

# SITE DATA

PROPOSED USAGE: OFFICE/WAREHOUSE  
 LOT AREA: 265,731.99 S.F. (6.100 ACRES)  
 OFFICE AREA: 29,034.00 S.F.  
 WAREHOUSE AREA: 50,501.00 S.F.  
 CROSS BUILDING AREA: 79,535.00 S.F.  
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:  
 NET LOT AREA: 185,195 SF ±  
 LANDSCAPING REQUIRED: 27,929 SF ±  
 15% OF 185,195 SF  
 LANDSCAPE PROVIDED: 28,421 SF ±

PARKING CALCULATIONS:  
 PARKING REQUIRED:  
 OFFICE AREA: 29,034 GSF / 200 GSF 145 SPACES  
 WAREHOUSE AREA: 50,501 GSF / 2000 GSF 25 SPACES

TOTAL PARKING REQUIRED: 170 SPACES  
 TOTAL PARKING PROVIDED: 183 SPACES  
 HC PARKING REQUIRED: 8 SPACES (2 VAN)  
 HC PARKING PROVIDED: 12 SPACES (2 VAN)  
 BICYCLE SPACES REQUIRED: 7 SPACES  
 BICYCLE SPACES PROVIDED: 7 SPACES

## GENERAL NOTES:

1. CURRENT ZONING IS SU-1 FOR IP USES.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN.
3. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
4. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
6. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

## NOTES:

1. NEW 6" CONCRETE CURB PER COA STD. DWG. #2415.
2. 5" HIGHER CURB AND GUTTER PER COA STD. DWG. #2415.
3. ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 5' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
6. EXISTING CURB AND GUTTER.
7. NEW 10' SIDEWALK PER COA STD. DWG. #2430.
8. NEW 8' SIDEWALK PER COA STD. DWG. #2430.
9. NEW 6' SIDEWALK PER COA STD. DWG. #2430.
10. NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS. (SEE DETAIL SHEET 4 OF 5.)
12. PAINTED ARROW.
13. NEW 6" HIGH FENCE.
14. EXISTING POWER POLE.
15. NEW UNDERGROUND WRETHOLD RAMP PER COA STD. DWG. #2425.
16. 6" WIDE 1' 20" DEEP PARKING SPACES.
17. HANDICAP SIGN PER COA STANDARDS.
18. BICYCLE RACK, PROVIDE MINIMUM 7 BICYCLE SPACES.
19. NEW 7' GABION WALL.
20. EXISTING CHAIN LINKED FENCE.
21. NEW 400W METAL HALIDE SITE LIGHTING (SEE SHEET 5-C FOR DETAIL).
22. EDGE OF EXISTING ASPHALT.
23. MONUMENT SIGN PER COA STANDARD. (SEE SHEET 5-A FOR DETAIL).
24. PROPOSED 24'00" WIDE PAVEMENT.
25. NO LIGHTING THAT IS WITHIN 100'-FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16'-FEET.
26. 1,061.30 S.F. OUTDOOR PATIO WITH SEATING AREA. SEE LANDSCAPING PLAN (SHEET 2 OF 5) FOR SHADING.
27. 55' ROADWAY AND BICYCLE LANE EASEMENT GRANTED TO CITY OF ALBUQUERQUE ON 8-27-04, DK-AB3, PG-1544

## LEGEND

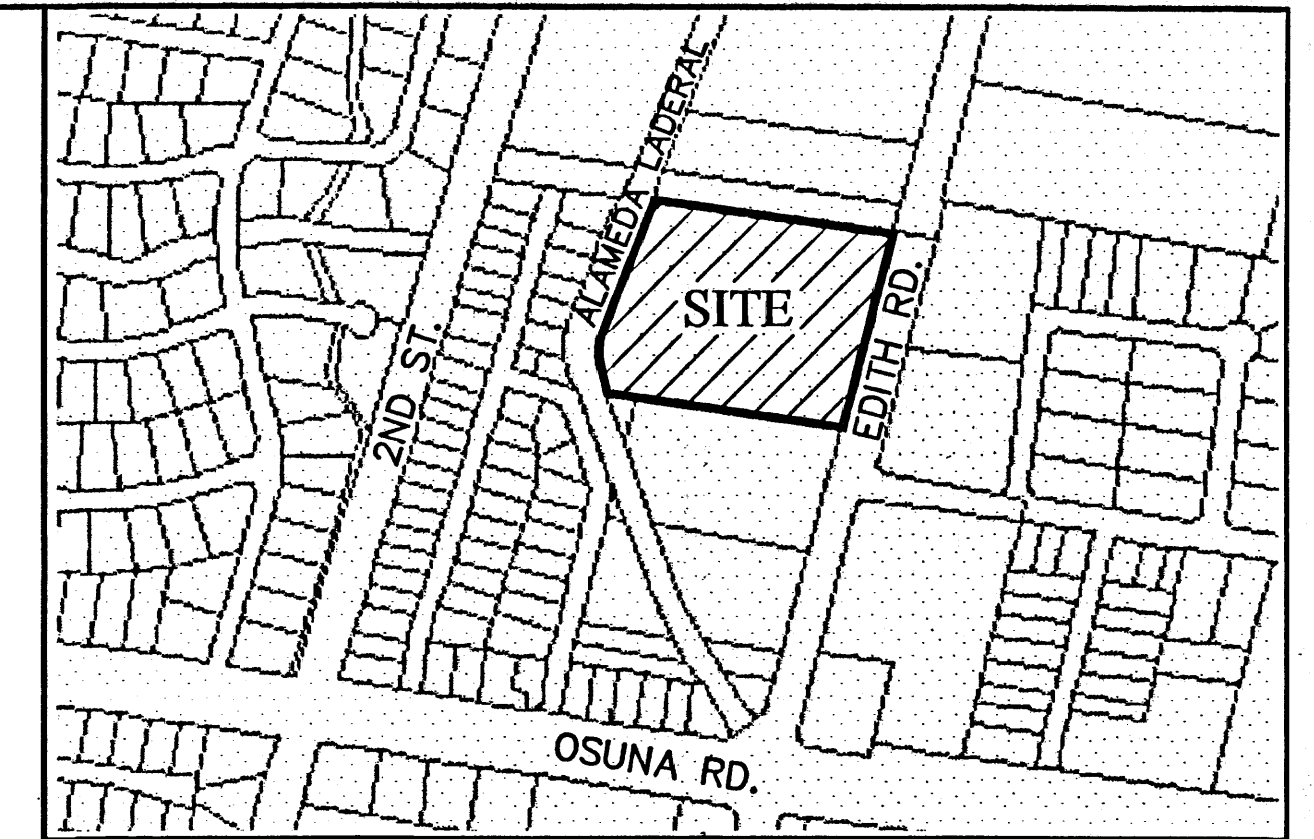
|  |                          |
|--|--------------------------|
|  | BOUNDARY LINE            |
|  | BUILDING                 |
|  | PROPOSED CURB ON SITE    |
|  | NEW SIDEWALK             |
|  | NEW PAVEMENT             |
|  | NUMBER OF PARKING SPACES |
|  | EXISTING CURB & GUTTER   |
|  | EXISTING WATER LINE      |
|  | EXISTING SAS             |
|  | EXISTING STORM SEWER     |
|  | EXISTING FENCE           |
|  | SEATING AREA             |

## SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

1. PERMISSIVE USES: PERMISSIVE USES AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-2-20-A (PERMISSIVE USES) AND -B (CONDITIONAL USES) INDUSTRIAL PARK ZONE.
2. SIGNAGE: SIGN ON-PREMISES AS SPECIFIED IN SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE, AND FURTHER PROVIDED IN ITEM 23, a THROUGH f, IN THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-2-19 IP INDUSTRIAL PARK ZONE.
3. HEIGHT: STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45-DEGREE ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 120 FEET. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE AND, FOR SIGN HEIGHT, IN DIVISION (A) OF THIS SECTION.
4. LOT SIZE: MINIMUM LOT AREA SHALL BE ONE-HALF ACRE. MINIMUM LOT WIDTH SHALL BE 100 FEET. NO MORE THAN 50% OF THE SURFACE OF ANY LOT OR SITE SHALL BE COVERED WITH BUILDINGS.
5. SETBACKS: THE FOLLOWING REGULATIONS APPLY, EXCEPT AS PROVIDED IN SECTION 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE. THERE SHALL BE A FRONT-YARD SETBACK OF NOT LESS THAN THIRTY FEET. THERE SHALL BE A SIDE-YARD SETBACK OF NOT LESS THAN TEN FEET. THERE SHALL BE A REAR-YARD SETBACK OF NOT LESS THAN TEN FEET. NO SETBACK WILL BE REQUIRED ON SIDES ABUTTING RAIL TRACKAGE OR RAIL EASEMENTS.
6. OFF-STREET PARKING: OFF-STREET PARKING SHALL BE AS PROVIDED IN 14-16-3-1 OF THE CITY OF ALBUQUERQUE ZONING CODE.
7. OUTSIDE STORAGE: ALL OUTDOOR STORAGE AND TRASH COLLECTION AREAS SHALL BE VISUALLY SCREENED FROM ALL PROPERTY LINES BY A SOLID WALL OR FENCE OR BY AN EVERGREEN HEDGE AT LEAST SIX FEET HIGH.

## SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

8. LANDSCAPING: LANDSCAPING SHALL BE AS SPECIFIED IN SECTION 14-16-3-10 OF THE CITY OF ALBUQUERQUE ZONING CODE, EXCEPT THAT A MINIMUM LANDSCAPED STRIP OF TEN FEET SHALL BE MAINTAINED BETWEEN PARKING AREAS AND THE STREET RIGHT-OF-WAY LINE, REGARDLESS OF SITE SIZE.
9. ARCHITECTURAL CHARACTER / BUILDING MATERIALS AND COLORS.
  - (1) BUILDING HEIGHTS: STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 120 FEET. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE AND, FOR SIGN HEIGHT, IN DIVISION (A) OF THIS SECTION.
  - (2) BUILDING TYPES: BUILDINGS WILL BE MASONRY, STUCCO, METAL PANELING, OR ANY COMBINATION.
  - (3) ROOFS: PITCHED ROOFS WILL BE SHINGLED, TILED, OR METAL.
  - (4) BUILDING COLORS: BUILDING COLORS WILL BE TAN TO LIGHT BROWN, ACCENTS AND EARTHTONE. THE USE OF DARK COLORS FOR THE ROOF IS PROHIBITED.
  - (5) ROOF EQUIPMENT SCREENS: MECHANICAL EQUIPMENT ON ROOFS IS TO BE SCREENED FROM PUBLIC VIEW AS MUCH AS PRACTICAL. ROOF EQUIPMENT SCREENS ARE TO BE AT LEAST AS HIGH AS THE HIGHEST PART OF THE EQUIPMENT. ROOF SCREENS ARE TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.
  - (6) LIGHTING: AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE MOUNTED. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES. PARKING LOT FIXTURES ARE TO HAVE AN OVERALL HEIGHT OF TWENTY (20) FEET. IN ADDITION, ALL OUTDOOR LIGHTING FIXTURES MOUNTED ON BUILDINGS OR STRUCTURES SHALL BE MOUNTED AT A HEIGHT NO MORE THAN 16 FEET ABOVE FINISHED GRADE.



VICINITY MAP:

E-15-Z

## LEGAL DESCRIPTION:

TRACT 45-B, MRGCD MAP NO. 29, CONTAINING 265,731.99 S.F. (6.100 AC.)

## SHEET INDEX

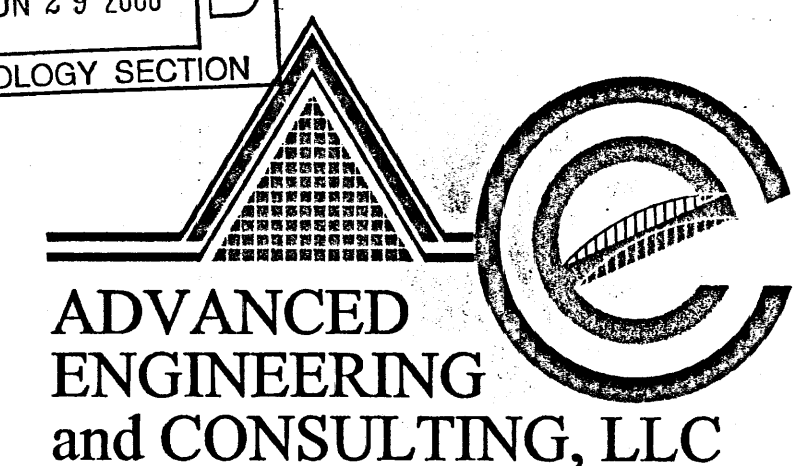
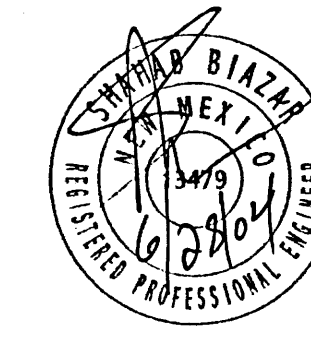
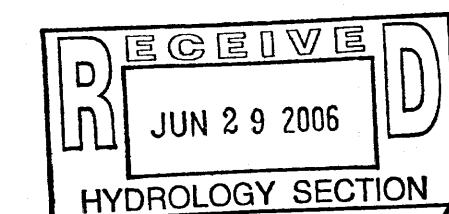
1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
3. CONCEPTUAL GRADING AND DRAINAGE PLAN
4. MASTER UTILITY PLAN
5. ELEVATION PLANS

PROJECT NUMBER: 1003126

APPLICATION NUMBER: 04-01025

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 10/15/04, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES ☐ NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

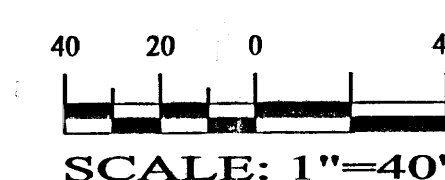
|                                                              |                  |
|--------------------------------------------------------------|------------------|
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION                 | 10-15-04<br>DATE |
| <i>Roger A. Shuman</i><br>UTILITIES DEVELOPMENT              | 7-14-04<br>DATE  |
| <i>David Flores</i><br>PARKS AND RECREATION DEPARTMENT       | 7-14-04<br>DATE  |
| <i>Bridley A. Bingham</i><br>CITY ENGINEER                   | 10/5/04<br>DATE  |
| <i>Jana C. Johnson</i><br>SOLID WASTE MANAGEMENT             | 6-29-04<br>DATE  |
| <i>Sheron Matson</i><br>DRB CHAIRPERSON, PLANNING DEPARTMENT | 7/14/04<br>DATE  |



SHAHAB BIAZAR  
P.E. #13479

4416 ANAHEIM AVE. NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)899-5570

## GRAPHIC SCALE



## SITIO BUSINESS PARK SITE PLAN FOR BUILDING PERMIT

|                        |               |                |                |
|------------------------|---------------|----------------|----------------|
| DRAWING: 200355-ST.DWG | DRAWN BY: SHH | DATE: 11-10-03 | SHEET # 1 OF 5 |
|------------------------|---------------|----------------|----------------|

|                         |                     |              |
|-------------------------|---------------------|--------------|
| CITY PROJECT NO. 745681 | ZONE MAP NO. E-15-Z | SHEET 2 OF 5 |
|-------------------------|---------------------|--------------|

## SITE DATA

PROPOSED USAGE: OFFICE/WAREHOUSE  
 LOT AREA: 265,731.99 S.F. (6.100 ACRES)  
 OFFICE AREA: 29,034.00 S.F.  
 WAREHOUSE AREA: 50,501.00 S.F.  
 GROSS BUILDING AREA: 79,535.00 S.F.  
 CONSTRUCTION TYPE: V-N SPRINKLED

## LANDSCAPE CALCULATIONS:

NET LOT AREA: 186,196 SF ±  
 LANDSCAPING REQUIRED: 27,929 SF ±  
 15% OF 186,196 SF  
 LANDSCAPE PROVIDED: 28,421 SF ±

## PARKING CALCULATIONS:

PARKING REQUIRED:  
 OFFICE AREA: 29,034 GSF / 200 GSF 145 SPACES  
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 TOTAL PARKING REQUIRED: 170 SPACES  
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 HC PARKING REQUIRED: 8 SPACES (2 VAN)  
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 BICYCLE SPACES REQUIRED: 7 SPACES  
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## GENERAL NOTES:

- CURRENT ZONING IS SU-1 FOR IP USES.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN.
- WATER AND SEWER: CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
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## NOTES:

- NEW 6" CONCRETE CURB PER COA STD. DWG. #2415.
- STANDARD CURB AND GUTTER PER COA STD. DWG. #2415.
- ACCESSIBLE SIDEWALK RAMP.
- NEW ASPHALT PAVING AREA.
- 5' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
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- PAINTED ARROW.
- NEW 6" HIGH FENCE.
- EXISTING POWER POLE.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- 9' WIDE X 20' DEEP PARKING SPACES.
- HANDICAP SIGN PER COA STANDARDS.
- BICYCLE RACKS PROVIDE MINIMUM 7 BICYCLE SPACES.
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- 1,067.30 SF. OUTDOOR PATIO WITH SEATING AREA. SEE LANDSCAPING PLAN (SHEET 2 OF 5) FOR SHADING.
- 9.50' ROADWAY AND BICYCLE LANE EASEMENT GRANTED TO CITY OF ALBUQUERQUE ON 8-27-04, BK-A83, PG-1544

## LEGEND

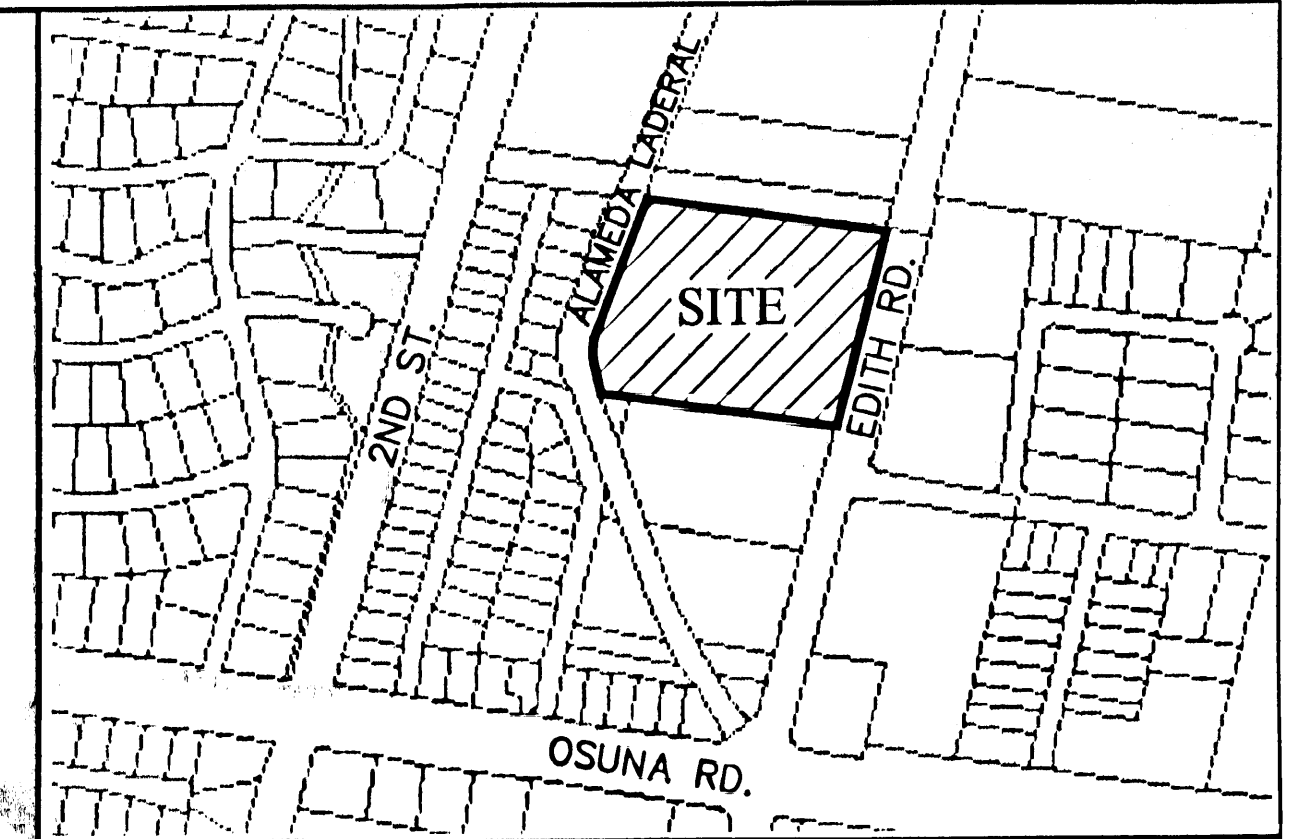
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|--|--------------------------|
|  | BOUNDARY LINE            |
|  | BUILDING                 |
|  | PROPOSED CURB ON SITE    |
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|  | EXISTING SAS             |
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## SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

- PERMISSIVE USES: PERMISSIVE USES AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-2-20-A (PERMISSIVE USES) AND -B (CONDITIONAL USES) INDUSTRIAL PARK ZONE.
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## SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

- LANDSCAPING: LANDSCAPING SHALL BE AS SPECIFIED IN SECTION 14-16-3-10 OF THE CITY OF ALBUQUERQUE ZONING CODE, EXCEPT THAT A MINIMUM LANDSCAPED STRIP OF TEN FEET SHALL BE MAINTAINED BETWEEN PARKING AREAS AND THE STREET RIGHT-OF-WAY LINE, REGARDLESS OF SITE SIZE.
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VICINITY MAP:

E-15-Z

## LEGAL DESCRIPTION:

TRACT 45-B, MRCD MAP NO. 29, CONTAINING 265,731.99 S.F. (6.100 AC.)

I SHAHAB BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE SITE PLAN WITH APPROVED DATE OF 7/14/2004. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON JUNE 27, 2006. THE BUILDING TO THE NORTH IS UNDER CONSTRUCTION, AND PORTION OF THE PAVEMENT AROUND THIS BUILDING IS NOT IN PLACE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY FOR THE BUILDING TO THE SOUTH AND TO THE WEST ONLY.



## SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- CONCEPTUAL GRADING AND DRAINAGE PLAN
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- ELEVATION PLANS

PROJECT NUMBER: 1003126

APPLICATION NUMBER: 04-01025

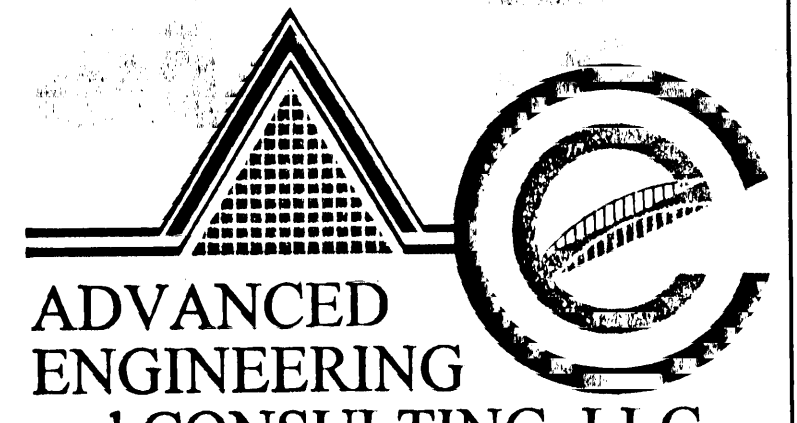
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|                                              |          |
|----------------------------------------------|----------|
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | 10-15-04 |
| <i>Roger L. Shean</i>                        | DATE     |
| UTILITIES DEVELOPMENT                        | 7-14-04  |
| <i>Kevin J. Jones</i>                        | DATE     |
| PARKS AND RECREATION DEPARTMENT              | 7-14-04  |
| <i>Bradley L. Bingham</i>                    | DATE     |
| CITY ENGINEER                                | 10/5/04  |
| <i>Sharon M. Nelson</i>                      | DATE     |
| SOLID WASTE MANAGEMENT                       | 7-14-04  |
| <i>Sharon M. Nelson</i>                      | DATE     |
| DRB CHAIRPERSON, PLANNING DEPARTMENT         | 7/14/04  |



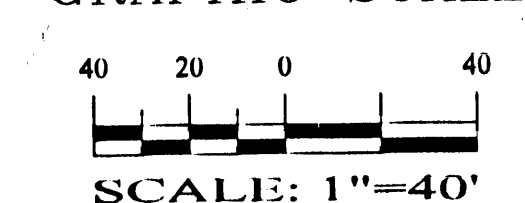
SHAHAB BIAZAR  
 P.E. #13479



ADVANCED  
 ENGINEERING  
 and CONSULTING, LLC

4416 ANAHEIM AVE., NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505) 899-5570

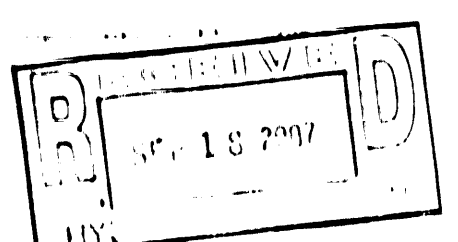
## GRAPHIC SCALE



## SITIO BUSINESS PARK SITE PLAN FOR BUILDING PERMIT

| DRAWING:      | DRAWN BY: | DATE:    | SHEET # |
|---------------|-----------|----------|---------|
| 200355-ST.DWG | SHH       | 11-10-03 | 1 OF 5  |

|                  |        |              |        |       |   |    |   |
|------------------|--------|--------------|--------|-------|---|----|---|
| CITY PROJECT NO. | 745681 | ZONE MAP NO. | E-15-Z | SHEET | 2 | OF | 5 |
|------------------|--------|--------------|--------|-------|---|----|---|



# GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5005.12 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ADD 5000 TO ALL THE SPOT ELEVATIONS (UNLESS THE ELEVATION IS A 6 FIGURE NUMBER)

GARDEN WALL  
(GROUT FILL FIRST FOUR COURSES  
DESIGN BY OTHERS)

WATER PROOF WALL  
UP TO 5001.00

MAXIMUM  
PONDING  
LIMITS

4999.00

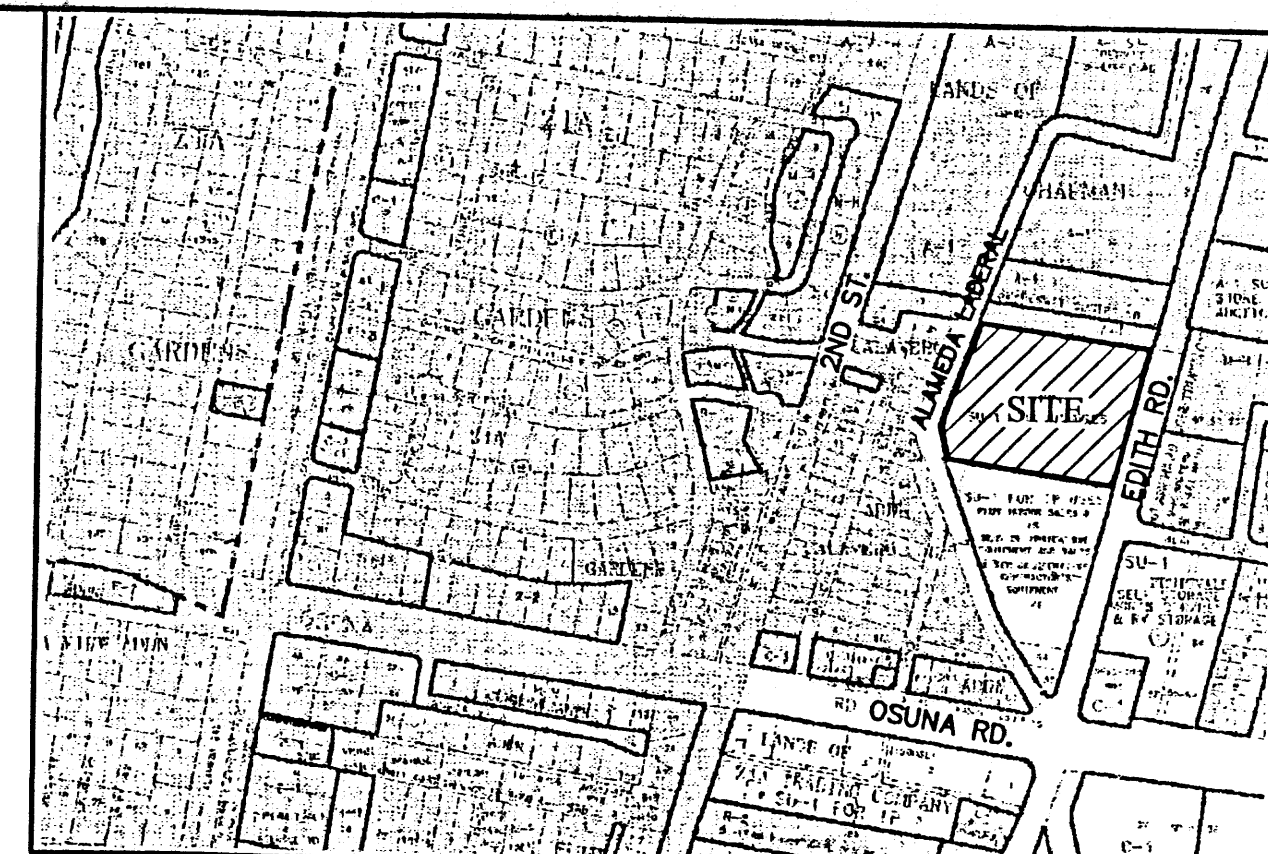
4999.60

## SECTION A-A

NTS

## EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP:

E-15-Z

## LEGAL DESCRIPTION:

TRACT 45-B, MRGCD MAP NO. 29, CONTAINING ±6.10 AC.

## NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

## LEGEND

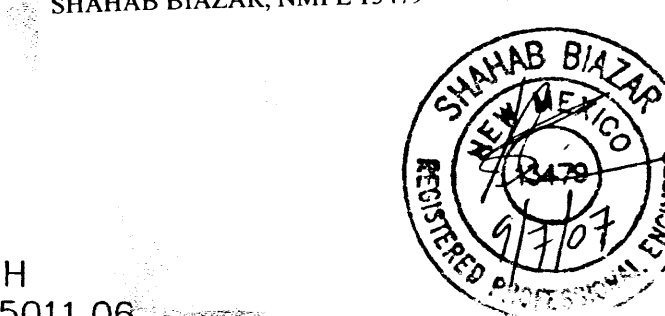
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- WATER BLOCK
- STEM WALL / RETAINING WALL
- AS-BUILTS

## DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-20-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. AS-BUILT INFORMATION PROVIDED BY ADVANCED ENGINEERING AND CONSULTING, LLC.

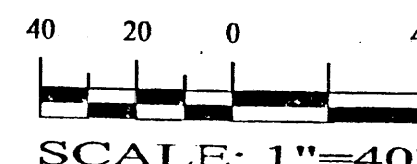
THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479 DATE 9/7/07



EXT. SD MH  
EXT. RIM=5011.06  
INV. IN=5002.09  
INV. OUT=5001.99

## GRAPHIC SCALE



I, SHAHAB BIAZAR, NMPE OF THE FIRM ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9-20-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

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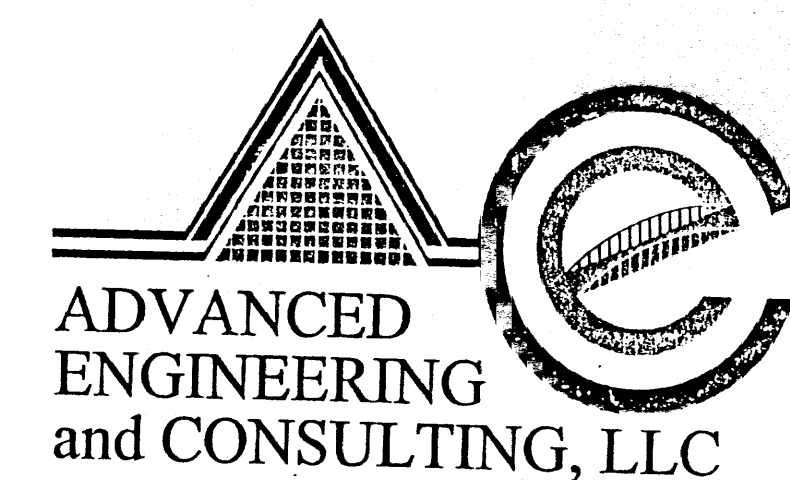
SHAHAB BIAZAR, NMPE 13479 DATE 6/28/06



ROUGH GRADING APPROVAL

DATE

SHAHAB BIAZAR  
P.E. #13479



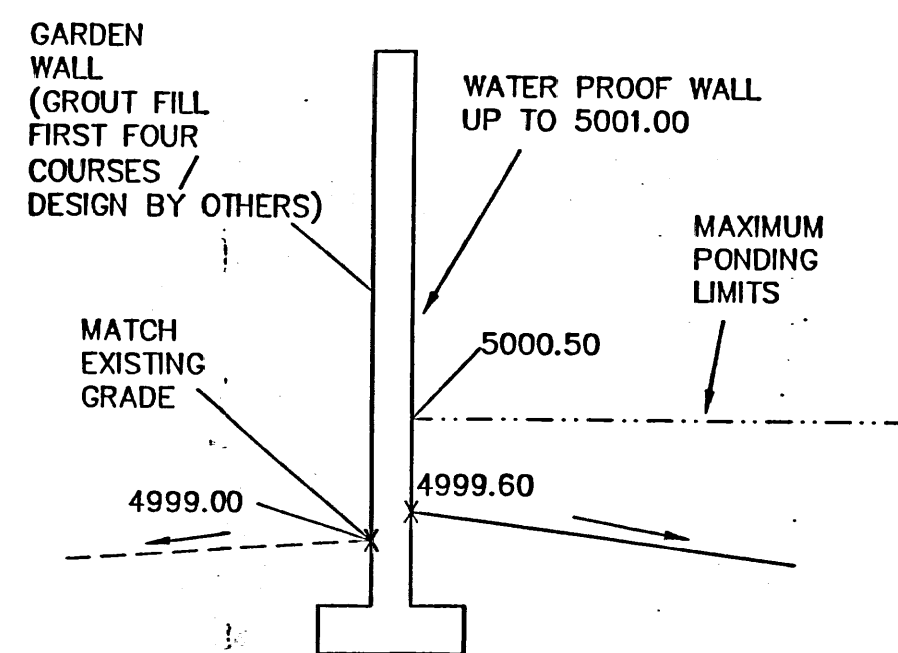
ADVANCED  
ENGINEERING  
and CONSULTING, LLC

|                                      |           |          |         |
|--------------------------------------|-----------|----------|---------|
| SITIO BUSINESS PARK                  |           |          |         |
| CONCEPTUAL GRADING AND DRAINAGE PLAN |           |          |         |
| DRAWING:                             | DRAWN BY: | DATE:    | SHEET # |
| 200355-GR.DWG                        | SBB       | 11-10-03 | 4 OF 6  |

SEP 18 2007

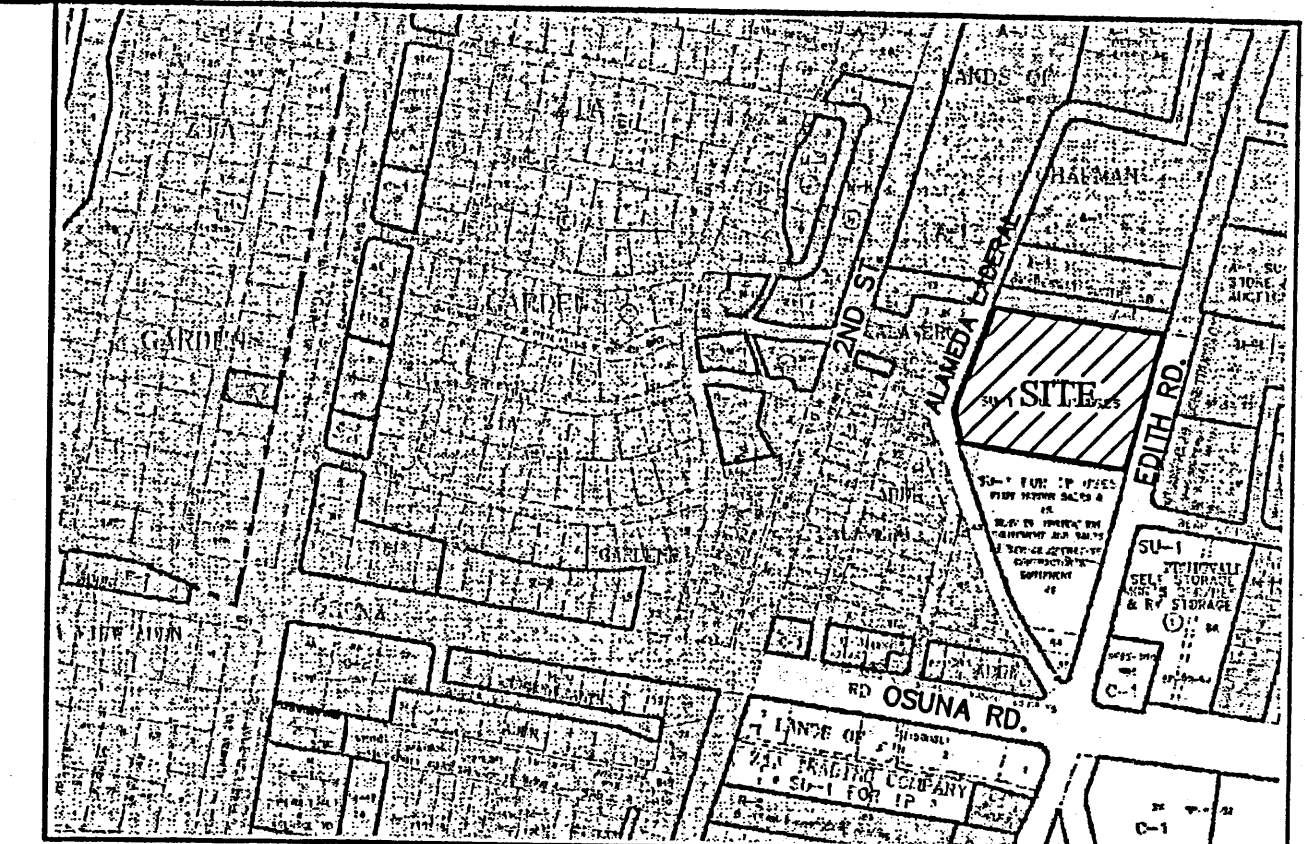
# GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5006.12 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ADD 5000 TO ALL THE SPOT ELEVATIONS (UNLESS THE ELEVATION IS A 6 DIGIT NUMBER)



## EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

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VICINITY MAP:

## LEGAL DESCRIPTION:

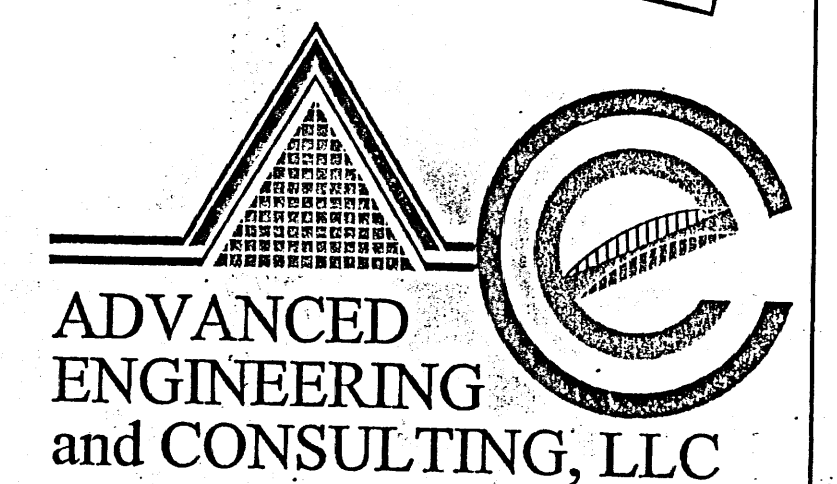
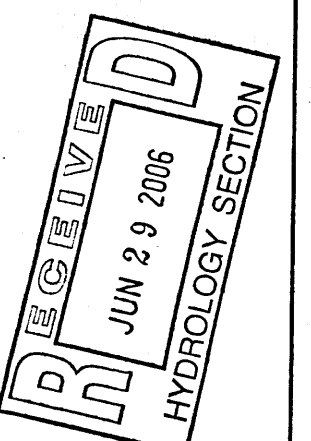
TRACT 45-B, MRGCD MAP NO. 29, CONTAINING ±6.10 AC.

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## LEGEND

|  |                                 |
|--|---------------------------------|
|  | EXISTING SAS MANHOLE            |
|  | EXISTING METER                  |
|  | EXISTING VALVE W/BOX            |
|  | EXISTING FIRE HYDRANT           |
|  | EXISTING 8" SAS                 |
|  | EXISTING 16" WL                 |
|  | EXISTING CURB & GUTTER          |
|  | PROPOSED CURB & GUTTER          |
|  | EXISTING CONTOUR (MAJOR)        |
|  | EXISTING CONTOUR (MINOR)        |
|  | BOUNDARY LINE                   |
|  | EASEMENT                        |
|  | LIMITS OF TOP OF EXISTING SLOPE |
|  | PROPOSED SIDEWALK               |
|  | PROPOSED GRADE                  |
|  | PROPOSED SPOT ELEVATION         |
|  | EXISTING GRADE                  |
|  | EXISTING POWER LINES            |
|  | EXISTING FENCE                  |
|  | WATER BLOCK                     |
|  | STEM WALL / RETAINING WALL      |
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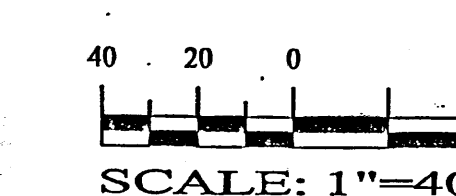
SHAHAB BIAZAR  
P.E. #13479

10205 SNOWFLAKE CT. NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

## SITIO BUSINESS PARK CONCEPTUAL GRADING AND DRAINAGE PLAN

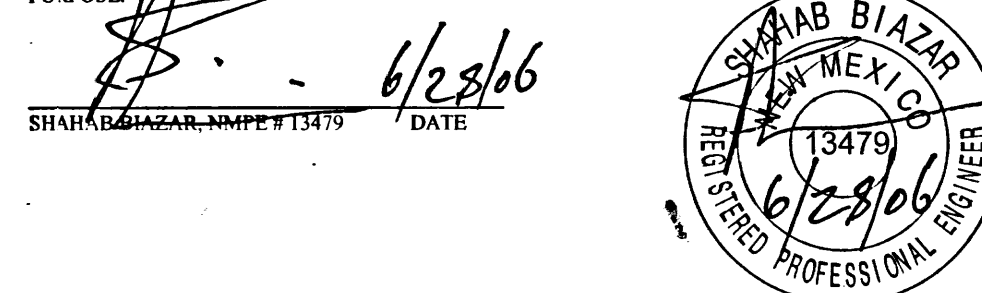
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|---------------|-----------|----------|---------|
| DRAWING:      | DRAWN BY: | DATE:    | SHEET # |
| 200355-GR.DWG | SBB       | 11-10-03 | 3 OF 5  |

## GRAPHIC SCALE



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ROUGH GRADING APPROVAL

DATE

6/29/06