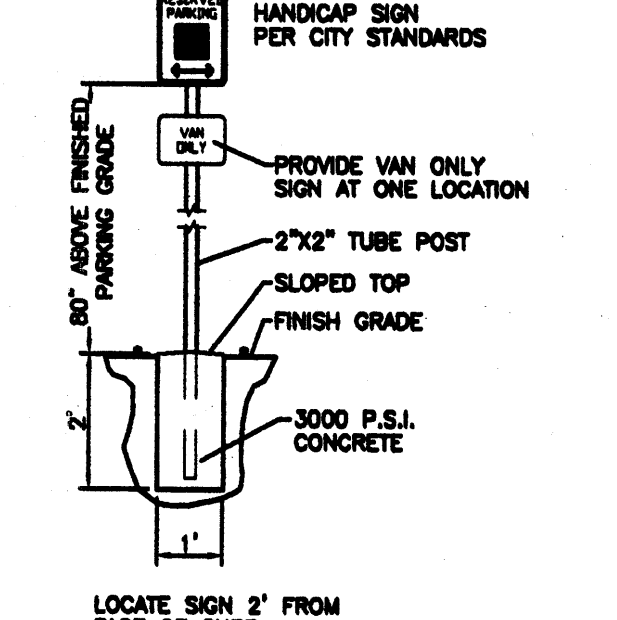


Transportation / Site Plan Certification
I, David Soule, MADE 415522 certify that this project has been built in substantial compliance to the DRB approved (10/20/04) Site plan. I have personally verified the site dimensions are consistent with what is shown here. The only item not constructed is the 6' sidewalk along Bosque Plaza LP and La Orilla, which is the master developer responsibility. This certification is for Permanent Certificate of Occupancy.

BIKE RACK DETAIL
NTS



HANDICAP SIGN DETAIL
NTS



PEDESTRIAN CROSSING DETAIL
NTS

