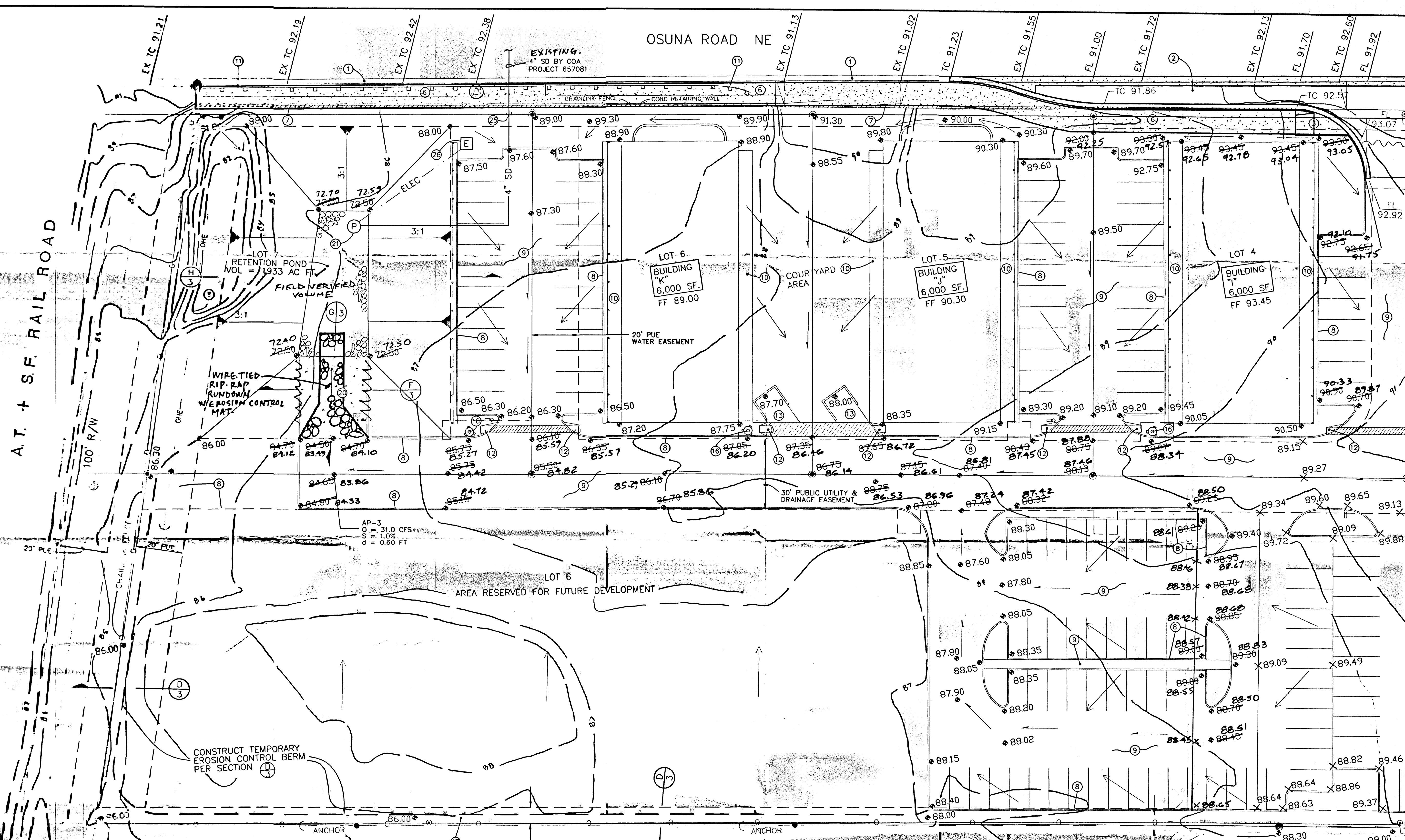
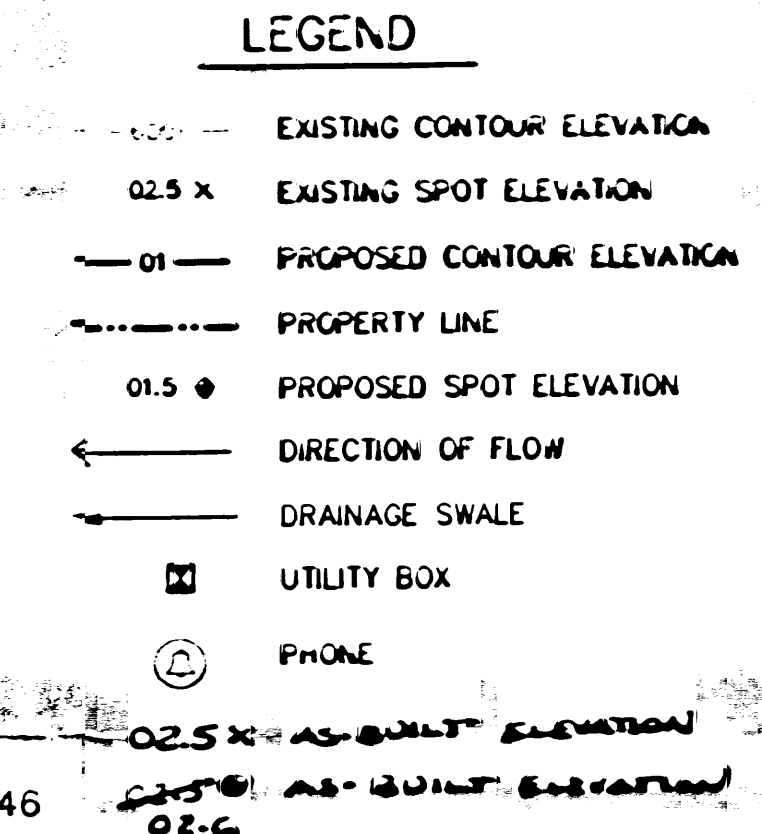




I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on actual field measurements and visual inspections performed by Brasher and Lorenz, Inc. I further certify that the as-built condition of the site as of December 24, 2001 is in substantial compliance with the approved Grading and Drainage Plan prepared by Brasher & Lorenz, Inc., dated September 18, 2001 with the following exceptions: 1) This certification is for Lot 3 only. Lots 1, 4, 5, 6, 7 and 8 remain undeveloped. This certification is limited to on-site grading and drainage improvements and does not extend to the structural integrity of the materials used or the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

STEVEN K. ROBBOW
NIA MEMBER
13679
REGISTERED PROFESSIONAL ENGINEER
12-24-01 TC 98



1. EXISTING CONCRETE CURB & GUTTER TO REMAIN
2. NEW CONCRETE VALLEY GUTTER ENTRY. SEE CITY PROJECT 657081
3. CONSTRUCT HANDICAP ACCESS RAMP. SEE CITY PROJECT 657081.
4. EXISTING HANDICAP RAMP TO REMAIN.
5. EXISTING 6' SIDEWALK TO REMAIN.
6. NEW 10' ASPHALT TRAIL. SEE CITY PROJECT 657081.
7. EXISTING CONCRETE RETAINING WALL TO REMAIN
8. NEW 6" CONCRETE CURB.
9. NEW ASPHALT PAVING
10. NEW CONCRETE SIDEWALK. SEE SITE PLAN FOR EXACT LOCATION AND WIDTH
11. EXISTING GUARDRAIL TO REMAIN
12. CONSTRUCT HANDICAP ACCESS RAMP. SEE SITE PLAN FOR DETAILS
13. NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS
14. CONSTRUCT GROUTED RAP ROP CHANNEL. SEE SECTION 'B'. SHEET 3
15. EXISTING FIRE HYDRANT TO REMAIN.
16. NEW FIRE HYDRANT. SEE CITY PROJECT 657081.
17. CONSTRUCT CONCRETE CHANNEL. SEE SECTION 'A'. SHEET 3.
18. EXISTING LANDSCAPING TO REMAIN.
19. EXISTING ENTRY FEATURE TO REMAIN
20. CONSTRUCT CONCRETE POND RANDOM SEE SECTION 'F' SHEET 1
21. SWAMP PUMP WITH PVC DRAIN LINE. SEE SECTION 'H'. SHEET 3
22. CONSTRUCT 18" SIDEWALK CULVERT PER CCA STD DWG 2236
23. CONSTRUCT 36" SIDEWALK CULVERT PER CCA STD DWG 2236
24. CONSTRUCT 72" SIDEWALK CULVERT PER CCA STD DWG 2236
25. CURB REMOVED
26. CURB ADDED
27. ADDED 1' CHANNEL
28. ELIMINATED ENTRANCE

3. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
4. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
5. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
6. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
7. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
8. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
9. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

2201 San Pedro de Buring 1 Suite 228
Albuquerque, New Mexico 87110
Tel. 505-266-4000 Fax 505-266-4700

CITY OF ALBANY
PUBLIC WORKS

SUN VALLEY COMM.

GRADING & EROSION

Design: NEWS CONTINUED	City: <u>Spring Hill</u>
------------------------	--------------------------

[illegible]

657081

100

[illegible][illegible]

UZSUQUE DEPARTMENT PRIMENT GROUP CIA CENTER GE PLUM			
1 2 3 4 5 6 7 8 9 10 11 12	1 2 3 4 5 6 7 8 9 10 11 12	1 2 3 4 5 6 7 8 9 10 11 12	1 2 3 4 5 6 7 8 9 10 11 12
13	14	15	16

00508



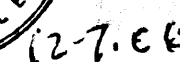
1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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CONSULTANTS

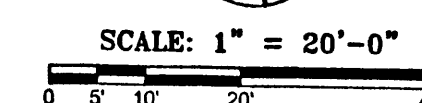


PROFESSIONAL SEAL



SUN VALLEY
OFFICE PARK

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO



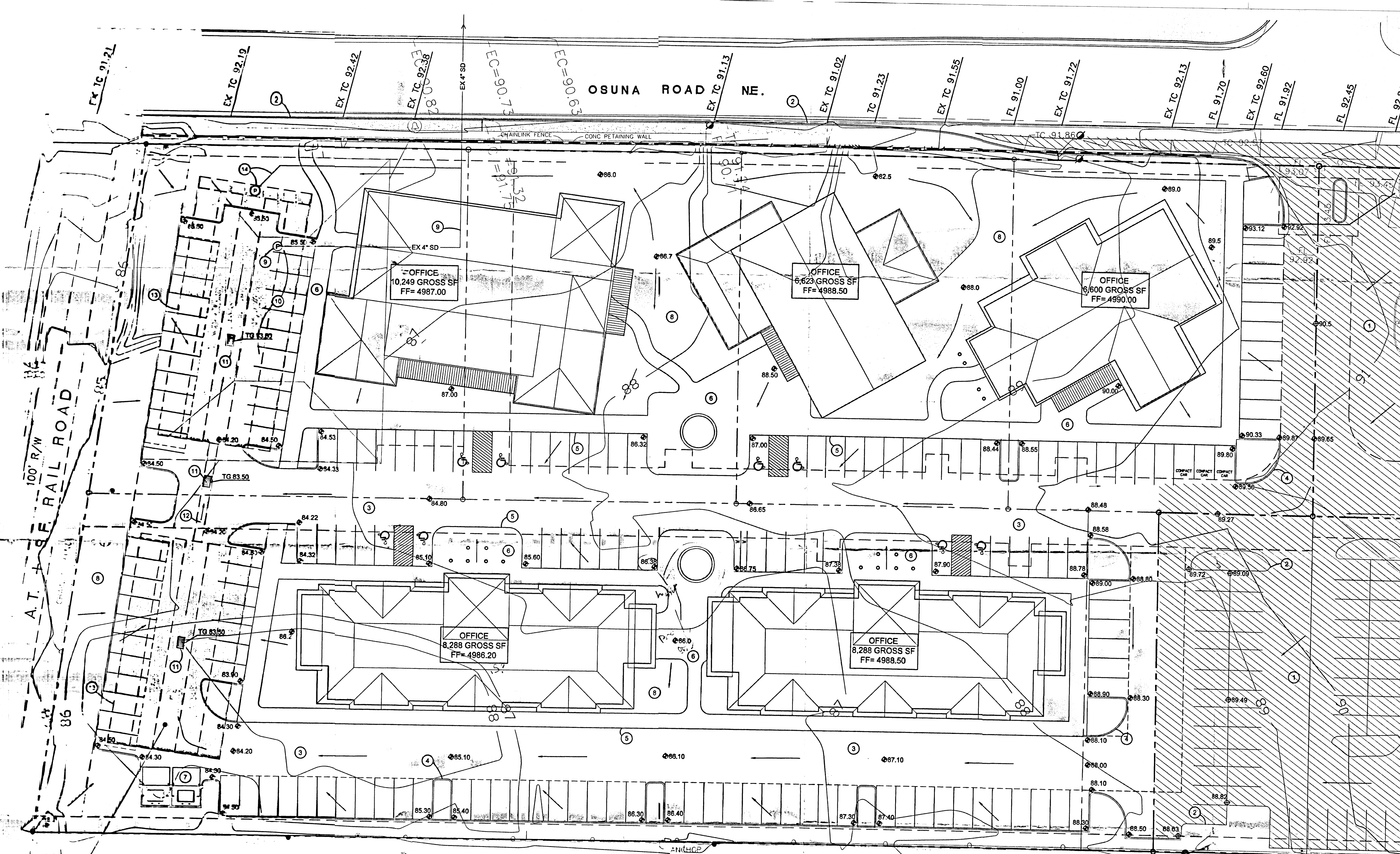
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	06561
DRAWING FILE:	
DRAWN BY:	FG
CHECK BY:	D.A.L
COPYRIGHT:	
DATE:	DECEMBER 06, 2006

SHEET TITLE
**CONCEPTUAL GRADING AND
DRAINAGE PLAN**

SHEET NUMBER
C-100

HYDROLOGY SECTION



○ KEYNOTES

1. EXISTING ASPHALT PAVEMENT.
2. EXISTING CONCRETE CURB & GUTTER.
3. NEW ASPHALT PAVEMENT.
4. NEW 6" CONCRETE CURB.
5. NEW TURNDOWN SIDEWALK.
6. NEW CONCRETE SIDEWALK.
7. NEW REFUSE ENCLOSURE. SEE SITE PLAN.
8. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
9. EXISTING 4 INCH DRAIN AND SUMP PUMP TO BE REMOVED AND SALVAGED.
10. EXISTING RETENTION POND TO BE RECLAIMED.
11. NEW DOUBLE 'D' INLET.
12. NEW 48 INCH CMP.
13. NEW 120 INCH CMP UNDERGROUND STORAGE SYSTEM.
14. NEW 120 INCH PUMP DRAIN. CONNECT 4 INCH DISCHARGE LINE TO EXISTING 4 INCH SD.

LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	---6" W---	---6" W---
SANITARY SEWER	---8" SAS---	---8" SAS---
FIRE HYDRANT VALVE	 ---	 ---
METERED WATER SERVICE	 ---	 ---
MANHOLE	---  ---	---  ---
CURB AND GUTTER	---	---
CURB ELEVATIONS	---	---
SEWER SERVICE	---  ---	---  ---
RIGHT OF WAY EASEMENT	---	---
POWER POLE (GUYED)	 ---	 ---

PROJECT DATA

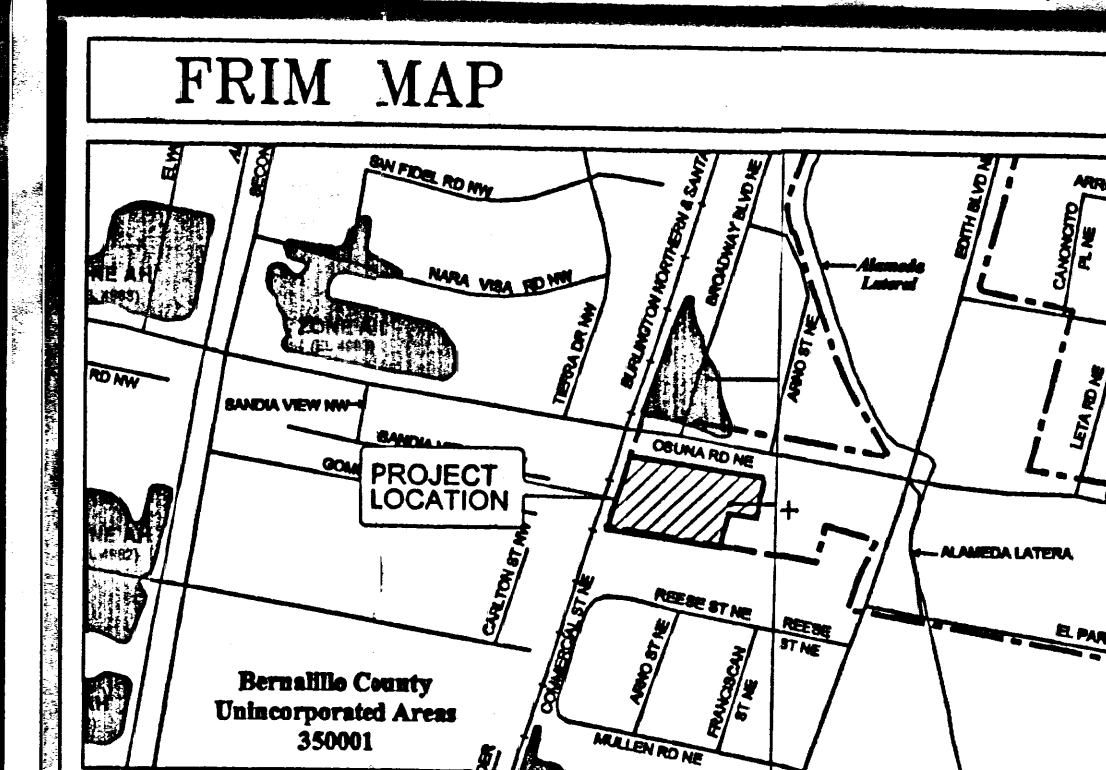
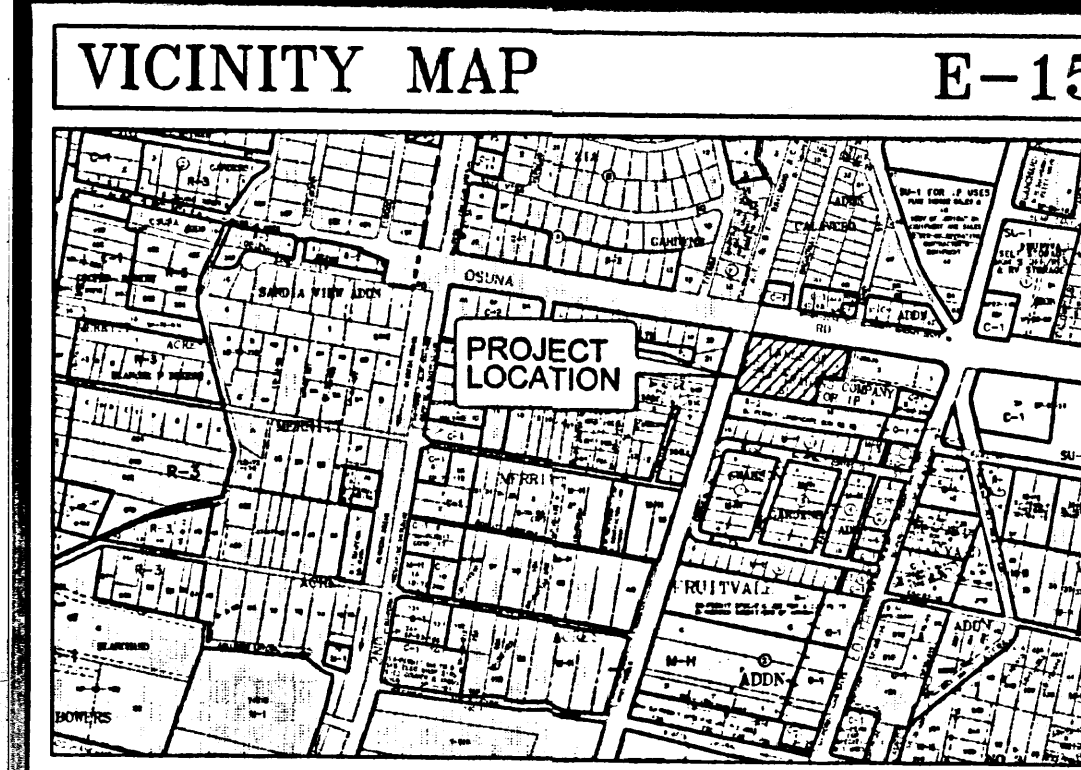
PROPERTY ADDRESS
320 OSUNA ROAD NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION

LOTS 3A, 4, 5, 6, 7A + 8A
LANDS OF ZIA TRADING
COMPANY

MAPPING

SITE TOPOGRAPHY OBTAINED FROM
AMAFCA DIGITAL TERRAIN MODEL FILES
COMPILED 2-28-2000, ADJUSTED TO
NGVD 1929



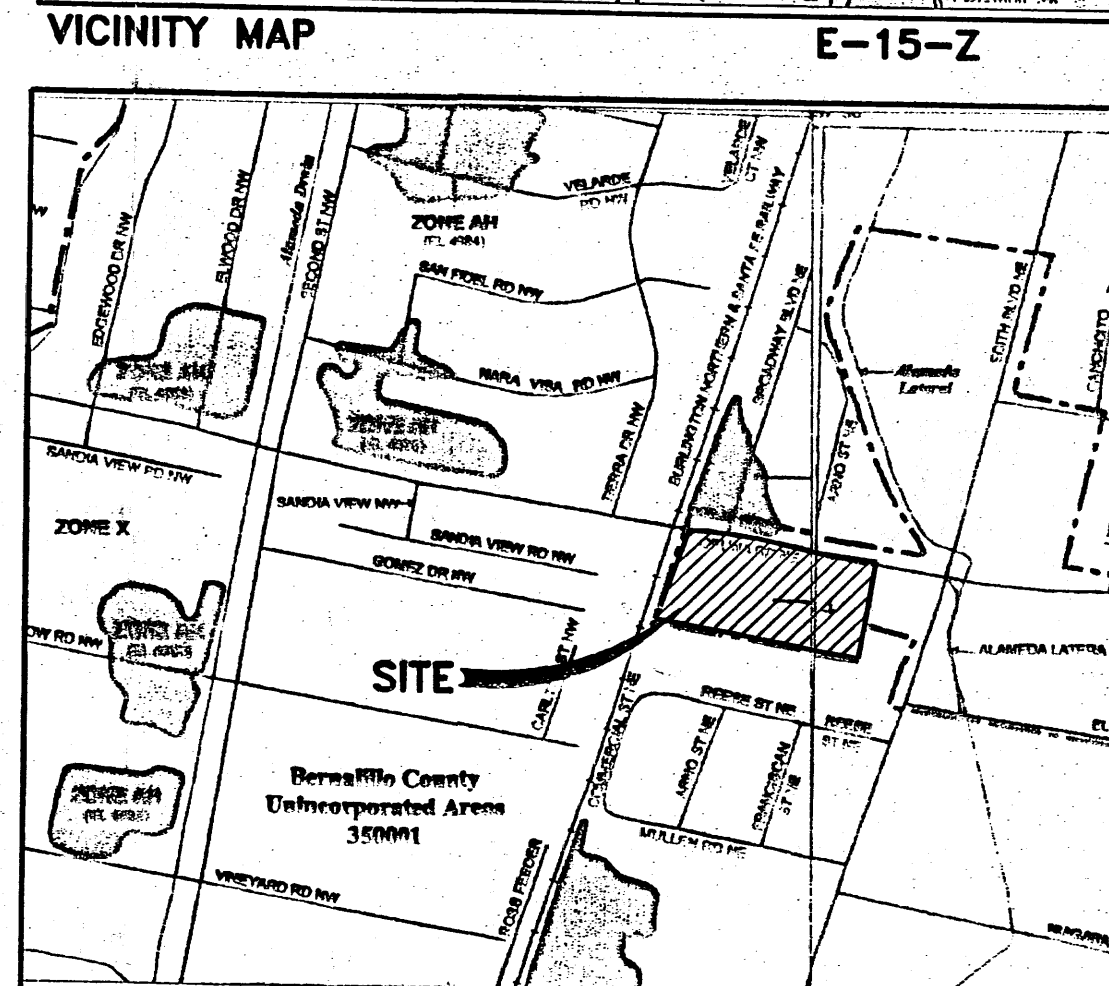
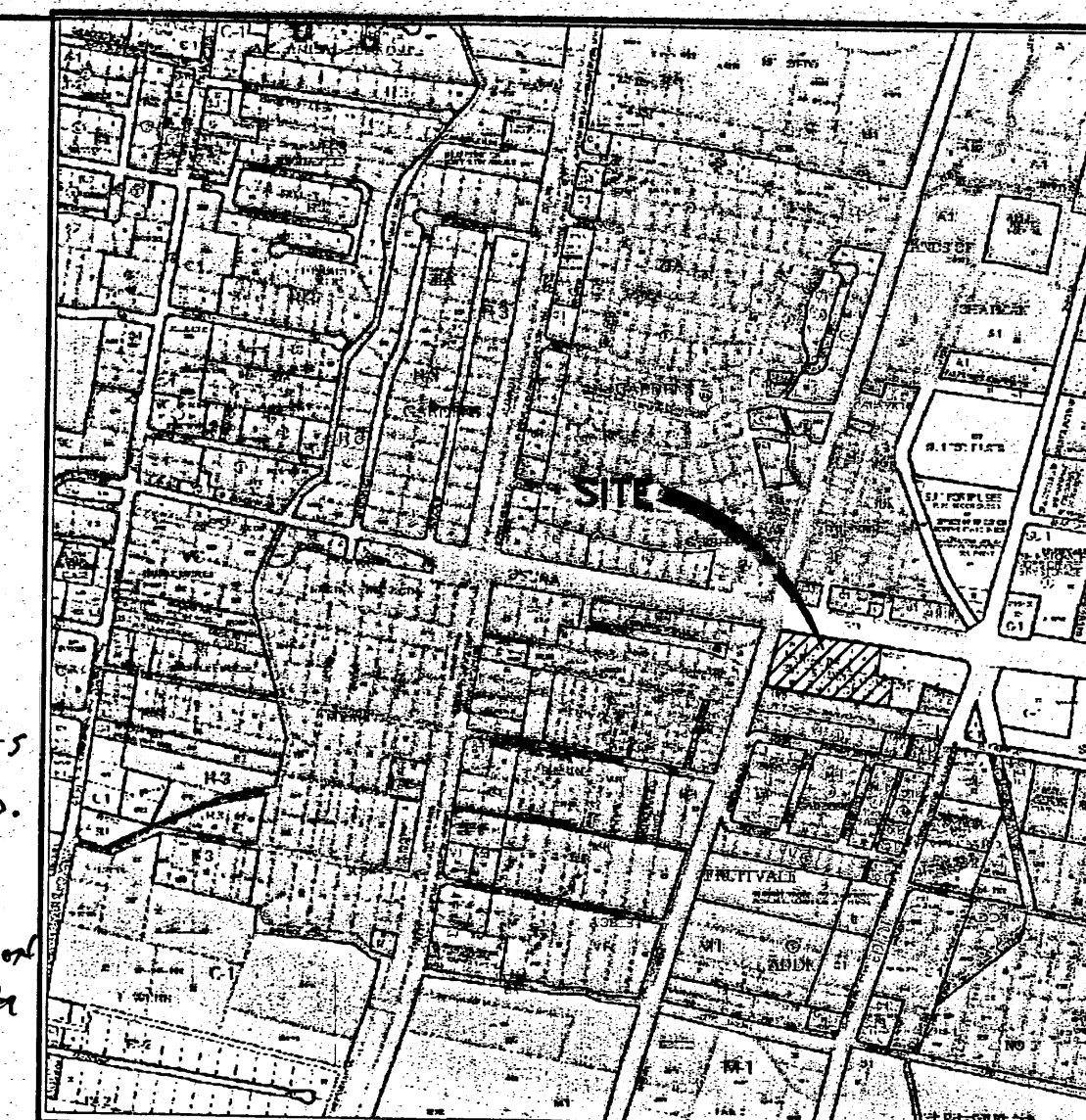
EXISTING CONDITIONS
THE EXISTING SITE IS PREDOMINANTLY SILTY SAND AND CLAYEY SAND TYPE SOILS LOCATED WITHIN VARIOUS GRASSES AND SHRUBS. THE EXISTING SITE HAS PREVIOUSLY GRADED AS PART OF THE ADJACENT COMMERCIAL DEVELOPMENT. OFFSITE SLOPES ARE VERY FROM 1% TO 6%. SEVERAL OFFSITE DRAINAGE BASINS EAST OF THE PROJECT CURRENTLY DRAIN WEST ALONG AN ACCESS ROAD WITH AN INVERTED CULVERT. BOTH OFFSITE AND ONSITE BASINS CURRENTLY DISCHARGE INTO A TEMPORARY DETENTION BASIN IN THE WESTERN CORNER OF THE SITE. THE TEMPORARY DETENTION BASIN IS EQUIPPED WITH A SUMP PUMP THAT DISCHARGES TO THE EXISTING DRAINAGE STRUCTURE (DETENTION POND) WITHIN OSUNA ROAD. THE OFFSITE DRAINAGE STRUCTURE DISCHARGES INTO THE ALAMEDA RIVERSIDE DRAIN.

PROPOSED CONDITIONS
THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF MULTIPLE OFFICE BUILDINGS WITH ASSOCIATED INFRASTRUCTURE. ONSITE AND OFFSITE RUNOFF WILL CONTINUE TO DRAIN IN A WESTERLY DIRECTION WITHIN THE EXISTING ACCESS ROAD. THE ACCESS ROAD WILL THEN PASS ITS FLOWS INTO THE PROPOSED ONSITE DETENTION BASIN IN THE SOUTHWEST CORNER OF THE PROPERTY VIA AN ONSITE STORM DRAIN SYSTEM. THE DETENTION BASIN WILL BE EQUIPPED WITH AN UPGRADED SUMP PUMP DESIGNED TO EVACUATE THE POND WITHIN 18 HOURS. THE PUMP DISCHARGES TO THE EXISTING DRAINAGE FACILITY IN OSUNA ROAD AT THE SAME POINT OF DISCHARGE AS THE TEMPORARY POND. SEE SHEET 7 OF 10 FOR FURTHER EXPLANATION OF THE PROPOSED DRAINAGE CONCEPT.

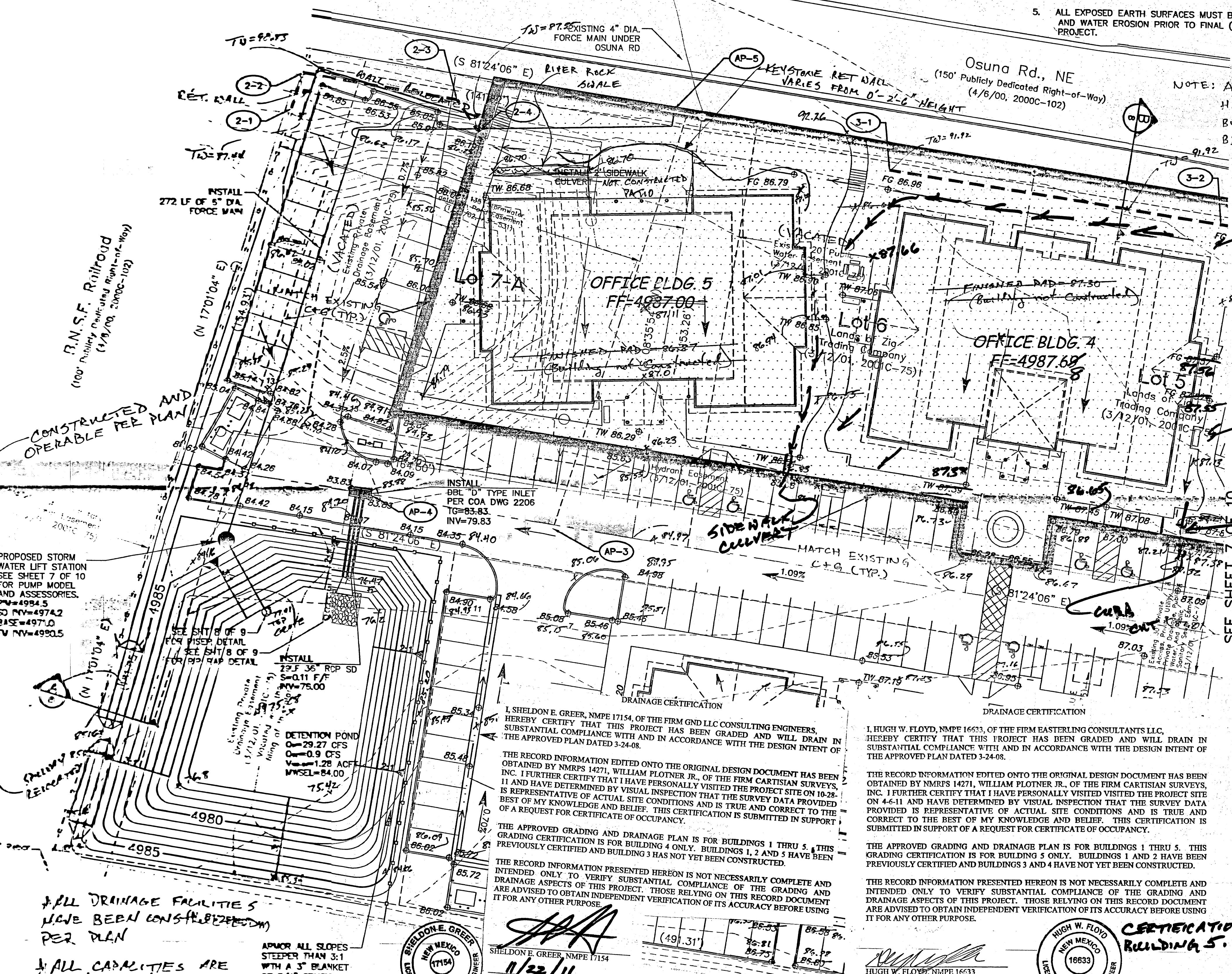
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTE: ALL SITE IMPROVEMENTS HAVE BEEN CONSTRUCTED. BUILDINGS 1+2 HAVE BEEN CONSTRUCTED. 4/6/11 - THIS CERTIFICATION NOW INCLUDE BUILDING 5.



AS BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	JRW	BY
STAMPED BY	DATE	NO.	BY	JRW	BY
INSPECTOR'S	DATE	NO.	BY	JRW	BY
FILED	DATE	NO.	BY	JRW	BY
REVISION	DATE	NO.	BY	JRW	BY
CERTIFICATION	DATE	NO.	BY	JRW	BY
BY	DATE	NO.	BY	JRW	BY
REVISION	DATE	NO.	BY	JRW	BY
DESIGN	DATE	NO.	BY	JRW	BY



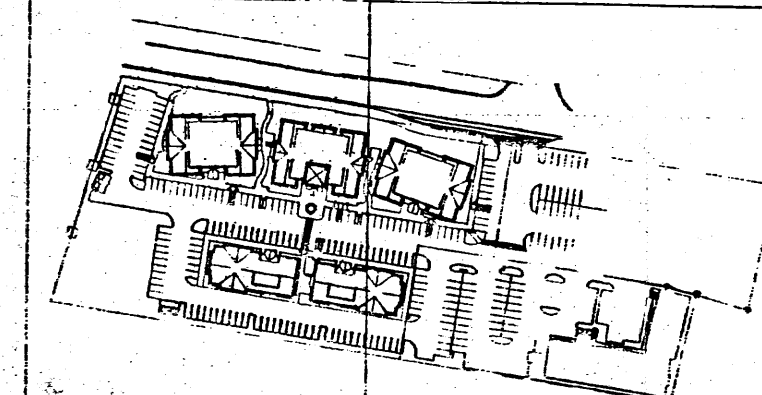
GENERAL NOTES

1. SEE SHEET 7 OF 10 FOR RETAINING WALL ELEVATIONS
2. SEE SHEET 9 OF 10 FOR RETAINING WALL TYPICAL SECTIONS
3. PROPOSED POND HAS BEEN CONSTRUCTED AND HAS A CAPACITY EQUAL TO THE FULLY DEVELOPED 100YR-24HR STORM. THE PROPOSED STORM WATER LIFT STATION TO BE CONSTRUCTED AS PART OF THE FIRST PHASE. (COMPLETE)
4. PROPOSED BASINS MATCH THOSE SHOWN ON THE ORIGINALLY APPROVED GRADING AND DRAINAGE PLAN DATED 7-13-07. ALL BASINS EVENTUALLY DRAIN INTO THE SUMP IN THE MAIN EAST-WEST ACCESS DRIVE.

LEGEND

- PROPOSED FUTURE PHASE OF PROJECT
- FLOW ARROW
- SWALE
- HYDRAULIC ANALYSIS POINT
- PROPOSED BASIN LINE AND DESIGNATION
- FLOWLINE ELEVATION
- TOP OF WALK ELEVATION
- EXIST ASPHALT ELEVATION
- FINISHED GRADE ELEVATION
- RIP RAP
- RETAINING WALL
- RETAINING WALL POINT
- STORM DRAIN-INLET
- CMP RISER
- PROPOSED FENCE

KEY MAP



I, HUGH W. FLOYD, NMPE 16633, OF THE FIRM EASTLING CONSULTANTS LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-24-08.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPE 14271, WILLIAM PLOTNER JR., OF THE FIRM CARTISIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-6-11 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE APPROVED GRADING AND DRAINAGE PLAN IS FOR BUILDINGS 1 THRU 5. THIS GRADING CERTIFICATION IS FOR BUILDING 5 ONLY. BUILDINGS 1, 2 AND 5 HAVE BEEN PREVIOUSLY CERTIFIED AND BUILDING 3 AND 4 HAVE NOT YET BEEN CONSTRUCTED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CERTIFICATION BUILDING 5.
DATE: 4/6/11
HUGH W. FLOYD, NMPE 16633

HYDRAULIC SUMMARY	
AP	DESCRIPTION
AP-1	OFFSITE FLOW
AP-2	OFFSITE FLOW
AP-3	STREET FLOW
AP-4	SUMP
AP-5	PUMP DISCHARGE

ALL DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED PER PLAN
ALL CAPACITIES ARE PER DESIGN

HYDROLOGIC DATA - EXISTING									
BASINS	AREA (acres)	A	B	C	D	YIELD (cfs/acre)	Q ¹⁰⁰ (cfs)	Q ¹⁰ (cfs)	V ¹⁰⁰⁻²⁴ (cfs)
A1	0.88	0	0	0	0	4.48	2.54	3.92	0.17
A2	2.17	0	0	0	0	4.22	3.79	9.16	0.38
A3	0.36	0	0	0	0	2.47	0.39	0.88	0.03
OS1	0.55	0	0	0	0	4.49	1.62	2.50	0.11
OS2	0.60	0	0	0	0	3.27	1.07	1.95	0.07
OS3	2.46	0	0	0	0	4.48	7.03	10.86	0.46

HYDROLOGIC DATA - DEVELOPED									
BASINS	AREA (acres)	A	B	C	D	YIELD (cfs/acre)	Q ¹⁰⁰ (cfs)	Q ¹⁰ (cfs)	V ¹⁰⁰⁻²⁴ (cfs)
A1	0.88	0	0	0	0	4.48	2.54	3.92	0.17
A2	2.17	0	0	0	0	4.22	3.79	9.16	0.38
A3	0.36	0	0	0	0	2.47	0.39	0.88	0.03
OS1	0.55	0	0	0	0	4.49	1.62	2.50	0.11
OS2	0.60	0	0	0	0	3.27	1.07	1.95	0.07
OS3	2.46	0	0	0	0	4.48	7.03	10.86	0.46

LEGAL DESCRIPTION
Lots 4, 5, 6, 7A and 8A
Lands of Zia Trading Center
City of Albuquerque
Bernalillo County, New Mexico

1. SHELDON E. GREER, NMPE 17154, OF THE FIRM GND, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN STAMP DATED 03-24-08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPE 14271, WILLIAM PLOTNER JR., OF THE FIRM CARTISIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 06-26-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CERTIFICATION FOR BUILDINGS 1+2.
DATE: 6/27/08
SHELDON GREER, NMPE 17154

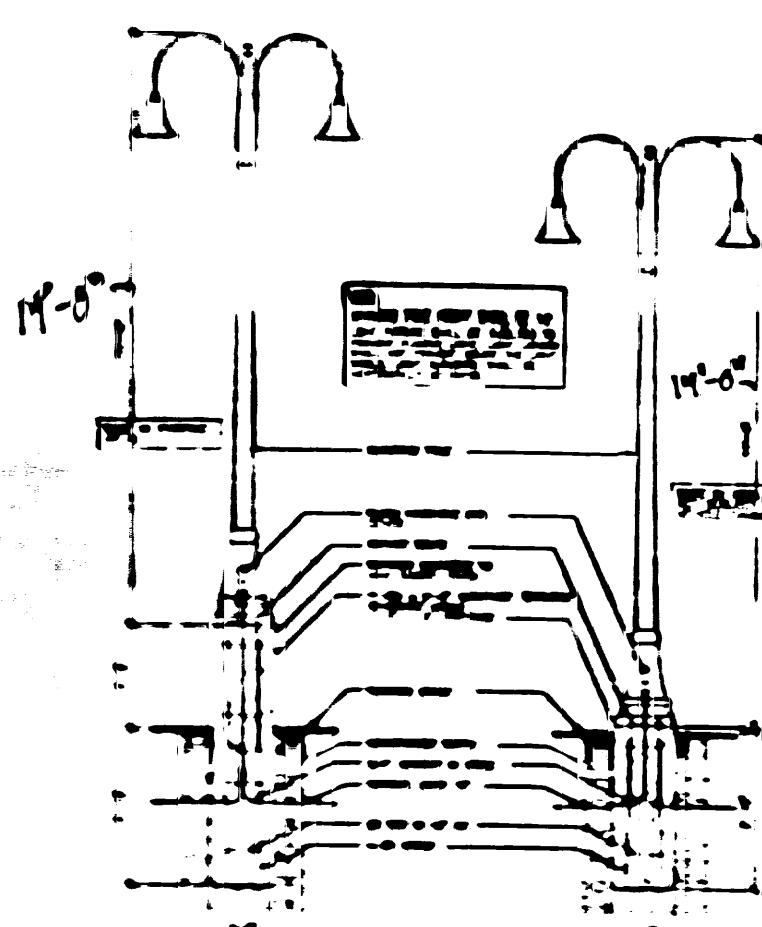
GND, LLC
CONSULTING ENGINEERS
3643 Pacific Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-4182
Fax: (505) 899-4184

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

SUN VALLEY COMMERCIAL CENTER
BUILDINGS 3, 4 + 5
GRADING AND DRAINAGE PLAN

MONTH/DAY/YEAR	USER
DEC 09 2011	RECEIVED
HYDROLOGY SECTION	

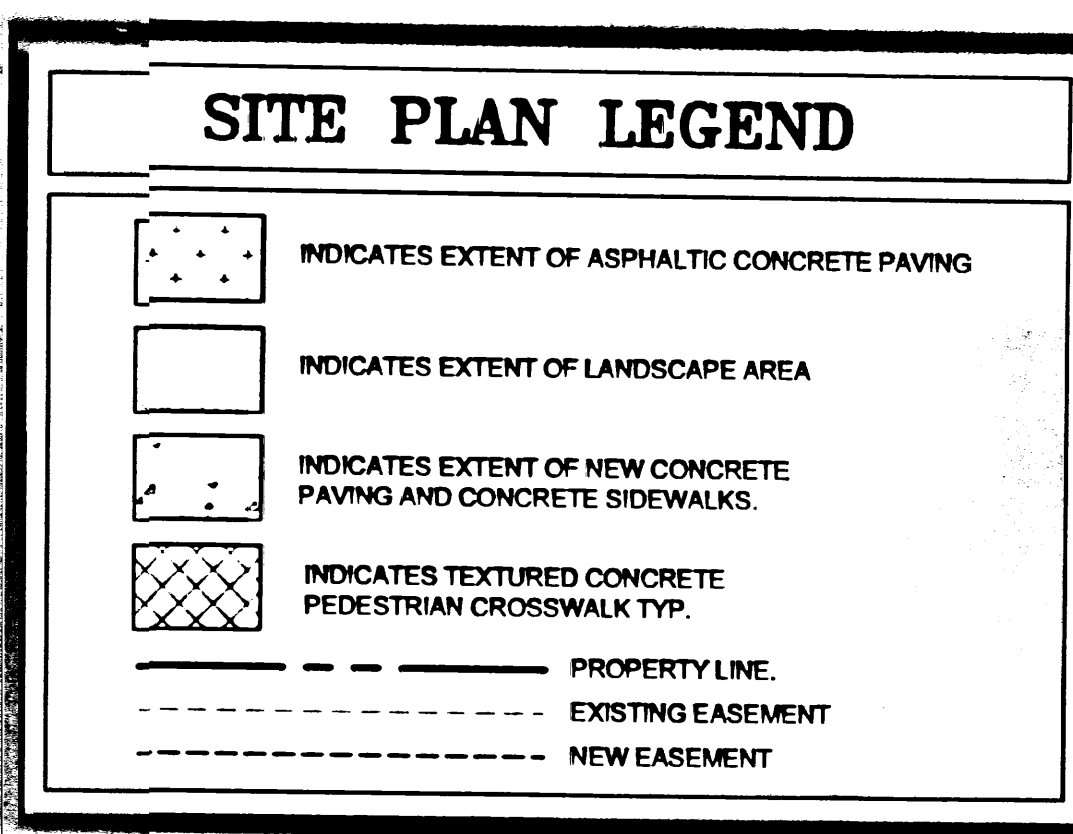
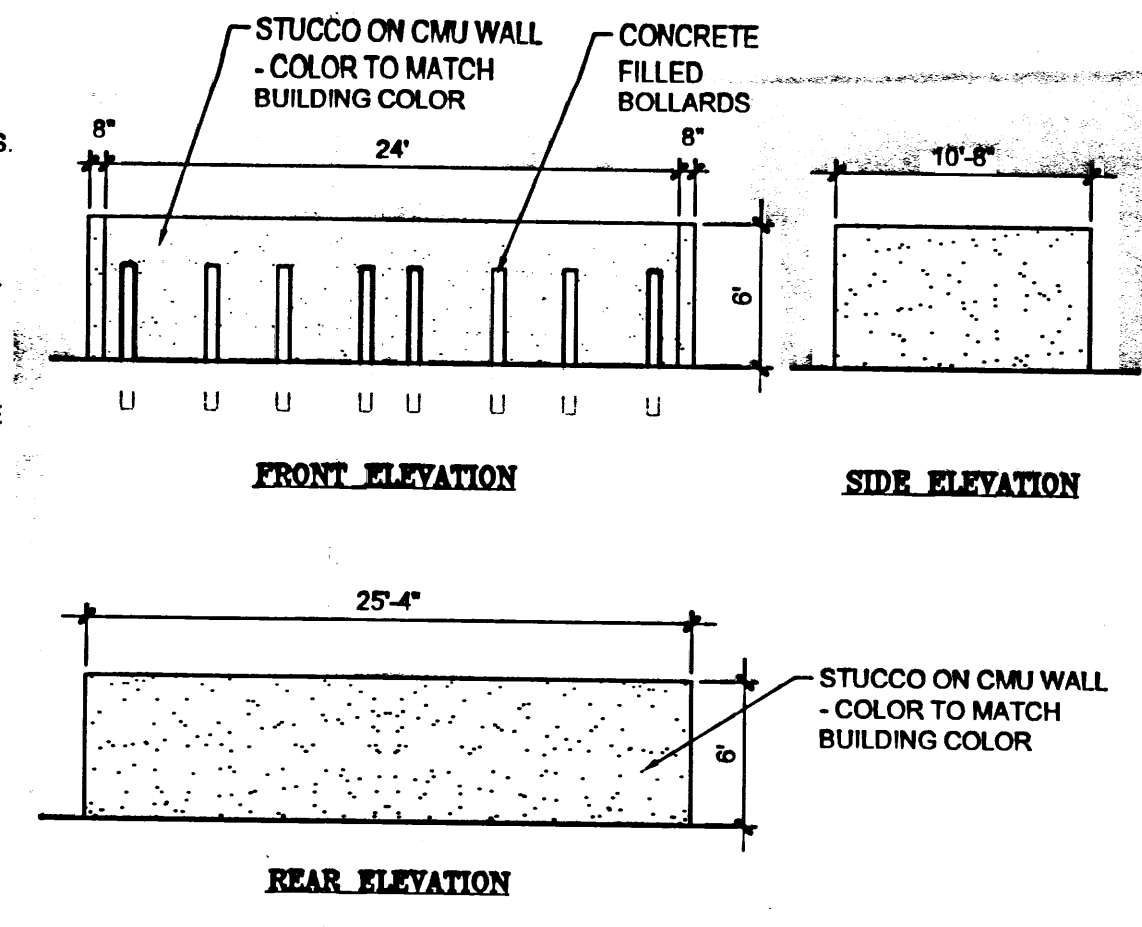
CITY PROJECT No. 657082 ZONE MAP No. E15 SHEET 6 OF 10



SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITE. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BLDG.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT CANDLETS. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PERMITTED. ALL LAMPS MUST REMAIN THE SAME FROM THE PREVIOUSLY APPROVED SITE AND ITS DETAILS.



PARKING ANALYSIS:

PARKING REQUIRED: 34209 SF / 200 = 171

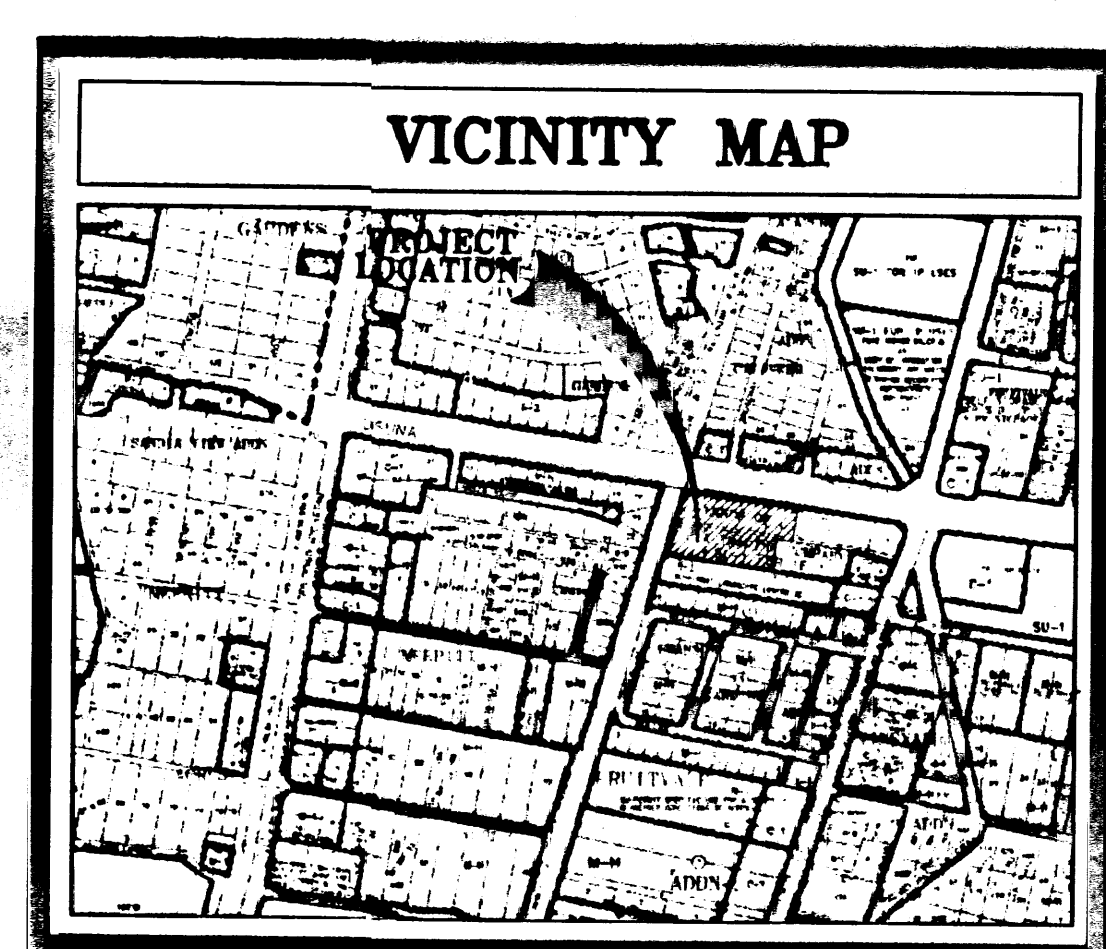
PROVIDED: 172 SPACES INCL. 6 MOTORCYCLE SPACES

ADA SPACES: 8 REQUIRED, 10 PROVIDED

BICYCLE PARKING: 171 / 20 = 9 REQUIRED, 12 PROVIDED

LOT SIZE:

148092 SF = 3.45 ACRES



D4 ZONE ATLAS MAP E-15

SCALE: N.T.S.

SIGNATURE BLOCK

PROJECT NUMBER: 1000351

APPLICATION CASE NUMBER: 070RB-70140

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED March 15, 2007 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRE SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	6-1-07	DATE
WATER UTILITY (EVALUATION)	8-1-07	DATE
CHRISTOPHER SANDORAL	3/1/07	DATE
PARKS & RECREATION DEPARTMENT	2/22/07	DATE
BRADLEY B. BIGLER	2/22/07	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA		
N/A		
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	7/14/07	DATE
SOLID WASTE MANAGEMENT	2/22/08	DATE
CH 2/31/07 ANDREW GARCIA		
DRE CHAIRPERSON, PLANNING DEPARTMENT		

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE

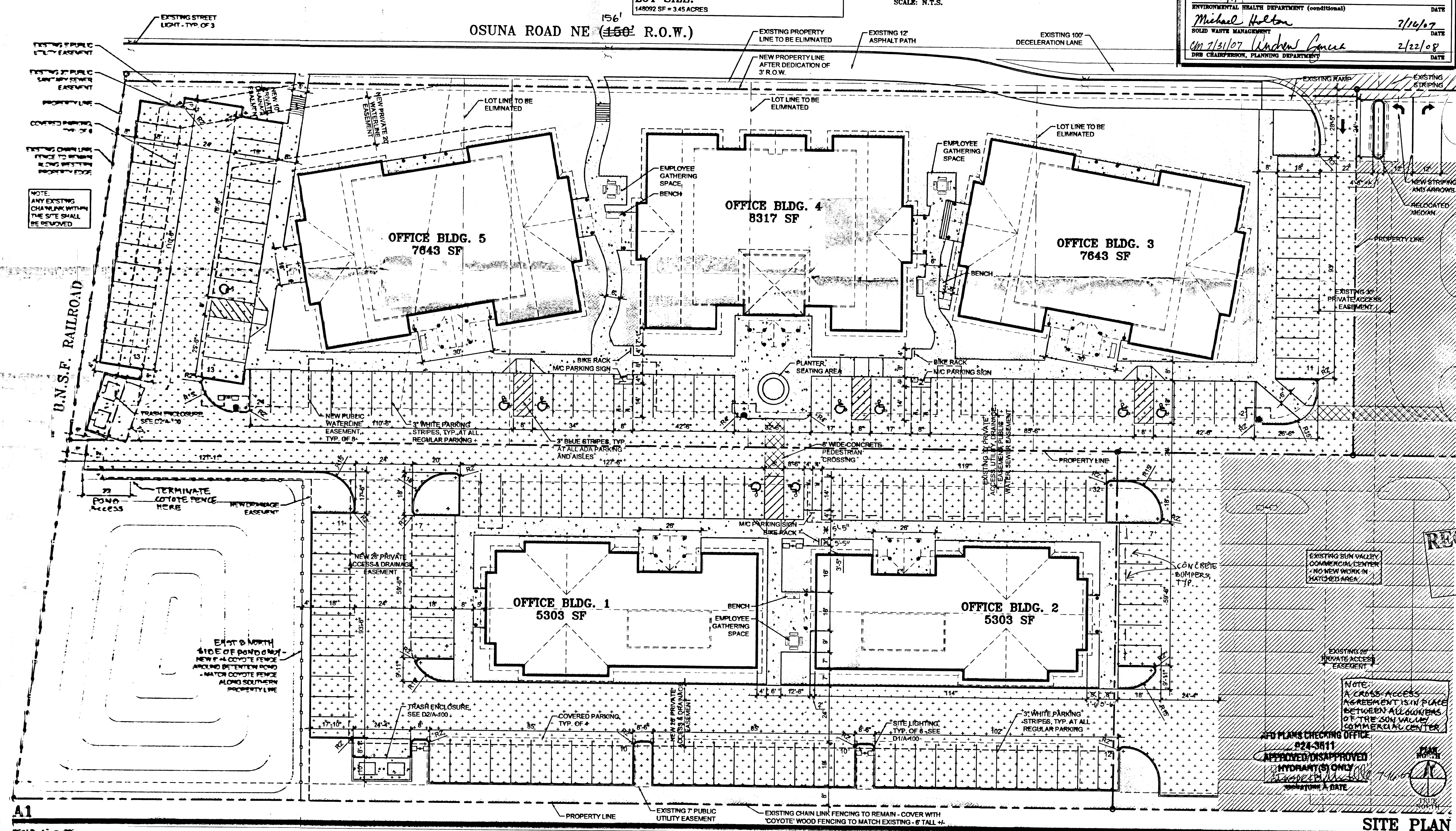
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D1 LIGHTING DETAIL

SCALE: N.T.S.

D2 TRASH ENCLOSURE DETAIL

SCALE: 1/8" = 1'-0"



CONSULTANTS

PROFESSIONAL SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

212008

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06205

DRAWING FILE: 1000351

DRAWN BY: LH

CHECK BY: CLAUDIO VIGIL ARCHITECTS 2007

COPYRIGHT: JULY 12, 2007

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER
A-100

A1

SCALE: 1" = 20'

SITE PLAN

EXISTING CONDITIONS

THE EXISTING SITE IS PREDOMINANTLY SILTY SAND AND CLAYEY SAND TYPE SOILS WITH VARIOUS GRADES AND SLOPES. THE PROPOSED SITE WAS PREVIOUSLY GRADED AS PART OF THE ADJACENT DEVELOPMENT. ON-SITE SLOPES ARE VARYING FROM 1% TO 6%. SEVERAL EXISTING OFFSITE BASINS EAST OF THE PROJECT CURRENTLY DRAIN WEST ALONG AN ACCESS ROAD WITH AN INVERTED CROWN. BOTH OFFSITE AND ON-SITE BASINS CURRENTLY DISCHARGE INTO A TEMPORARY DETENTION BASIN IN THE NORTHWEST CORNER OF THE SITE. THE TEMPORARY DETENTION POND IS EQUIPPED WITH A SUMP PUMP THAT DISCHARGES TO THE EXISTING DRAINAGE STRUCTURE (DETENTION POND) WITHIN OSUNA ROAD. THE OFFSITE DRAINAGE STRUCTURE DISCHARGES INTO THE ALAMEDA RIVER SIDE DRAIN.

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF MULTIPLE OFFICE BUILDINGS WITH ASSOCIATED INFRASTRUCTURE. ON-SITE AND OFFSITE RUNOFF WILL CONTINUE TO DRAIN IN A WESTERLY DIRECTION WITHIN THE EXISTING ACCESS ROAD. THE ACCESS ROAD WILL THEN PASS ITS FLOWS INTO THE PROPOSED ON-SITE DETENTION BASIN IN THE SOUTHWEST CORNER OF THE PROPERTY VIA AN ON-SITE STORM DRAIN SYSTEM. THE DETENTION BASIN WILL BE EQUIPPED WITH AN UPGRADED SUMP PUMP DESIGNED TO EVACUATE THE POND WITHIN 18 HOURS. THE PUMP DISCHARGES TO THE EXISTING DRAINAGE FACILITY IN OSUNA ROAD AT THE SAME POINT OF DISCHARGE AS THE TEMPORARY POND. SEE SHEET 7 OF 10 FOR FURTHER EXPLANATION OF THE PROPOSED DRAINAGE CONCEPT.

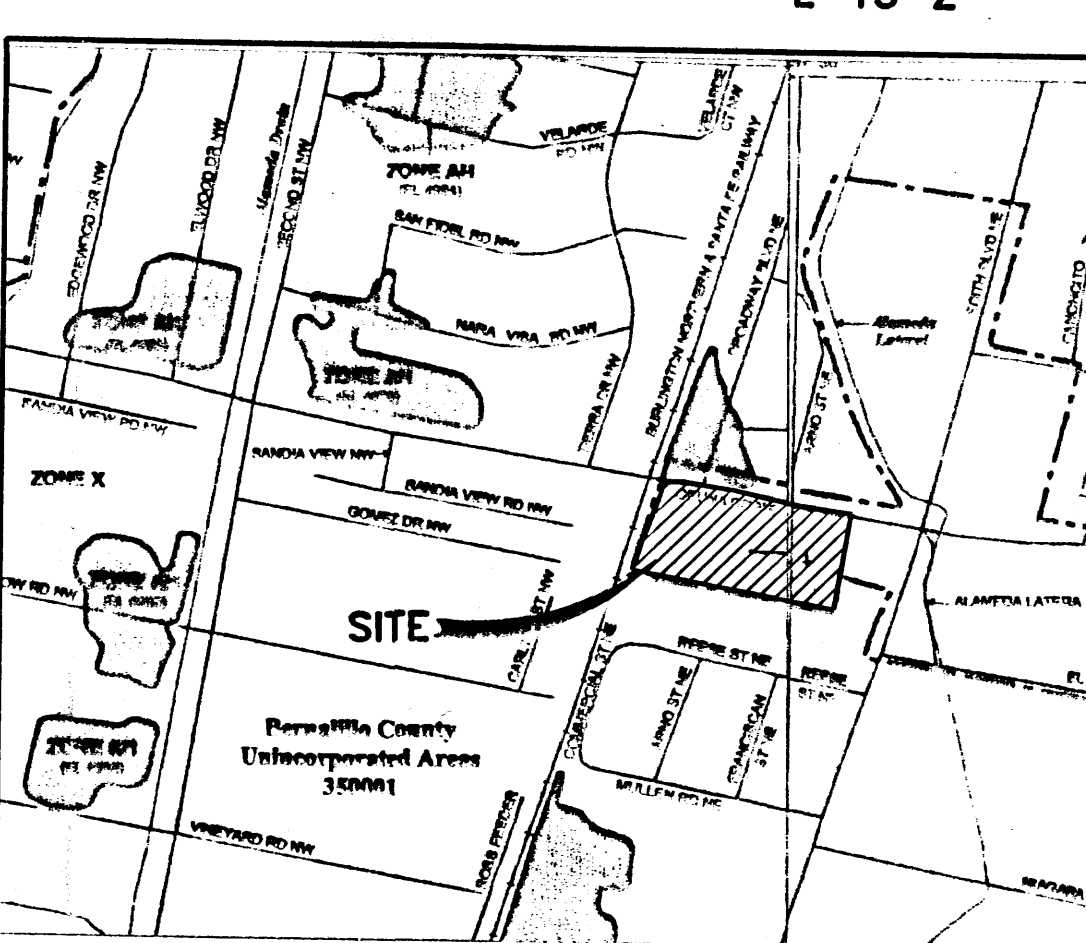
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTE: ALL SITE IMPROVEMENTS HAVE BEEN CONSTRUCTED. BUILDINGS 1+2 HAVE BEEN CONSTRUCTED. THIS CERTIFICATION NOW INCLUDES BUILDING 5.



VICINITY MAP



FIRM MAP

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	CONTRACTOR	DATE
STANDARD BY	DATE	STANDARD BY	DATE
INSPECTOR'S	DATE	INSPECTOR'S	DATE
FIELD	DATE	FIELD	DATE
APPROVAL BY	DATE	APPROVAL BY	DATE
CORRECTED BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.	

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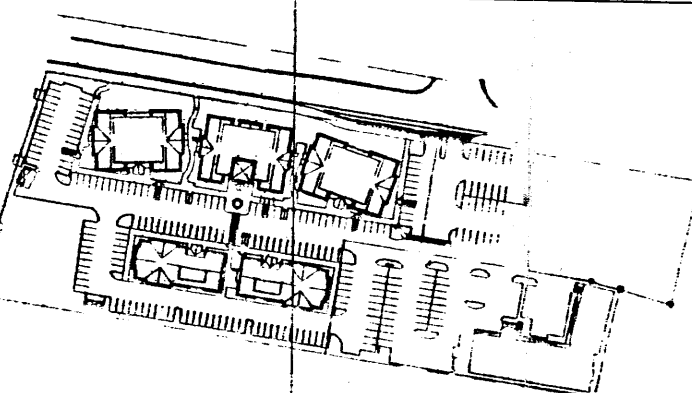
GENERAL NOTES

1. SEE SHEET 7 OF 10 FOR RETAINING WALL ELEVATIONS
2. SEE SHEET 9 OF 10 FOR RETAINING WALL TYPICAL SECTIONS
3. PROPOSED POND HAS BEEN CONSTRUCTED AND HAS A CAPACITY EQUAL TO THE FULLY DEVELOPED 100YR-24HR STORM. THE PROPOSED STORM WATER LIFT STATION TO BE CONSTRUCTED AS PART OF THE FIRST PHASE. (COMPLETE)
4. PROPOSED BASINS MATCH THOSE SHOWN ON THE ORIGINALLY APPROVED GRADING AND DRAINAGE PLAN DATED 7-13-07. ALL BASINS EVENTUALLY DRAIN INTO THE SUMP IN THE MAIN EAST-WEST ACCESS DRIVE.

LEGEND

- PROPOSED FUTURE PHASE OF PROJECT
- FLOW ARROW
- SWALE
- HYDRAULIC ANALYSIS POINT
- PROPOSED BASIN LINE AND DESIGNATION
- FLOWLINE ELEVATION
- TOP OF WALK ELEVATION
- EXIST ASPHALT ELEVATION
- FINISHED GRADE ELEVATION
- RIP RAP
- RETAINING WALL
- RETAINING WALL POINT
- STORM DRAIN INLET
- CMP RISER
- PROPOSED FENCE

KEY MAP



LEGAL DESCRIPTION

Lots 4, 5, 6, 7A and 8A
Lands of Zia Trading Center
City of Albuquerque
Bernalillo County, New Mexico

THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN STAMP DATED 03-24-08. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

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EXISTING CONDITIONS

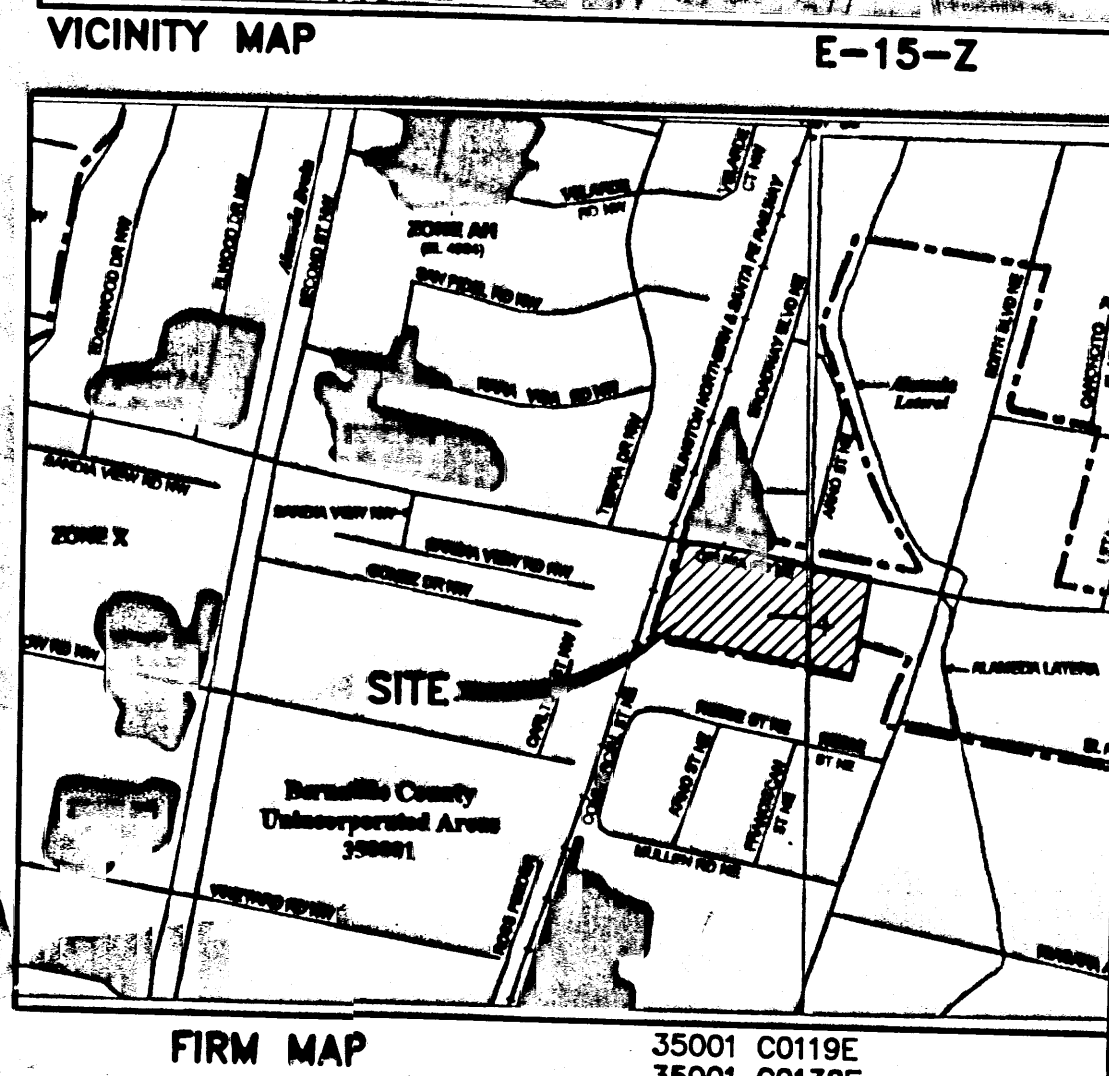
THE EXISTING SITE IS PREDOMINANTLY SILTY SAND AND CLAYEY SAND TYPE SOILS LOWLY WEATHERED WITH VARIOUS GRASSES AND SHRUBS. THE PROPOSED SITE WAS PREVIOUSLY GRADED AS PART OF THE ADJACENT DEVELOPMENT. ON-SITE SLOPES ARE VERY FROM 1% TO 6% SEVERAL ALONG AN ACCESS ROAD WITH AN INVERTED CROWN. BOTH OFF-SITE AND ON-SITE BASINS CURRENTLY DISCHARGE INTO A TEMPORARY RETENTION BASIN IN THE WESTERN CORNER OF THE SITE. THE TEMPORARY RETENTION POND IS EQUIPPED WITH A SUMP PUMP THAT DISCHARGES TO THE EXISTING DRAINAGE STRUCTURE (RETENTION POND) WITHIN OSUNA ROAD. THE OFF-SITE DRAINAGE STRUCTURE DISCHARGES INTO THE ALAMEDA RIVER DRAIN.

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF MULTIPLE OFFICE BUILDINGS WITH ASSOCIATED INFRASTRUCTURE. ON-SITE AND OFF-SITE RUNOFF WILL CONTINUE TO DRAIN IN A WESTERLY DIRECTION WITHIN THE EXISTING ACCESS ROAD. THE ACCESS ROAD WILL THEN PASS ITS FLOW INTO THE PROPOSED ON-SITE DETENTION BASIN IN THE SOUTHWEST CORNER OF THE PROPERTY VIA AN ON-SITE STORM DRAIN SYSTEM. THE DETENTION BASIN WILL BE EQUIPPED WITH AN UPGRADED SUMP PUMP DESIGNED TO EVACUATE THE POND WITHIN 18 HOURS. THE PUMP DISCHARGES TO THE EXISTING DRAINAGE FACILITY IN OSUNA ROAD AT THE SAME POINT OF DISCHARGE AS THE TEMPORARY POND. SEE SHEET 7 OF 10 FOR FURTHER EXPLANATION OF THE PROPOSED DRAINAGE CONCEPT.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION

Lots 4, 5, 6, 7A and 8A
Lands of Zia Trading Center
City of Albuquerque
Bernalillo County, New Mexico

GENERAL NOTES

1. SEE SHEET 7 OF 10 FOR RETAINING WALL ELEVATIONS
2. SEE SHEET 9 OF 10 FOR RETAINING WALL TYPICAL SECTIONS
3. PROPOSED POND HAS BEEN CONSTRUCTED AND HAS A CAPACITY EQUAL TO THE FULLY DEVELOPED 100YR-24HR STORM. THE PROPOSED STORM WATER LIFT STATION TO BE CONSTRUCTED AS PART OF THE FIRST PHASE.
4. PROPOSED BASINS MATCH THOSE SHOWN ON THE ORIGINALLY APPROVED GRADING AND DRAINAGE PLAN DATED 7-13-07. ALL BASINS EVENTUALLY DRAIN INTO THE SUMP IN THE MAIN EAST-WEST ACCESS DRIVE.

LEGEND

- FUTURE PHASE OF PROJECT
- FLOW ARROW
- SWALE
- AP-1 HYDRAULIC ANALYSIS POINT
- A1 PROPOSED BASIN LINE AND DESIGNATION
- 33.65 FLOWLINE ELEVATION
- 33.65 TW TOP OF WALK ELEVATION
- 33.65 EA EXIST ASHALT ELEVATION
- 33.65 FG FINISHED GRADE ELEVATION
- RIP RAP
- RETAINING WALL
- 1-1 RETAINING WALL POINT
- STORM DRAIN INLET
- CMP RISE
- PROPOSED FENCE

HYDROLOGY SECTION

DATE: 6/27/08

SCALE: 1"=20'

GND, LLC
CONSULTING ENGINEERS

303 Franklin Blvd NW
Albuquerque, NM 87114
Phone: (505) 894-4122
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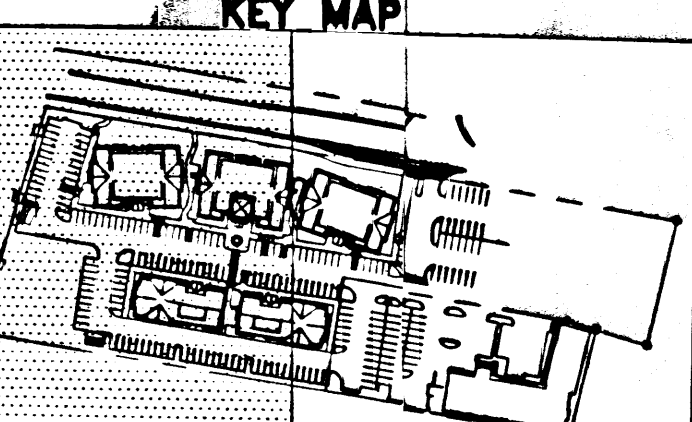
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
SUN VALLEY COMMERCIAL CENTER

GRADING AND DRAINAGE PLAN

MONTH/DAY/YEAR: _____ USER DEPARTMENT: _____

LATEST DESIGN UPDATE: _____

CITY PROJECT No. 657082 ZONE MAP No. E15 SHEET 6 OF 10



HYDROLOGIC DATA - EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀ (cfs)	Q ₅₀ (cfs)	Q ₁₀₀ (cfs)
		A	B	C	D				
A1	0.88	0	10	0	0	4.48	2.34	3.82	0.17
A2	2.17	0	20	0	0	4.22	5.79	8.18	0.38
A3	0.38	0	80	20	0	2.47	0.39	0.86	0.03
OS1	0.55	0	10	0	0	4.48	1.82	2.50	0.11
OS2	0.60	0	80	0	0	3.27	1.07	1.95	0.07
OS3	2.48	0	10	0	0	4.48	7.03	10.86	0.48

HYDROLOGIC DATA - DEVELOPED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀ (cfs)	Q ₅₀ (cfs)	Q ₁₀₀ (cfs)
		A	B	C	D				
A1	0.88	0	10	0	0	4.48	2.34	3.82	0.17
A2	2.17	0	20	0	0	4.22	5.79	8.18	0.38
A3	0.38	0	80	20	0	2.47	0.39	0.86	0.03
OS1	0.55	0	10	0	0	4.48	1.82	2.50	0.11
OS2	0.60	0	80	0	0	3.27	1.07	1.95	0.07
OS3	2.48	0	10	0	0	4.48	7.03	10.86	0.48

HYDRAULIC SUMMARY

AP	DESCRIPTION	SLOPE (ft)	Q ₁₀ (cfs)
AP-1	OFFSITE FLOW	VARIABLE	4.48
AP-2	OFFSITE FLOW	VARIABLE	13.30
AP-3	STREET FLOW	1.09%	24.46
AP-4	SUMP	-	29.27
AP-5	PUMP DISCHARGE	-	-0.8

ALL DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED PER PLAN

ALL CAPACITIES ARE PER DESIGN

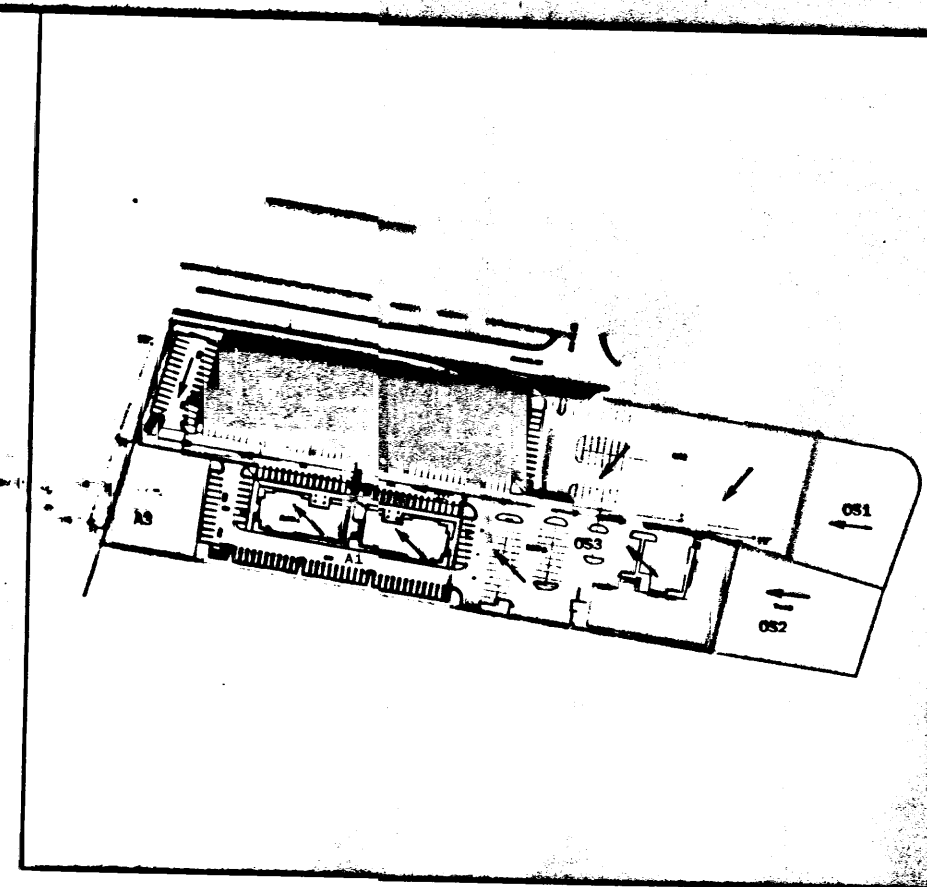
APPROX ALL SLOPES STEEPER THAN 3:1 WITH A 3" BLANKET OF 3/4" CRUSHED GRAVEL

PRECIPITATION ZONE 2 WAS USED IN THE HYDROLOGIC ANALYSIS

PRECIPITATION ZONE 2 WAS USED IN THE HYDROLOGIC ANALYSIS

Existing 7" P.U.E. (3/12/01, 2000C-102)

Tract 56
G.C.D. Map No. 29



DRAINAGE CONCEPT

AS IS MENTIONED ON SHEET 8 OF 10, THE EXISTING SITE CURRENTLY DRAINS TO AN ONSITE RETENTION POND EQUIPPED WITH A SMALL PUMP INTENDED TO EVACUATE STORM WATER FROM THE FACILITY. THE CURRENT POND APPEARS TO HAVE BEEN SIZED FOR A 100YR-100AY DESIGN STORM (WATER-1.5ACFT). THE PROPOSED POND WILL BE RELOCATED TO THE SOUTHWEST CORNER OF THE SITE AND BE RECONFIGURED TO ACCOMMODATE THE PROPOSED SITE PLAN. IN AN EFFORT TO REDUCE THE FOOTPRINT OF THE FUTURE POND, IT IS PROPOSED THAT THE DISCHARGE RATE FROM THE POND BE INCREASED SO AS TO EVACUATE THE DESIGN STORM VOLUME WITHIN 24 HOURS. BY DOING SO, IT IS ASSUMED THAT IT WOULD BE ACCEPTABLE TO DESIGN THE FUTURE POND USING-A 100YR-24HR DESIGN STORM.

IT IS CURRENTLY ASSUMED THAT THE EXISTING PUMP STATION DISCHARGES TO THE OSUNA ROAD DRAINAGE FACILITY AT A RATE OF APPROXIMATELY 0.33 CFS. THE PROPOSED LIFT STATION WILL DISCHARGE APPROXIMATELY 0.9 CFS TO THE SAME POINT OF DISCHARGE IN OSUNA ROAD, AN INCREASE OF 0.55 CFS. THE CHANGE IN DISCHARGE RATE REPRESENTS AN INCREASE OF LESS THAN 1% OF THE 10% DESIGN FLOW IN THE FACILITY (AS-BUILT DRAWINGS BY ESPEY, HUSTON, & ASSOCIATES, 1990).

THE PROPOSED STORM WATER LIFT STATION WILL BE CONSTRUCTED ALONG WITH THE FUTURE POND. PUMPING OPERATIONS WILL BE CONTROLLED IN AN EFFORT TO DELAY THE ONSET OF DISCHARGE TO THE OSUNA ROAD DRAINAGE FACILITY. PUMPING WILL BEGIN APPROXIMATELY 6 HOURS AFTER THE CYCLE IS INITIATED, THEREBY ALLOWING TIME FOR THE PEAK IN THE OSUNA DRAINAGE FACILITY HYDROGRAPH TO PASS. BASED ON THE DESIGN VOLUME ($V_{\text{max}}=1.22$ ACFT) AND THE PROPOSED DISCHARGE RATE ($Q_{\text{out}}=0.9$ CFS), THE PROPOSED POND WILL BE EVACUATED WITHIN 18 HOURS.

THE PROPOSED LIFT STATION WILL BE CONFIGURED AS FOLLOWS:

ONE-FLYGT MODEL NP3102 SUBMERSIBLE PUMP
5HP, 480/3/60, 1750 RPM, 50' POWER CABLE

EG CONTROLS, SIMPLEX CONTROL PANEL, NEMA 3R ENCLOSURE,
24VAC FLOAT CONTROL, ADJUSTABLE ON DELAY TIMER FOR
PUMP START.

260 LF-6" FORCE MAIN CONNECTING TO EXISTING
55 LF-4" FORCE MAIN CROSSING EAST BOUND OSUNA RD

SEE SHEET 6 OF 10 FOR SUMP AND DISCHARGE ELEVATIONS.

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEVATION	TOP OF FTG. ELEVATION	WALL HEIGHT (FT.)	APPROX. DIST. (FT.)
2-1	/87.67	/88.33		
2-2	91.00/91.00	86.33/86.33	1.33-4.67	14
2-3	91.00/91.00	86.33/86.33	4.67	56
2-4	87.00/	85.67/	4.67-1.33	14
3-1	/91.33	/88.00		
3-2	91.33/91.33	88.00/88.67	3.33	119
3-3	91.33/92.00	86.67/88.00	2.67	41
3-4	92.00/92.00	88.00/88.00	4.00	7
3-5	92.00/92.67	88.00/88.00	4.00	76
3-6	92.67/92.67	88.00/88.00	4.67	27
3-7	92.67/92.00	88.00/88.67	4.67	32
3-8	92.00/91.33	88.67/89.00	3.33	33
3-9	90.67/	86.33/	2.00-1.33	19

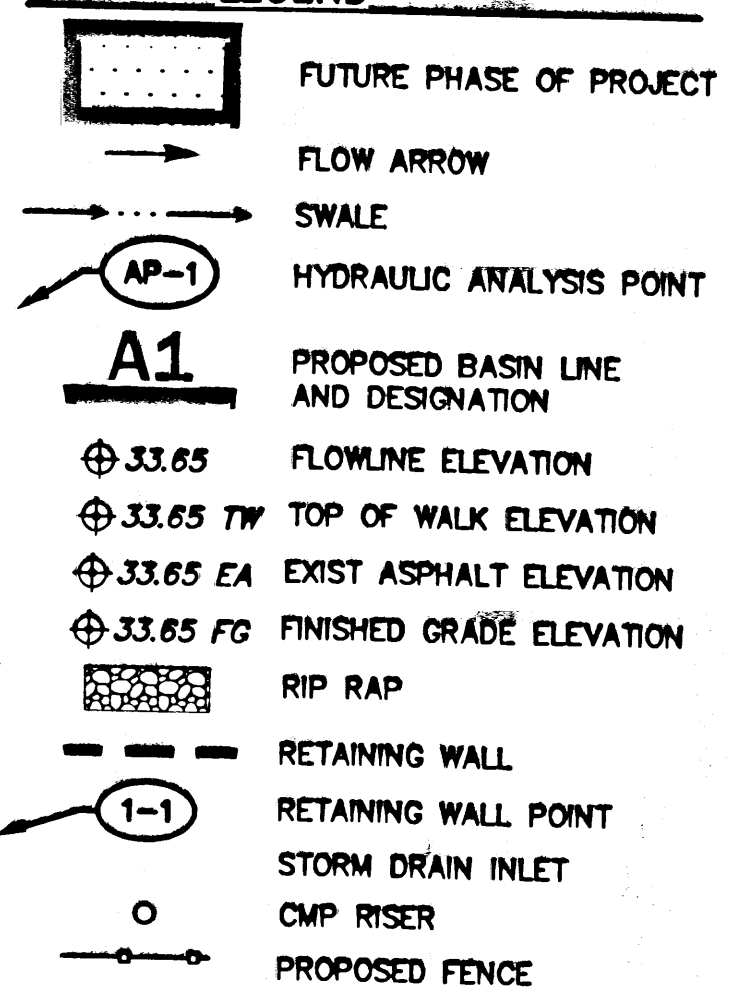
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

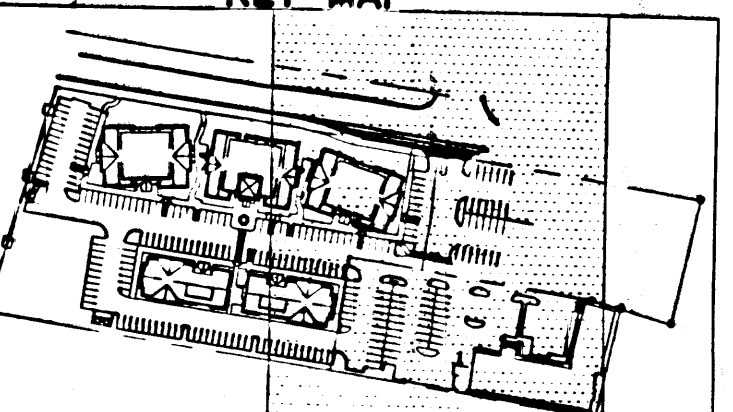
GENERAL NOTES

1. SEE SHEET 9 OF 10 FOR RETAINING WALL TYPICAL SECTIONS
2. PROPOSED POND HAS BEEN CONSTRUCTED AND HAS A CAPACITY EQUAL TO THE FULLY DEVELOPED 100YR-24HR STORM. THE PROPOSED STORM WATER LIFT STATION TO BE CONSTRUCTED AS PART OF THE FIRST PHASE.
3. PROPOSED BASINS MATCH THOSE SHOWN ON THE ORIGINALLY APPROVED GRADING AND DRAINAGE PLAN DATED 7-13-07. ALL BASINS EVENTUALLY DRAIN INTO THE SUMP IN THE MAIN EAST-WEST ACCESS DRIVE.

LEGEND



KEY MAP

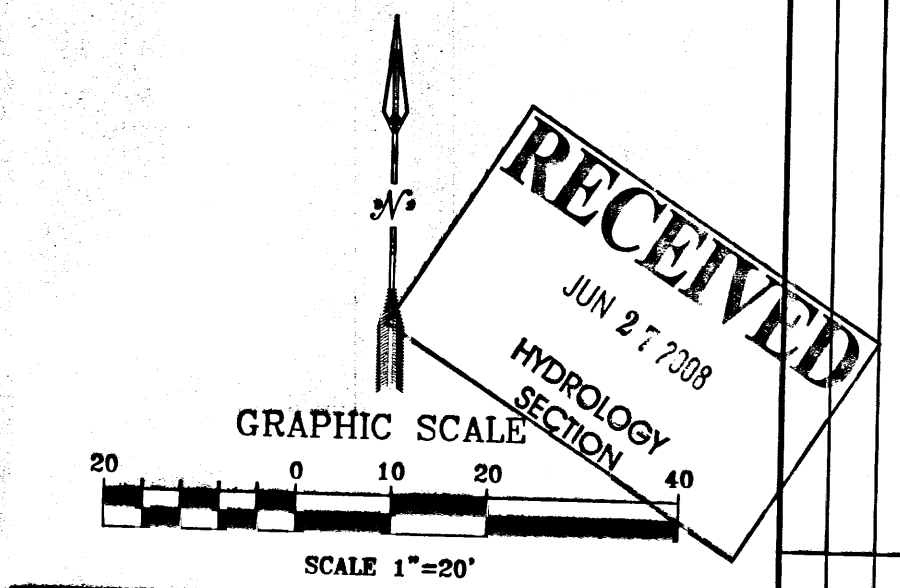


CERTIFICATE OF VERIFICATION

LESLIE DON GRIDER, NUMBER 17154, OF THE FIRM GDM & LLO HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND RECONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE RECORD DRAWING STAMP DATED 03-24-08. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENTS WAS OBTAINED BY RUSS HUGG, NUMBER 9760, OF FIRM SURVEX, INC. I, FURTHER CERTIFY THAT I HAVE PERSONALLY INSPECTED THE PROJECT SITE AND AM SURELY DETERMINED THAT THE CONSTRUCTION IS TRUE AND CORRECT TO THE EXTENT OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHeldon GREER, NMPE 17154
6/27/08
DATE



GND, LLC
CONSULTING ENGINEERS

5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505)-899-6182
Fax: (505)-899-6184

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

SUN VALLEY COMMERCIAL CENTER

GRADING AND DRAINAGE PLAN

3	MONTH/DAY/YEAR	USER DEPARTMENT

DESIGN DATE		

LATEST UPD			

CITY PROJECT No.	ZONE MAP No. 515	SHEET 3 of 3
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	E15	7 OF
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AS BUILT INFORMATION	
CONTRACTOR	DATE
STAKED BY	DATE
INSPECTOR'S	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
No.	

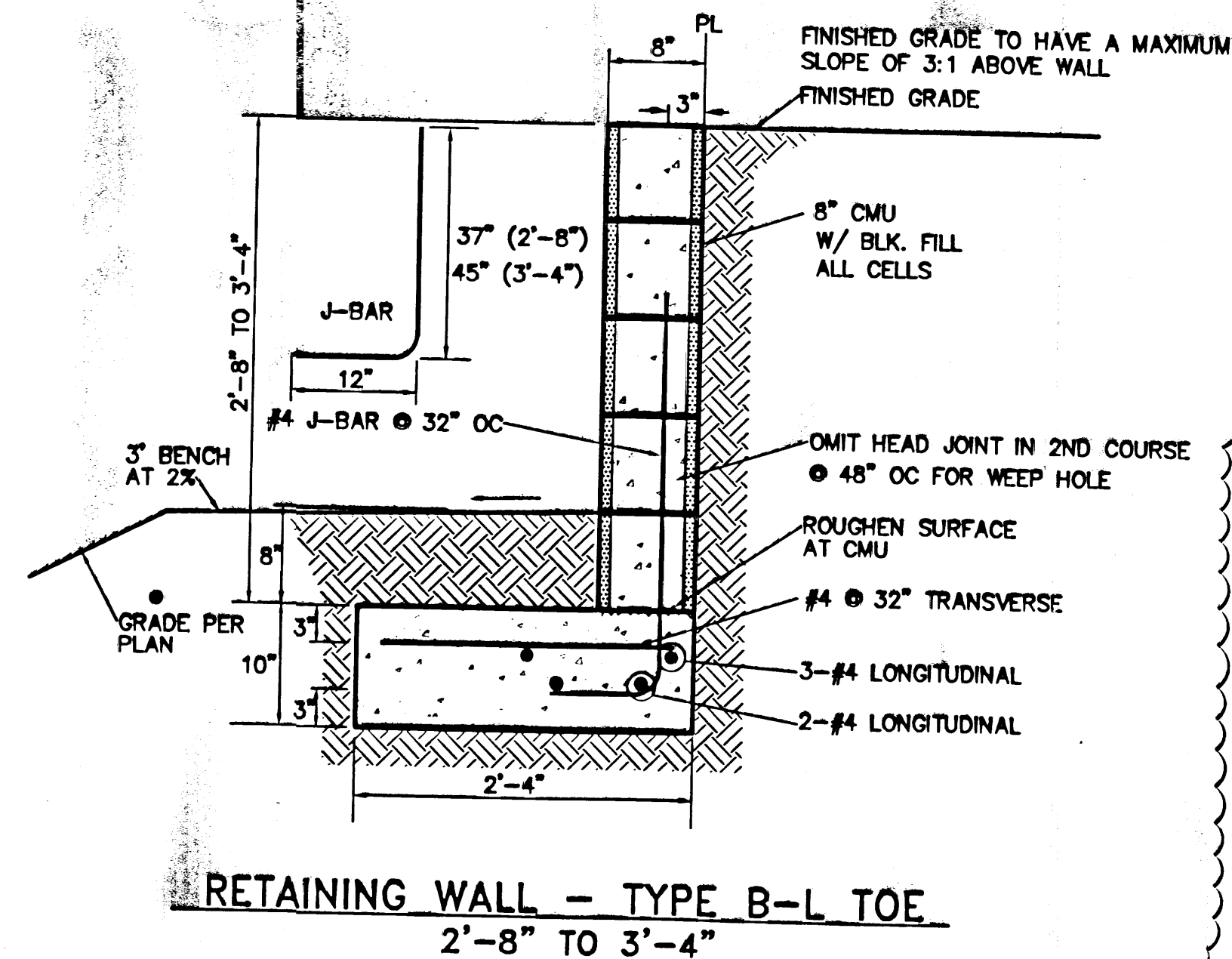
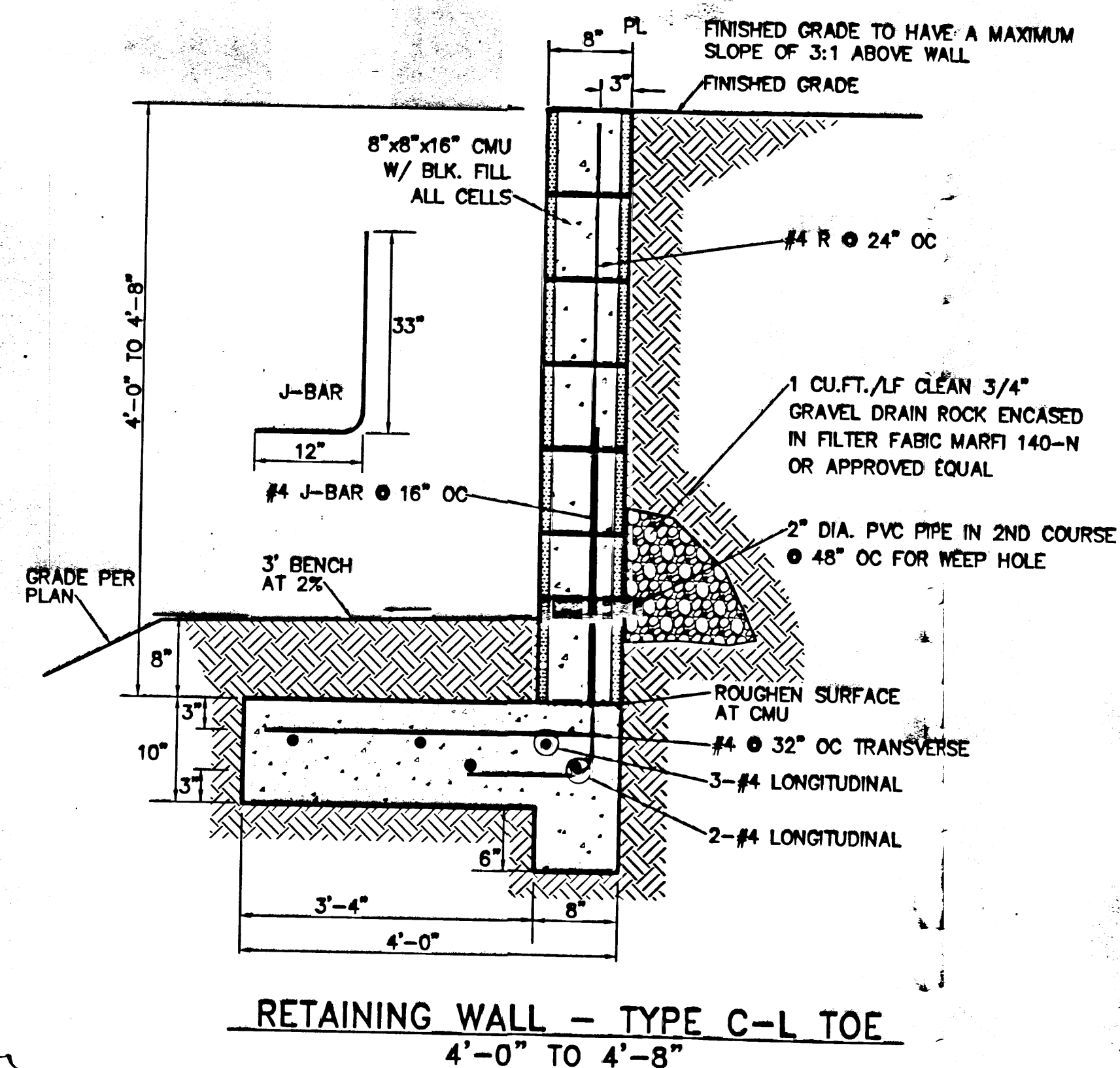
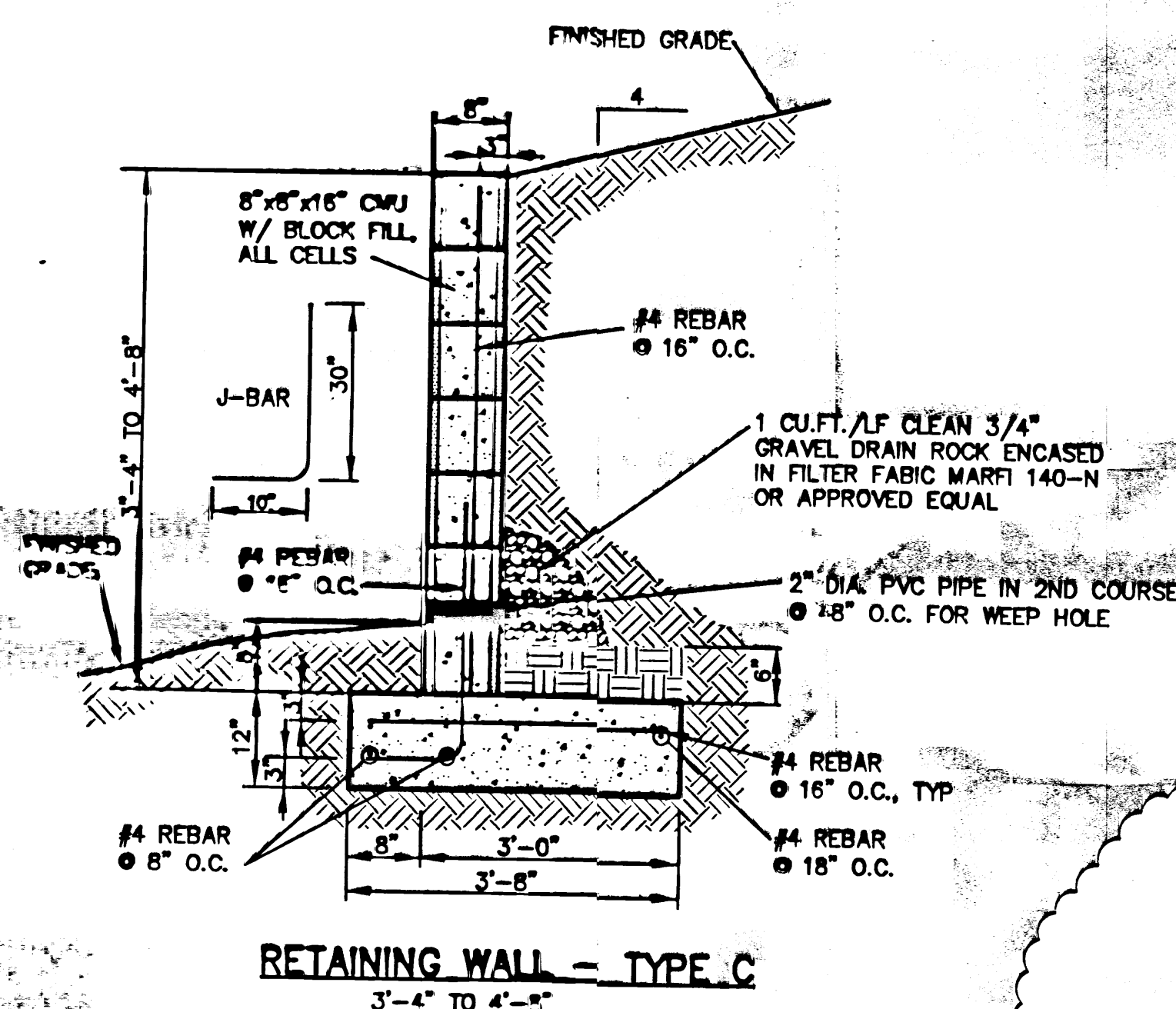
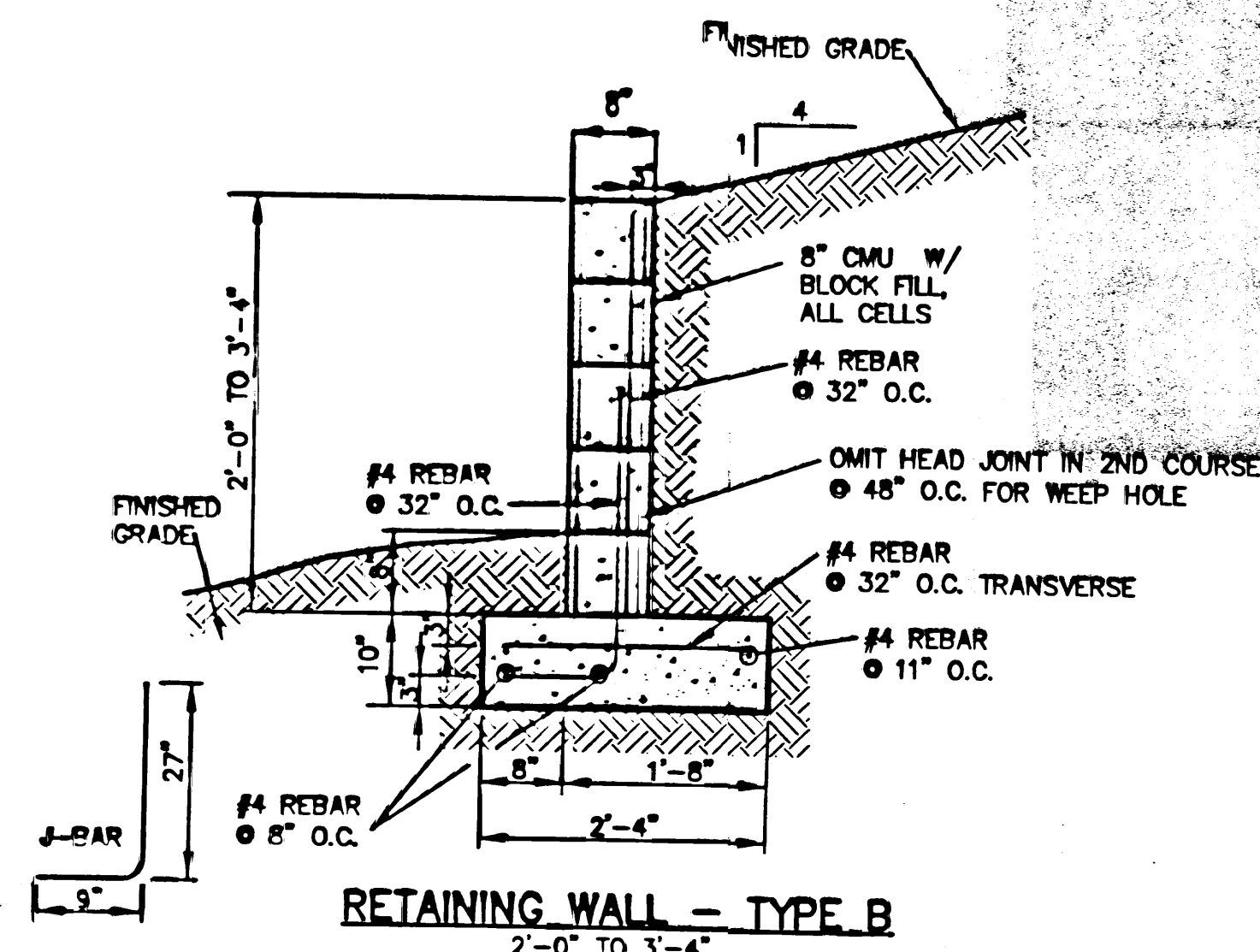
BENCH MARKS
ACS MONUMENT "13-E15"
Y 1.513,447.06; X 384,442.16 (CENTRAL ZONE-NAD 27)
ACS ALUMINUM CAP STAMPED "13-E15 1985" LOCATED SE OF THE INTERSECTION OF FOURTH ST. AND TYLER RD.

[illegible]

A circular professional seal for the State of New York. The outer ring contains the text "STATE OF NEW YORK" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom. Inside the ring, the text "JOHN J. WOODCOCK" is written in a circular path. In the center of the seal is the license number "17179". A handwritten signature, which appears to be "J. Woodcock", is written across the seal, overlapping the text and the license number.

[illegible][illegible]

[illegible]



RETAINING WALL NOTES

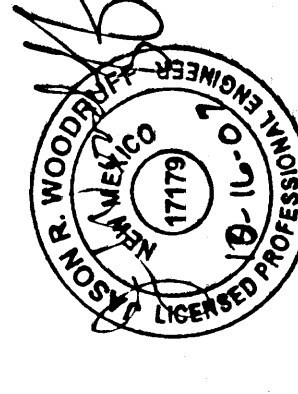
1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MINIMUM RELATIVE DENSITY PER ASTM D1557.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. CONCRETE FOR FOOTINGS AND FILLING OF CELLS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
5. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
6. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"x8"x16" OR AS OTHERWISE INDICATED) - DESERT TAN OR AS DIRECTED BY OWNER.
7. INSTALL 9 GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" O.C.) OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" O.C., MAX.).
8. REINFORCING STEEL SPLICES SHALL HAVE 15" MIN. LAPS.
9. DRAINAGE FOR RETAINED EARTH SHALL BE PROVIDED WITH CLEAN GRAVEL BACKFILL AND WEEP HOLES. OMIT HEADJOINT ON SECOND COURSE @ 48" O.C. FOR WEEP HOLES, UNLESS OTHERWISE NOTED ON THE WALL DETAIL.
10. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A PARTY WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.
11. ALL WALLS FACING PUBLIC RIGHT-OF-WAY MUST BE SPRAYED WITH ANTI-GRAFFITI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL.
12. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 AND SHALL BE APPLIED ON ALL RETAINING WALLS FROM FINISHED GRADE TO TOP OF FOUNDATION.

RETAINING WALL GENERAL NOTES

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL.
5. CONCRETE FOR FOOTINGS AND FILLING OF CELLS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"x8"x16" OR AS OTHERWISE INDICATED).
8. INSTALL 9 GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).
9. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
10. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A 6" CMU PARTY WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.
11. DRAIN BLOCKS FOR PARTY WALLS SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE 6" PARTY WALL ~~TO~~ THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED, AND AT LOCATIONS SPECIFIED BY THE OWNER.
12. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFFITI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL (AT OWNERS DIRECTION).
13. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTERS AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
14. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS' DIRECTION.
15. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 16' O.C. MAXIMUM SPACING.
16. ALL WALLS SHOWN HERE ON HAVE BEEN DESIGNED TO ACCEPT A 6" (MAX.) CMU PARTY WALL.
17. EXTEND #4 BARS AT 48" O.C. WITH MINIMUM INBEDMENT OF 16" IN RETENTION WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALLS.
18. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER.

RETAINING WALLS WITH PILASTERS

1. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTER AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.
2. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
3. ALL PILASTER CELLS ARE TO BE GROUTED SOLID WITH CONCRETE.
4. PROVIDE ONE J-BAR OF SPECIFIC SIZE FOR EACH.
5. PROVIDE ADDITIONAL BAR(S) AS SPECIFIED FOR WALL AT EACH PILASTER IF NORMAL OPENING DOES NOT DO SO.
6. PROVIDE 2-#4 BARS AT EACH PILASTER WITH MINIMUM INBEDMENT OF 16" IN RETAINING WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALL.

PER ASTM D1557. IF CLAY OR LOOSE CONTRACTOR IS RESPONSIBLE FOR RE THAT LOADS SUFFICIENT TO CAUSE OUTSIDE SURFACE OF FORMED ED AGAINST EARTH. D 3,000 P.S.I. AT 28 DAYS, WITH C 270, TYPE M. OTHERWISE INDICATED). COURSE (16" OC), OR BOND BEAM CAPS, UNLESS A 6" CMU PARTY RY UNITS TURNED FACE DOWN. THEY TAINING WALL SECTION AFTER THE S SPECIFIED BY THE OWNER. COATING. USE PROSOCO DEFACER OWNER), THEN CONSTRUCT NERS, JUNCTIONS, ANGLE POINTS TENDED APPLICATION. THE TOP OF LESS CMU PARTY WALL IS TO BE N / CONTRACTION JOINTS SHALL BE (X.) CMU PARTY WALL. ENTION WALL FOR LOCATIONS TO NER), THEN CONSTRUCT PILASTER ONS, ANGLE POINTS AND ENDS. LOCATION. RIATE SIZE UNLESS CMU PARTY NORMAL OPENING DOES NOT DO SO. IN RETAINING WALL FOR LOCATIONS		AS BUILT INFORMATION CONTRACTOR _____ STAINED BY _____ DATE _____ APPROVED BY _____ DATE _____ DESIGNED BY _____ DATE _____ CORRECTED BY _____ DATE _____ MICRO-FILM INFORMATION RECORDED BY _____ DATE _____ No. _____																	
BENCH MARKS ACS MONUMENT "13-E15" Y 1.513.447.06, X 384.442.16 (CENTRAL ZONE - NAD 27) ACS ALUMINUM CAP STAMPED "13-E15 1985" LOCATED SE OF THE INTERSECTION OF FOURTH ST. AND TYLER RD.		SURVEY INFORMATION FIELD NOTES NO. _____ BY _____ DATE _____																	
ENGINEER'S SEAL 		REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> DESIGNED BY: JRW DATE: FEB 2008 DRAWN BY: JRW DATE: FEB 2008 CHECKED BY: SEG DATE: FEB 2008		NO.	DATE	REMARKS	BY												
NO.	DATE	REMARKS	BY																

RECEIVED

JUN 27 2008

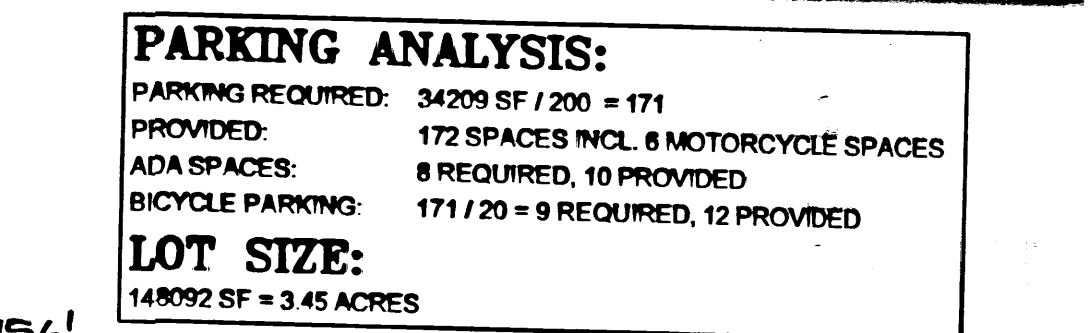
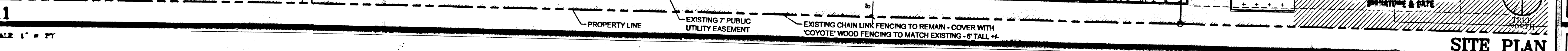
ALBUQUERQUE, NEW MEXICO

1505-899-6182

Phone: (505) 899-6182

Fax: (505) 899-6184

GND, LLC CONSULTING ENGINEERS		CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
SUN VALLEY COMMERCIAL CENTER GRADING AND DRAINAGE TYPICAL SECTIONS AND DETAILS			
LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT	
CITY PROJECT No.		SHEET	
657082		E15 9 OF 10	



The site plan illustrates the layout of the Sun Valley Commercial Center. Key features include:

- EXISTING RAMP** and **EXISTING STRIPING** at the top of the plan.
- NEW STRIPING AND ARROWS** and **RELOCATED MEDIAN** on the right side.
- PROPERTY LINE** running vertically through the center.
- EXISTING 30' PRIVATE ACCESS EASEMENT** on the left side.
- EXISTING 20' PRIVATE ACCESS EASEMENT** at the bottom center.
- EXISTING SUN VALLEY COMMERCIAL CENTER - NO NEW WORK IN MATCHED AREA** in the bottom right quadrant.
- NOTE:** A CROSS-ACCESS AGREEMENT IS IN PLACE BETWEEN ALL OWNERS OF THE SUN VALLEY COMMERCIAL CENTER.
- APPROVED/UNAPPROVED HYDRANT(S) ONLY** with a signature and date.
- DATE** and **TIME** fields.
- TRUE NORTH** arrow pointing upwards.
- SITE PLAN** title at the bottom.



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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CONSULTANTS

PROFESSIONAL SEAL

PRELIMINARY

NOT FOR CONSTRUCTION

SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
ALBUQUERQUE, NEW MEXICO

		RECEIVED
		AUG 6 8 2008
		HYDROLOGY DESCRIPTION

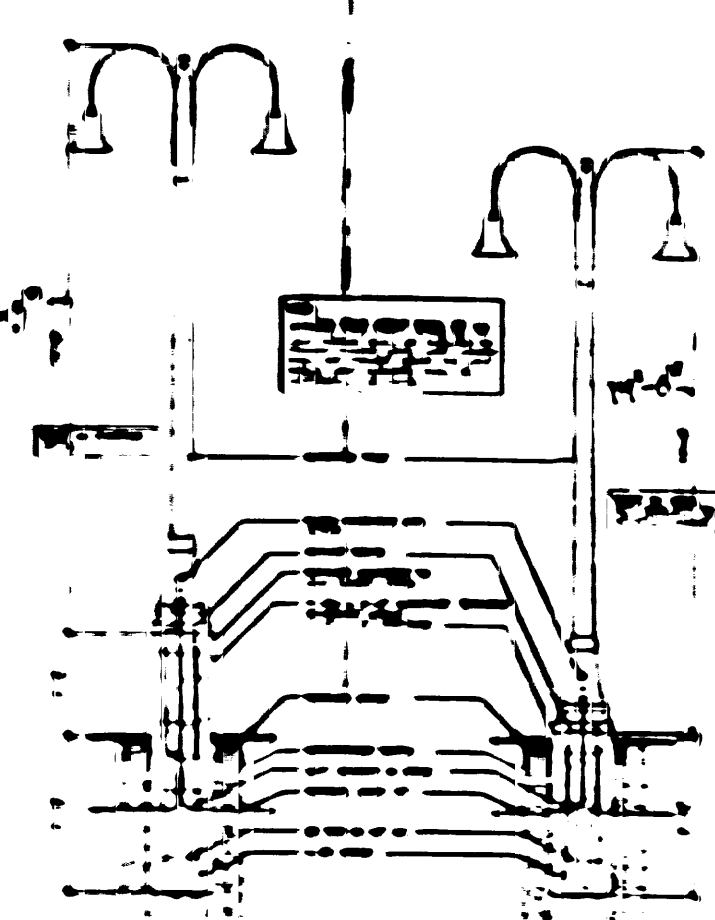
PROJECT NUMBER: _____ 06205
 DRAWING FILE: _____
 DRAWN BY: _____ LH
 CHECK BY: _____
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007
 DATE: JULY 12, 2007

SHEET TITLE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER

A-100



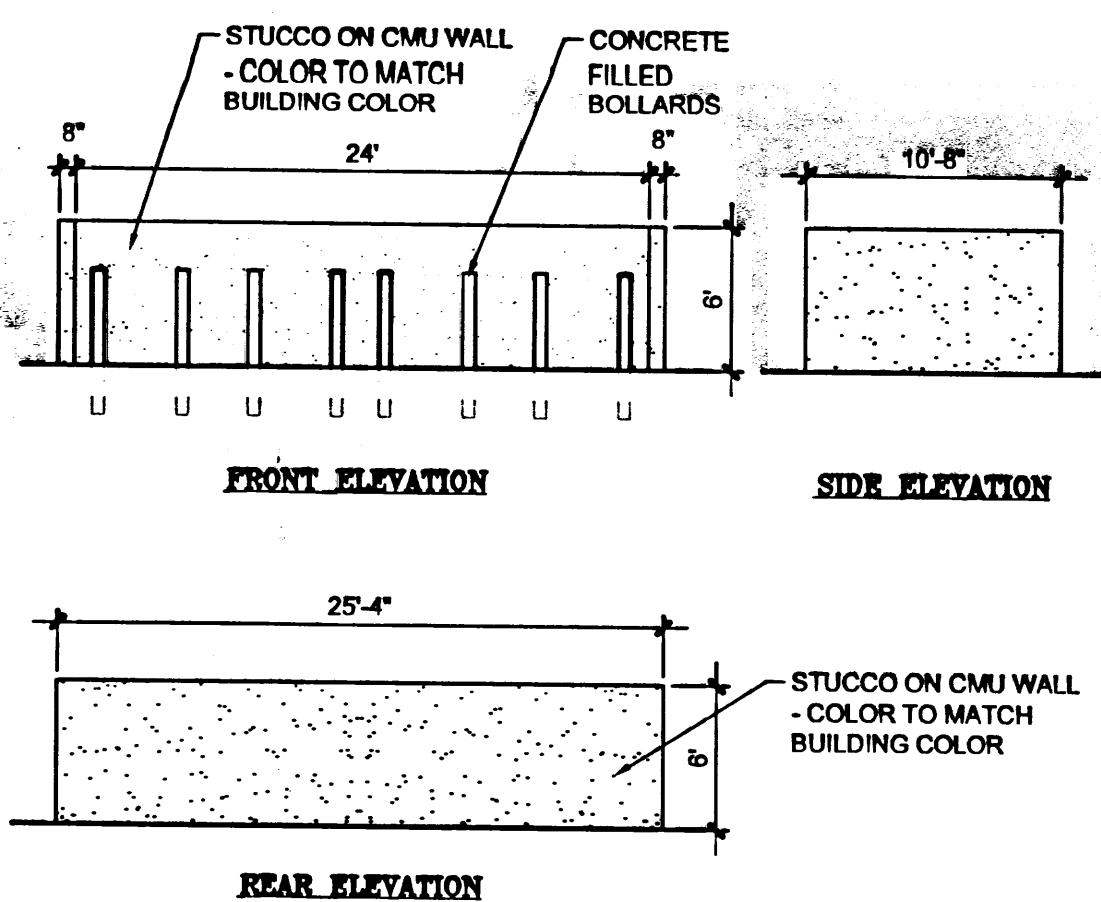
D1 LIGHTING DETAIL

SCALE: N.T.S.

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BLDG.

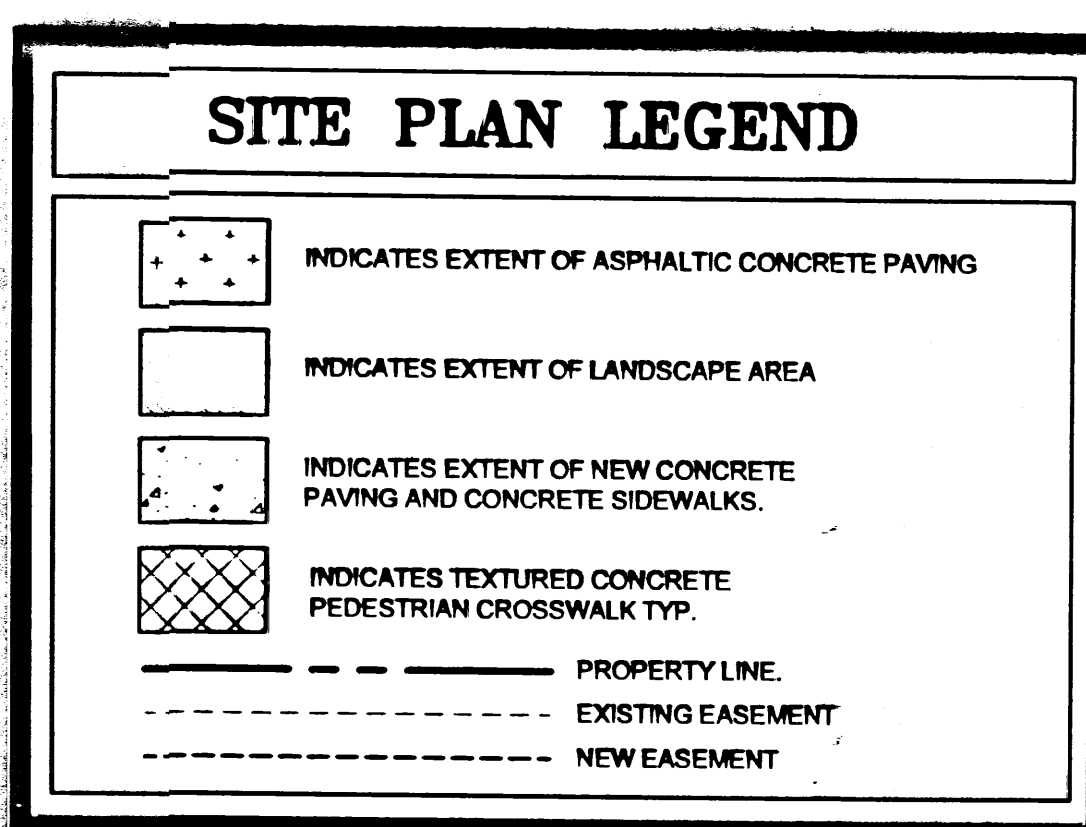
LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT CANDLEPERS. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROVIDED. ALL LAMPS MUST REMAIN THE SAME FROM THE PREVIOUSLY APPROVED SITE AND ITS DETAILS.



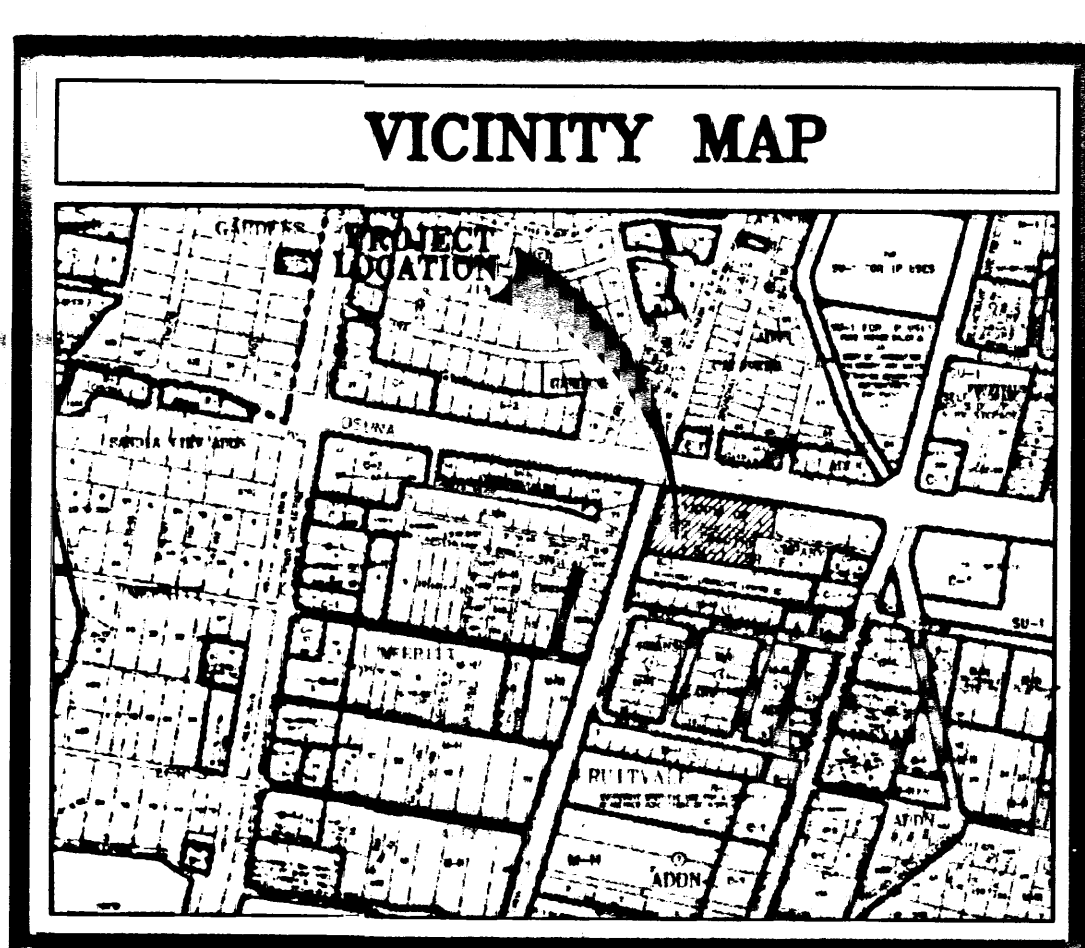
D2 TRASH ENCLOSURE DETAIL

SCALE: 1/8" = 1'-0"



PARKING ANALYSIS:

PARKING REQUIRED: 34209 SF / 200 = 171
 PROVIDED: 172 SPACES INCL. 6 MOTORCYCLE SPACES
 ADA SPACES: 8 REQUIRED, 10 PROVIDED
 BICYCLE PARKING: 171 / 20 = 9 REQUIRED, 12 PROVIDED
LOT SIZE:
 148092 SF = 3.45 ACRES



D4 ZONE ATLAS MAP E-15

SCALE: N.T.S.

SIGNATURE BLOCK	
PROJECT NUMBER: 1000351	APPLICATION CASE NUMBER: 07DKB-70140
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED <u>MARCH 13, 2007</u> AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>[Signature]</i> TRANSPORTATION DIVISION	6-1-07 DATE
<i>[Signature]</i> WATER UTILITY (DEVELOPMENT)	8-1-07 DATE
<i>[Signature]</i> PARKS & RECREATION DEPARTMENT	8/1/07 DATE
<i>[Signature]</i> CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	2/22/08 DATE
N/A	
<i>[Signature]</i> ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	7/14/07 DATE
<i>[Signature]</i> SOLID WASTE MANAGEMENT	2/22/08 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	2/22/08 DATE

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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CONSULTANTS

PROFESSIONAL SEAL

PRELIMINARY
 NOT FOR CONSTRUCTION

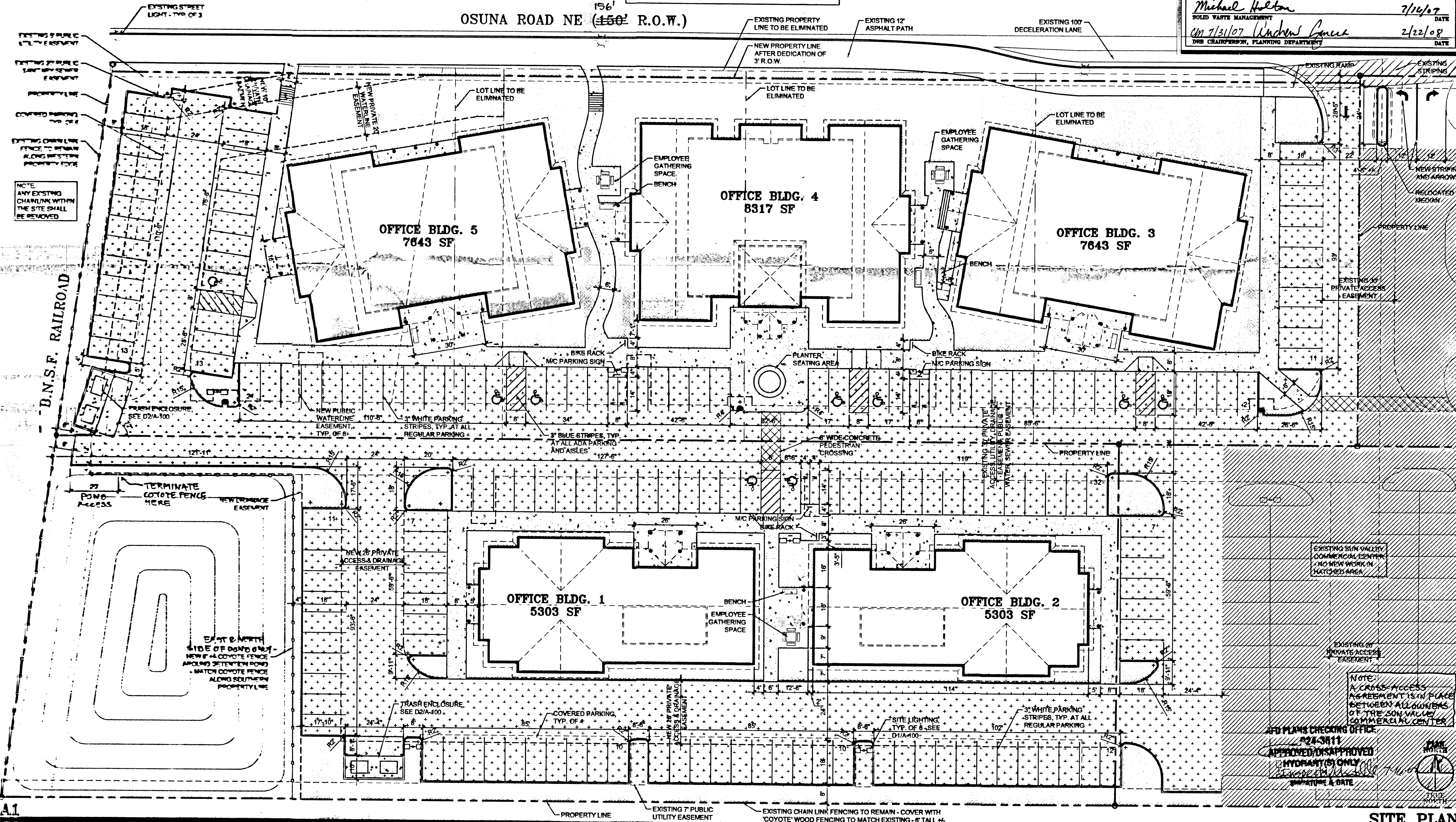
SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
 ALBUQUERQUE, NEW MEXICO

RECEIVED	
AUG 18 2008	
MARK	DATE
DESCRIPTION	
PROJECT NUMBER: 06205	
DRAWING FILE: 06205	
DRAWN BY: LH	
CHECK BY:	
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007	
DATE: JULY 12, 2007	

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER
A-100

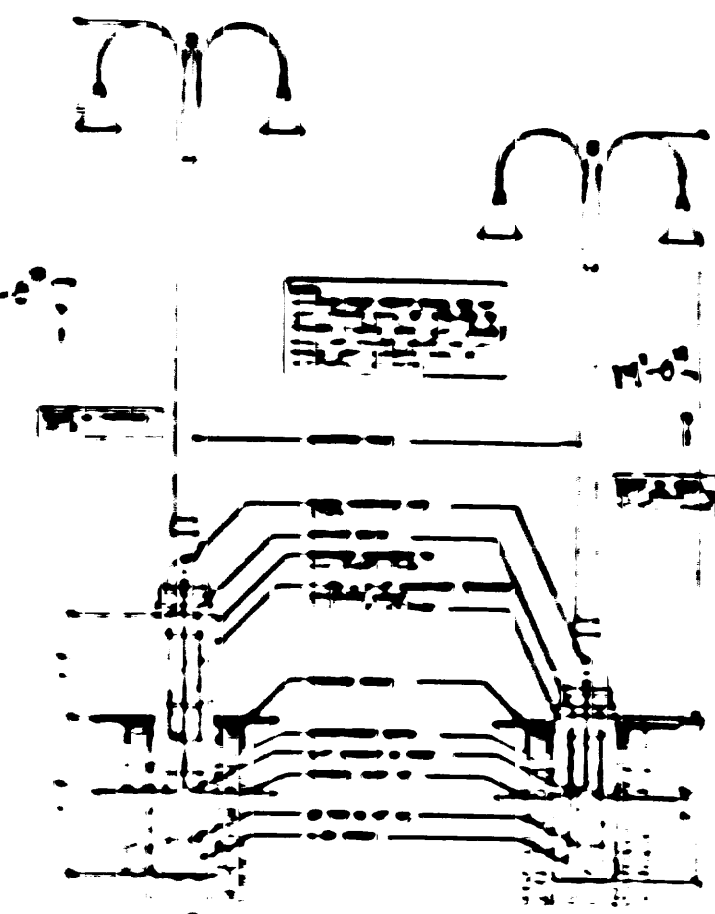


A1

SCALE: 1" = 20'

SITE PLAN

0 5 10 20 40



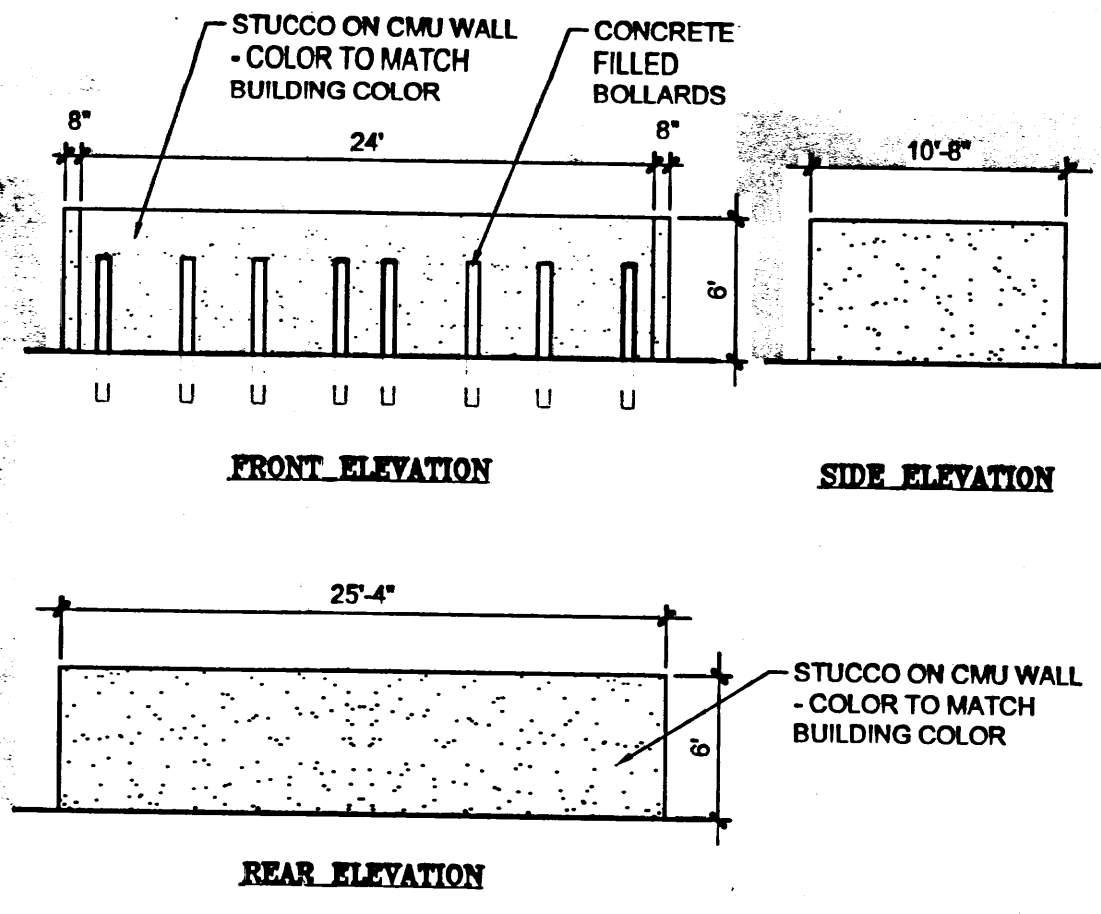
D1 LIGHTING DETAIL

SCALE: 1/8" = 1'-0"

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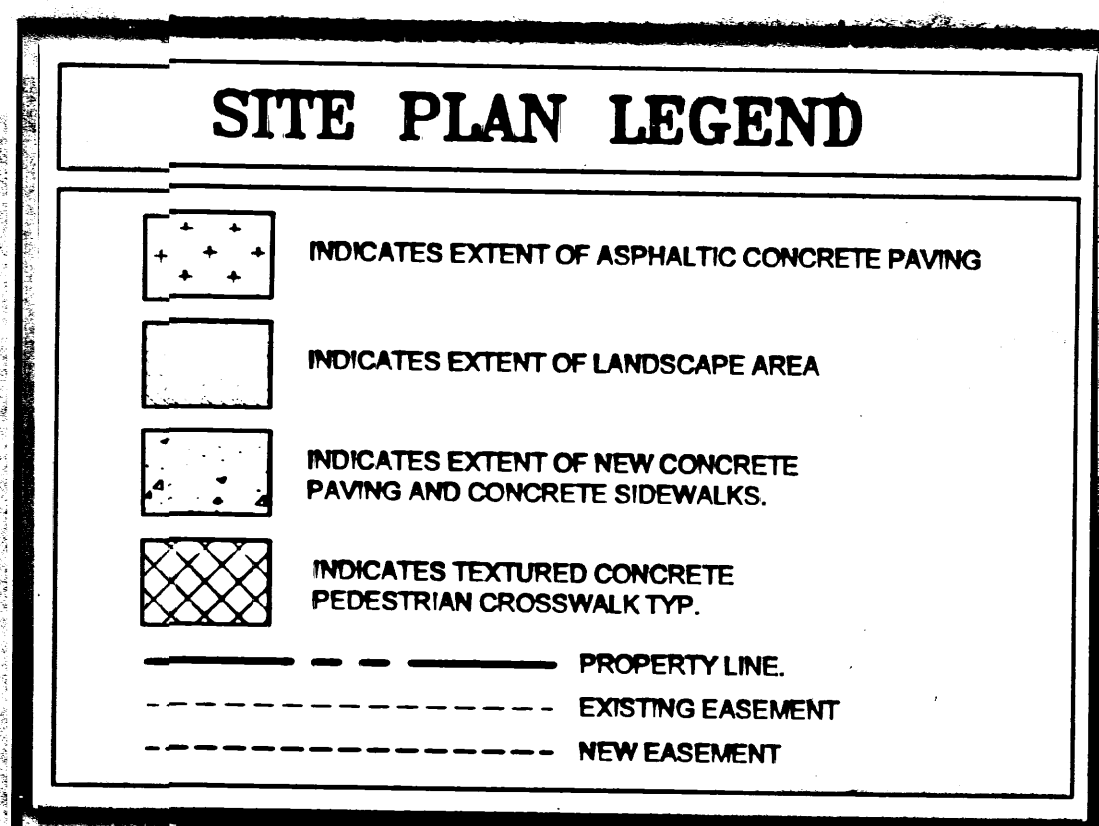
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D2 TRASH ENCLOSURE DETAIL

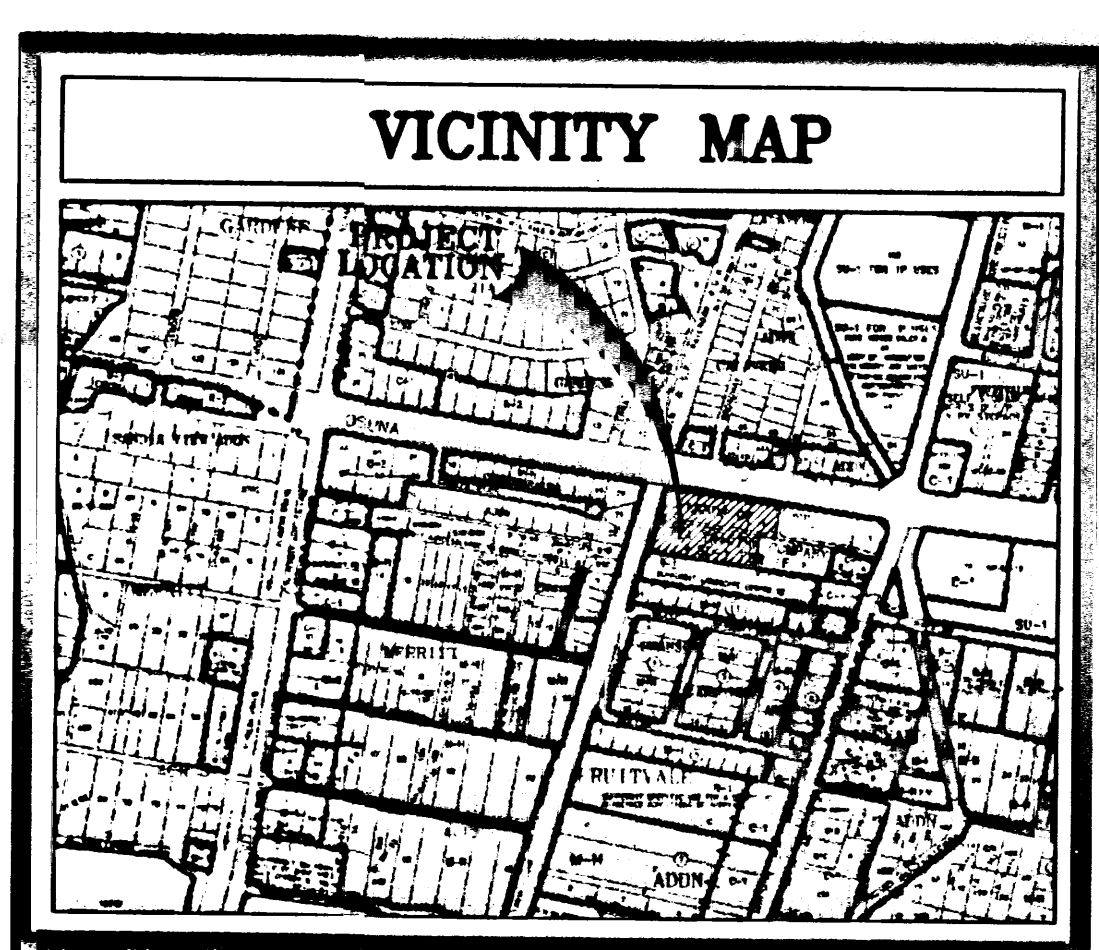
SCALE: 1/8" = 1'-0"



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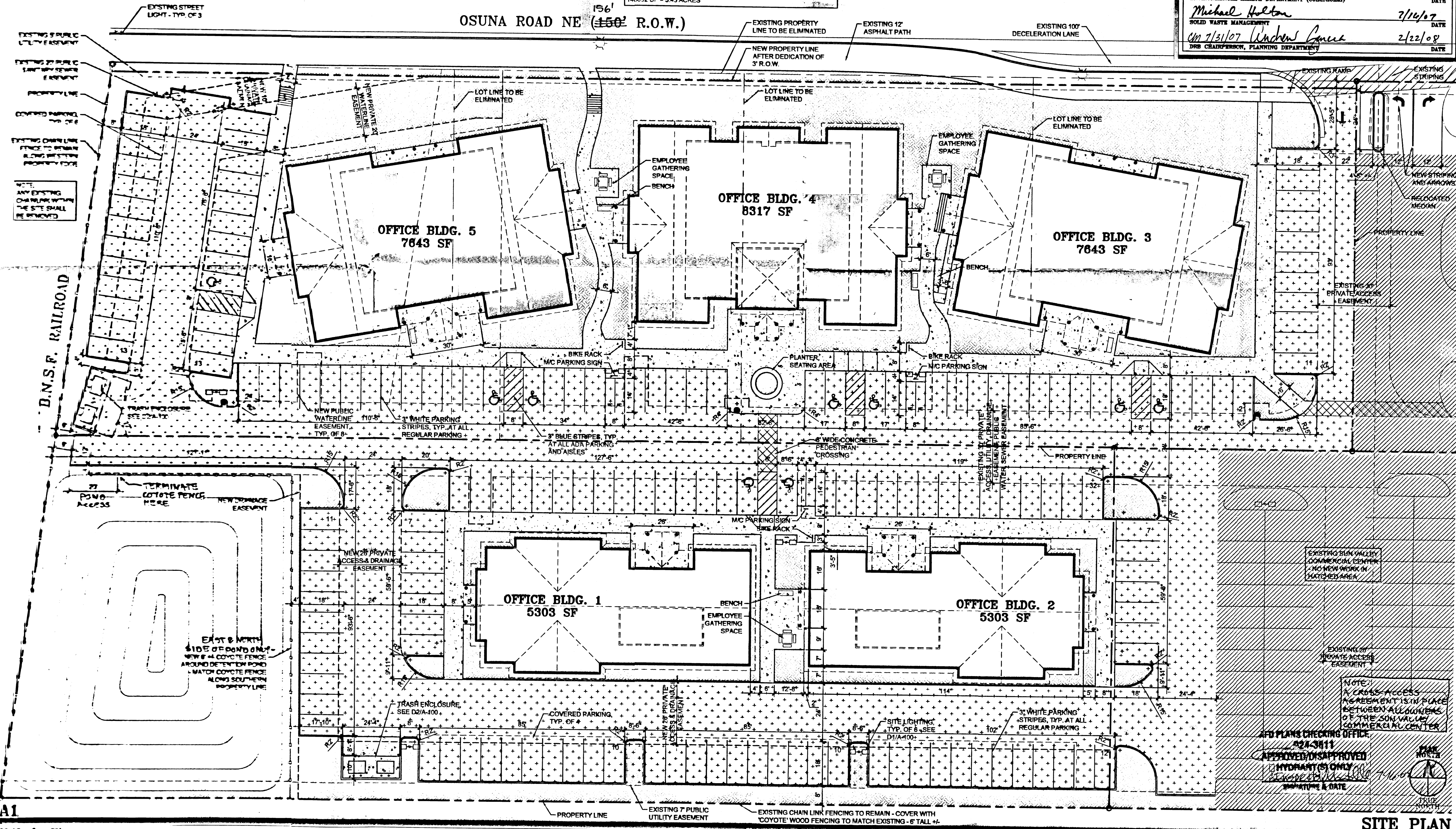
LOT SIZE:
 148092 SF = 3.45 ACRES



D4 ZONE ATLAS MAP E-15

SCALE: N.T.S.

SIGNATURE BLOCK	
PROJECT NUMBER: 10003514	APPLICATION CASE NUMBER: 07DRB-70140
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED March 19, 2007, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION <i>Randy Green</i>	DATE: 8-1-07
WATER UTILITY DEVELOPMENT <i>Christina Sandora</i>	DATE: 8/1/07
PARKS & RECREATION DEPARTMENT <i>Budley B. Bynum</i>	DATE: 2/22/08
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA N/A	DATE:
ENVIRONMENTAL HEALTH DEPARTMENT (conditional) <i>Michael Holton</i>	DATE: 7/14/07
SOLID WASTE MANAGEMENT <i>on 7/31/07 Andrew Gause</i>	DATE: 2/22/08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE:



A1

SCALE: 1" = 20'

CLAUDIO VIGIL ARCHITECTS

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 Albuquerque, New Mexico
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 Fax: (505) 842-1330

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CONSULTANTS

PROFESSIONAL SEAL

PRELIMINARY
 NOT FOR CONSTRUCTION

SUN VALLEY COMMERCIAL CENTER

OSUNA ROAD NE
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06205
 DRAWING FILE:
 DRAWN BY: LH
 CHECK BY:
 COPYRIGHT: © CLAUDIO VIGIL ARCHITECTS 2007
 DATE: JULY 12, 2007

SHEET TITLE
 SITE DEVELOPMENT
 SECTION PLAN FOR
 BUILDING PERMIT

SHEET NUMBER
A-100

A.T. + S.F. RAIL ROAD

OSUNA ROAD NE

EXISTING
4" SD BY COA
PROJECT 657081

LOT 6
BUILDING
"K"
6,000 SF.
FF 89.00

LOT 5
BUILDING
"J"
6,000 SF.
FF 90.30

LOT 4
BUILDING
"I"
6,000 SF.
FF 93.45

LOT 7
RETENTION POND
VOL = 1933 AC FT

WIRE-TIED
RIP-RAP
RUNDOWN
W/EROSION CONTROL
MAT.

CONSTRUCT TEMPORARY
EROSION CONTROL BERM
PER SECTION

LOT 6
AREA RESERVED FOR FUTURE DEVELOPMENT

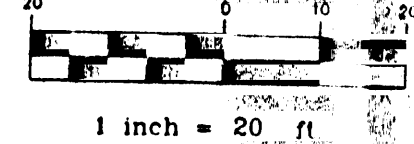
- DRAINAGE PLAN NOTES**
1. BU recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 4. This Plan is prepared to establish on-site drainage and grading criteria only. BU assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BU to prepare the Certification, we must be notified PRIOR to placement of the fill.
 6. BU recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

KEYED NOTES

1. EXISTING CONCRETE CURB & GUTTER TO REMAIN.
2. NEW CONCRETE VALLEY GUTTER ENTRY. SEE CITY PROJECT 657081.
3. CONSTRUCT HANDICAP ACCESS RAMP. SEE CITY PROJECT 657081.
4. EXISTING 6" SIDEWALK TO REMAIN.
5. NEW 10" ASPHALT TRAIL. SEE CITY PROJECT 657081.
6. EXISTING CONCRETE RETAINING WALL TO REMAIN.
7. NEW 6" CONCRETE CURB.
8. NEW ASPHALT PAVING.
9. NEW CONCRETE SIDEWALK. SEE SITE PLAN FOR EXACT LOCATION AND WIDTH.
10. EXISTING GUARDRAIL TO REMAIN.
11. CONSTRUCT HANDICAP ACCESS RAMP. SEE SITE PLAN FOR DETAILS.
12. NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS.
13. CONSTRUCT GROUTED RIP RAP CHANNEL. SEE SECTION "B", SHEET 3.
14. EXISTING FIRE HYDRANT TO REMAIN.
15. NEW FIRE HYDRANT. SEE CITY PROJECT 657081.
16. CONSTRUCT CONCRETE CHANNEL. SEE SECTION "A", SHEET 3.
17. EXISTING LANDSCAPING TO REMAIN.
18. EXISTING ENTRY FEATURE TO REMAIN.
19. CONSTRUCT CONCRETE POND RUNDOWN. SEE SECTION "C", SHEET 3.
20. SUMP PUMP WITH PVC DRAIN LINE. SEE SECTION "H", SHEET 3.
21. CONSTRUCT 18" SIDEWALK CULVERT PER COA STD DWG 2236.
22. CONSTRUCT 36" SIDEWALK CULVERT PER COA STD DWG 2236.
23. CONSTRUCT 72" SIDEWALK CULVERT PER COA STD DWG 2236.
24. CONNECT TO EXIST 4" SD.
25. SUMP PUMP ELECTRIC. SEE SECTION "B", SHEET 3.

LEGEND

- 02.5 x EXISTING CONTOUR ELEVATION
- 01 EXISTING SPOT ELEVATION
- 01.5 PROPOSED CONTOUR ELEVATION
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- UTILITY BOX
- PHONE
- EROSION CONTROL BERM



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: SUN VALLEY COMMERCIAL CENTER GRADING & DRAINAGE

DESIGNED BY	DRAWN BY	CHECKED BY	DATE
D.A.L.	MOBII	D.A.L.	9-2001

REVISIONS	DATE
DESIGN	9-2001

REMARKS	DATE
RELOCATED RETENTION POND	9-2001

NO.	DATE	BY
9-01	9-2001	D.A.L.

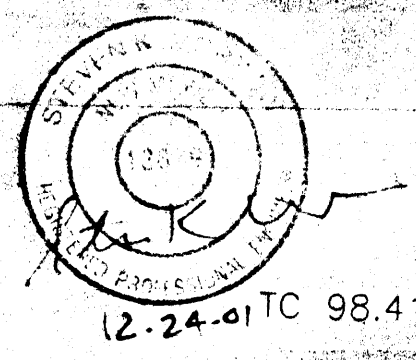
Design Review Committee City Engineer Approval

City Project No. 657081 Zone Map No. E-15 Sheet 2 of 3

ENGINEER'S CERTIFICATION FOR LOT 3

I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on actual field measurements and visual inspections performed by Blasher and Lorenz, Inc. I further certify that the as-built condition of the site as of December 24, 2001 is in substantial compliance with the approved Grading and Drainage Plan prepared by Blasher & Lorenz, Inc., dated September 19, 2001 with the following exceptions: 1) This certification is for Lot 3 only. Lots 1, 4, 5, 6, 7 and 8 remain undeveloped. This certification is limited to on-site grading and drainage improvements and does not extend to the structural integrity of the materials used or the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

Steven K. Morrow NMPE 13679 Date 12-24-01



LEGEND

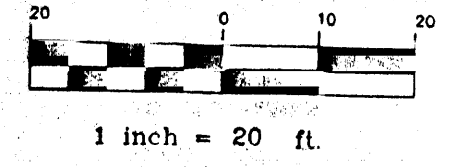
- EXISTING CONTOUR ELEVATION
- 02.5 X EXISTING SPOT ELEVATION
- 01 PROPOSED CONTOUR ELEVATION
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- UTILITY BOX
- PHONE
- 02.5 X AS-BUILT ELEVATION
- 02.5 AS-BUILT ELEVATION
- 02.6

KEYED NOTES

- EXISTING CONCRETE CURB & GUTTER TO REMAIN
- NEW CONCRETE VALLEY GUTTER ENTRY. SEE CITY PROJECT 657081.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE CITY PROJECT 657081.
- EXISTING HANDICAP RAMP TO REMAIN.
- EXISTING 6" SIDEWALK TO REMAIN.
- NEW 10" ASPHALT TRAIL. SEE CITY PROJECT 657081.
- EXISTING CONCRETE RETAINING WALL TO REMAIN.
- NEW 6" CONCRETE CURB.
- NEW ASPHALT PAVING.
- NEW CONCRETE SIDEWALK. SEE SITE PLAN FOR EXACT LOCATION AND WIDTH.
- EXISTING GUARDRAIL TO REMAIN.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE SITE PLAN FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS.
- CONSTRUCT ROUTED RIP RAP CHANNEL. SEE SECTION "A", SHEET 3.
- NEW LIFE HYDRANT. SEE CITY PROJECT 657081.
- CONSTRUCT CONCRETE CHANNEL. SEE SECTION "A", SHEET 3.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING ENTRY FEATURE TO REMAIN.
- CONSTRUCT CONCRETE POND ROUNDOWN. SEE SECTION "F", SHEET 3.
- SUMP PUMP WITH PVC DRAIN LINE. SEE SECTION "H", SHEET 3.
- CONSTRUCT 18" SIDEWALK CULVERT PER COA STD DWG 2236.
- CONSTRUCT 36" SIDEWALK CULVERT PER COA STD DWG 2236.
- CONSTRUCT 72" SIDEWALK CULVERT PER COA STD DWG 2236.
- CURB REMOVED
- CURB ADDED
- ADDED 1' CHANNEL
- ELIMINATED ENTRANCE

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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CONSULTING ENGINEERS
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Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SUN VALLEY COMMERCIAL CENTER**
GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
657081	E-15	1	3