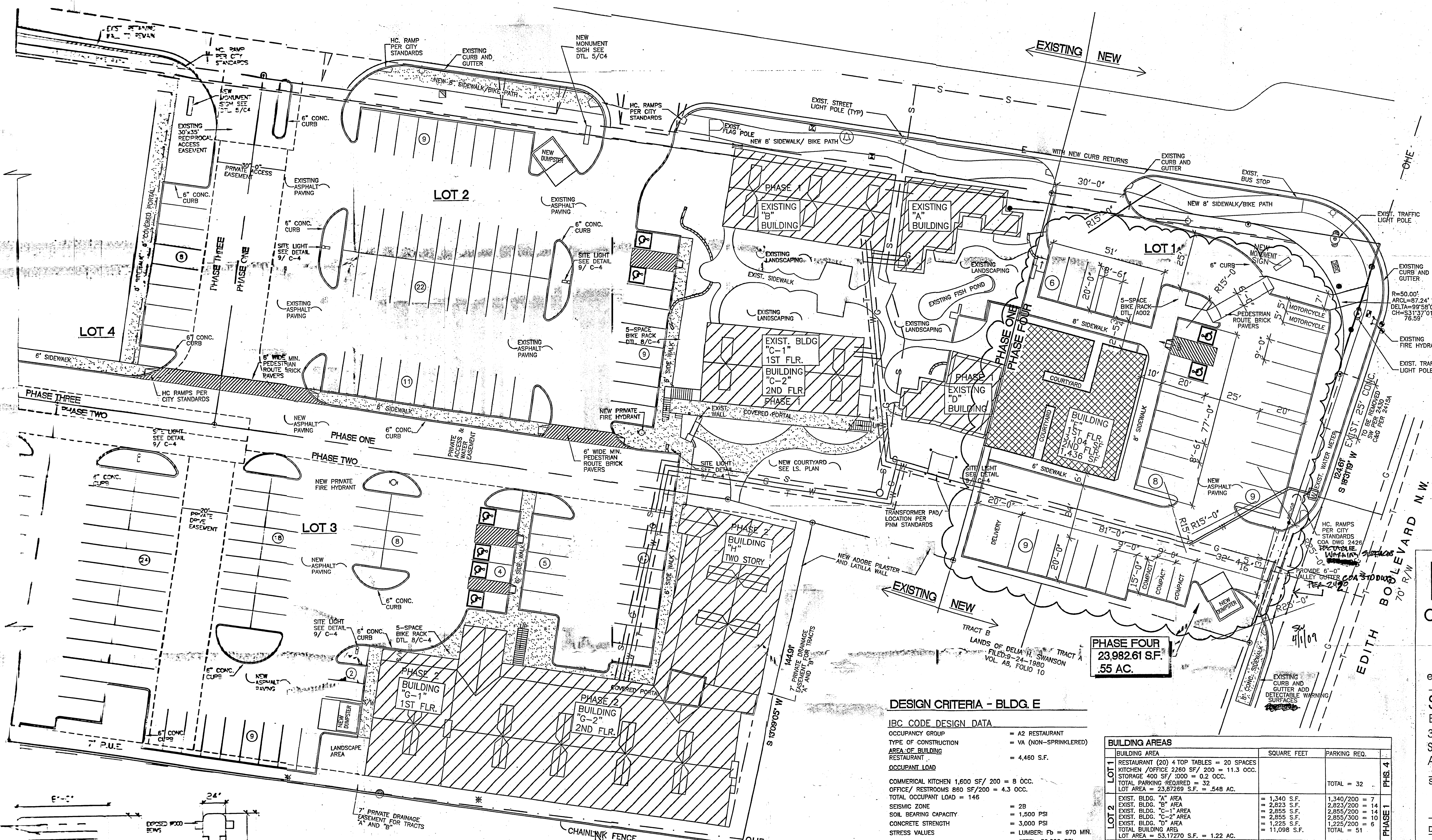




ADMINISTRATIVE AMENDMENT
 File # 0840034 Project # 0000357
 Revised Phase Four
 Approved by [Signature] 1349-2009
 DATE

H+W
 architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.761.8238
 fax 505.508.4478
 email: hpluvs@comcast.net

SUNLAND PARK
 BUILDING "E"
 320 OSUNA ROAD NE
 Suite "D"
 Albuquerque, NM 87107

Sheet Title:
SITEPLAN
 Date: Feb. 18, 2009
 Drawn: S.T.WILDER
 Checked: S.T.WILDER
 Revision:
 TRANSPI NSF 3-4-09
 Seal:



JOB NUMBER: H28005

C001

DESIGN CRITERIA - BLDG. E

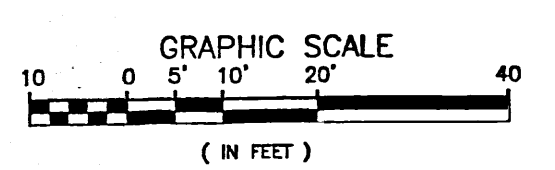
IBC CODE DESIGN DATA
 OCCUPANCY GROUP = A2 RESTAURANT
 TYPE OF CONSTRUCTION = VA (NON-SPRINKLERED)
 AREA OF BUILDING = 4,460 S.F.
 OCCUPANT LOAD = 146
 COMMERCIAL KITCHEN 1,600 SF/ 200 = 8 OCC.
 OFFICE/ RESTROOMS 850 SF/200 = 4.3 OCC.
 TOTAL OCCUPANT LOAD = 146
 SEISMIC ZONE = 2B
 SOIL BEARING CAPACITY = 1,500 PSI
 CONCRETE STRENGTH = 3,000 PSI
 LUMBER: Fb = 970 MIN.
 STRESS VALUES = STEEL 50,000 PSI
 WIND DESIGN LOAD = SPEED = 75 MPH
 ROOF DESIGN LOAD = 20 PSF LL, 15 PSF DL
 FLOOR DESIGN LOAD = SLAB ON GRADE
 CORRIDOR DESIGN LOAD = N/A

ZONING DESIGN DATA

- ZONING = SU-2 FOR IP
- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
 - LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
 - IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
 B. SHRUB PLANTING: DRIP IRRIGATION W/ 6-1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER.
 - PREMISE ID ADDRESS SHALL BE LEGIBLE AND FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
 - NEW HYDRANTS (IF REQUIRED) TO BE INSTALLED SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.

SITE DEVELOPMENT PLAN

1"=20' (FOR BUILDING PERMIT PHASE II)

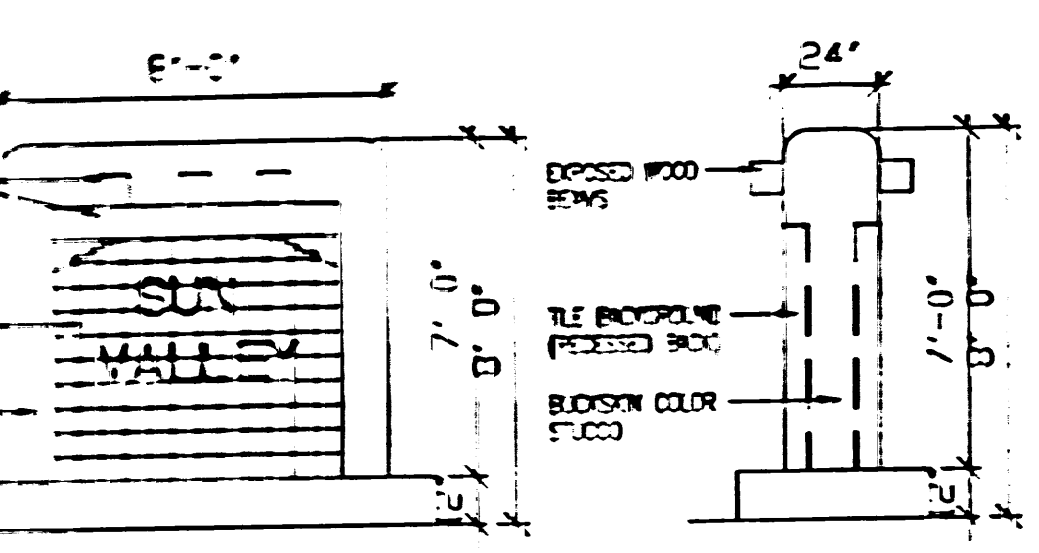


LEGAL DESCRIPTION
 A CERTAIN TRACT OF LAND BEING TRACTS A AND B (EXCEPTING THAT PORTION OF TRACT B TAKEN FOR ADDITIONAL RIGHT-OF-WAY) OF THE LAND DIVISION OF TRACTS 52-A AND 55-A, M.R.G.C.D. MAP NO. 29, WITHIN SECTION 28, TOWNSHIP 11 NORTH, RANGE 3 EAST OF THE N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 4, 1979, IN VOLUME A7, FOLIO 62..

GENERAL NOTES:
 LIGHTING: LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

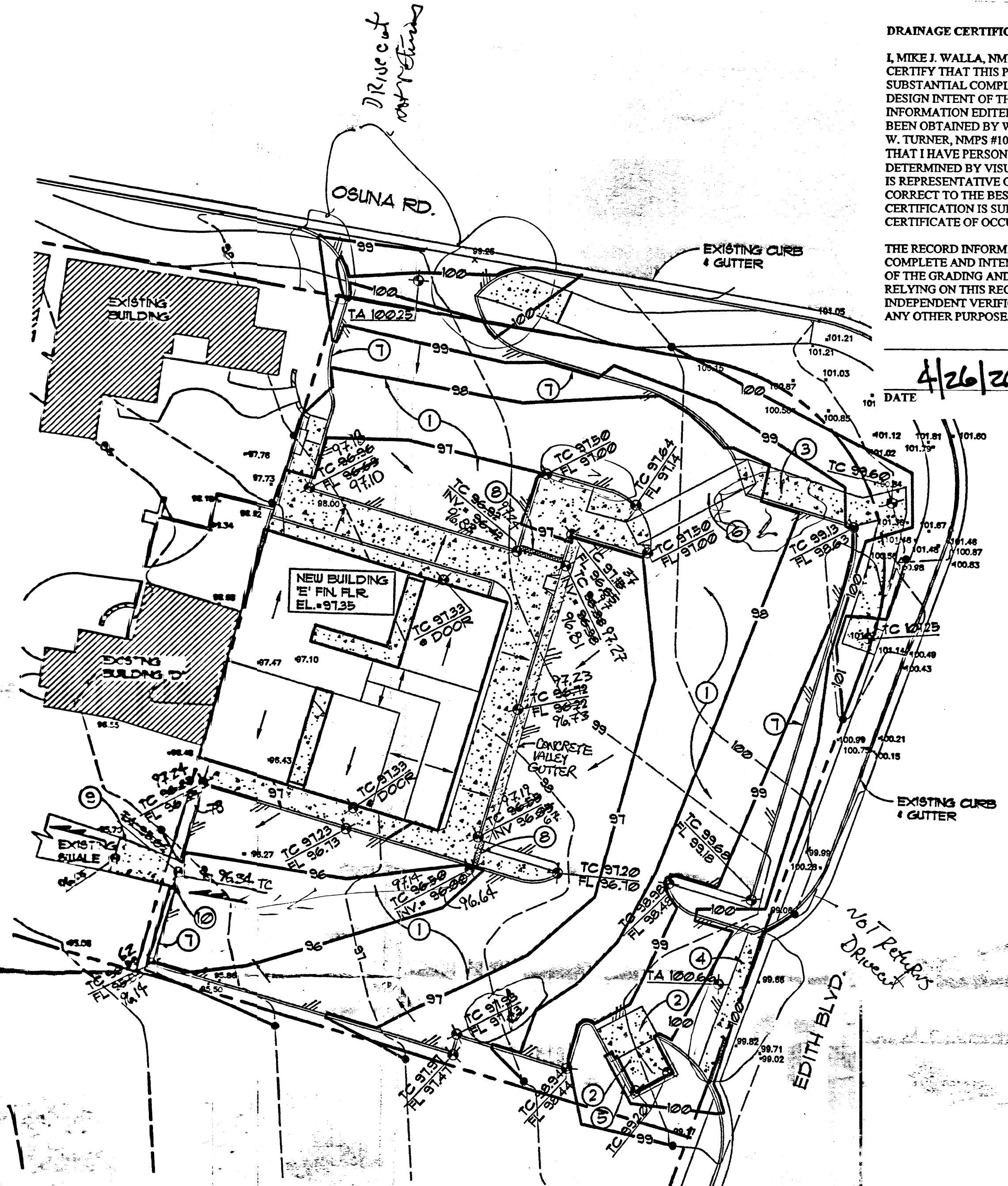
PROJECT NUMBER:
CASE NUMBER:
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.
 IS A INFRASTRUCTURE LIST REQUIRED () YES () NO. IF YES, THEN A SET OF APPROVED DRG WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION/AVAFGA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE DEPARTMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT, ALBUQUERQUE	DATE



TYPICAL SIGNAGE ELEVATION

ONE SIGN ON EACH BLDG. AND ONE ON OSUNA RD. (AS SET BY THE CITY OF ALBUQUERQUE)



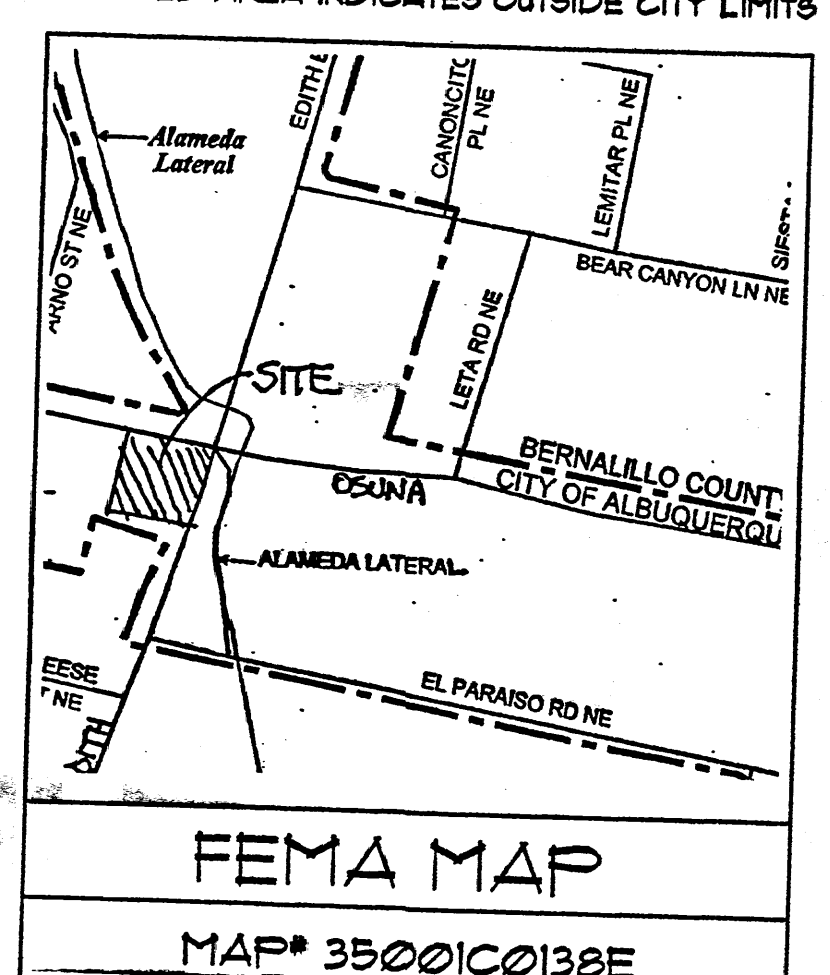
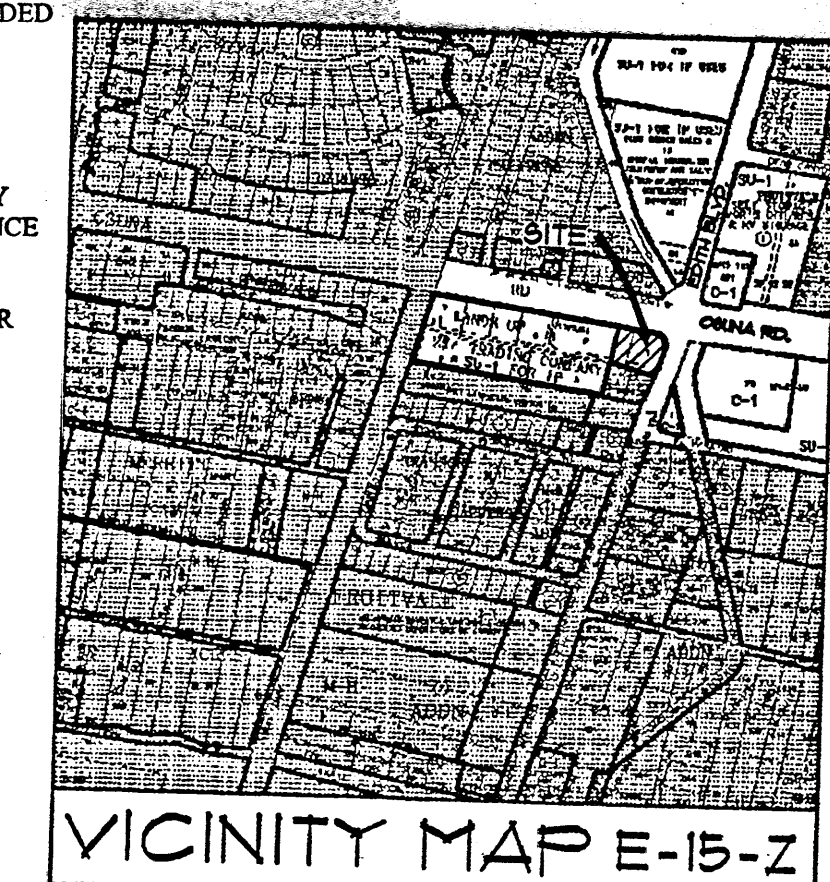
DRAINAGE CERTIFICATION

I, MIKE J. WALLA, NMPE #11030, OF WALLA ENGINEERING, LTD. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/17/2009. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WAYNE D. FINCKE UNDER THE DIRECTION OF PHILIP W. TURNER, NMPS #10204, OF GEOMETRIC SERVICES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE ON APRIL 26, 2010 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 4/26/2010

Professional Engineer Seal: Mike J. Walla, NMPE #11030



KEYED NOTES

- 1 NEW AC PAVING. SEE DETAIL 1/C101.
- 2 6" CONCRETE SLAB. 4000 PSI. SEE DETAIL 3/C101.
- 3 4" 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK PER 2/C-101.
- 4 6'-0" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL 4/C-101.
- 5 8" SPLIT FACE CMU BLOCK WALL. SEE DETAIL 4/C-101.
- 6 BRICK PAVEMENT PEDESTRIAN WALK. SEE ARCHITECTURAL DRAWINGS.
- 7 NEW CONCRETE CURB PER DETAIL 3/C101.
- 8 1'-0" WIDE SIDEWALK CULVERT PER DETAIL 3/C101.
- 9 CONSTRUCT NEW 4" THICK, 4000 PSI CONCRETE SWALE & CONNECT TO EXISTING.
- 10 REMOVE BOTTOM PORTION OF EXISTING WOOD FENCE & DRAINAGE SWALE & CURB BREAK TO ALLOW CLEAR FLOW OF RUNOFF.

DESIGN NARRATIVE

THE SUBJECT SITE IS AN APPROXIMATELY 1/2 ACRE PARCEL AT THE EAST END OF A COMMERCIAL DEVELOPMENT CALLED SUNLAND PARK ON OSUNA BLVD. NE. THIS EXISTING SUNLAND PARK DEVELOPMENT DIRECTS STORM RUNOFF FROM THE SUBJECT SITE VIA A DRAINAGE CHANNEL ON THE SOUTH SIDE OF THE PROPERTY. THE DEVELOPED FLOWS FROM THE SUBJECT SITE WILL BE DIRECTED TO THIS DRAINAGE CHANNEL WHERE DOWNSTREAM FACILITIES ARE DESIGNED TO ACCEPT THEM (SEE ORIGINAL DEVELOPMENT PLAN PREPARED BY BRASHER & LORENZ IN 2001). THE NEW DEVELOPED FLOWS WILL INCREASE RUNOFF TO THIS DRAINAGE CHANNEL BY 0.68 CFS. NEW WATER BLOCKS WILL BE CREATED & DRIVE ENTRANCES TO THE SITE AND NO FLOW DEVELOPED ON THIS SITE WILL BE DIRECTED TO OSUNA BLVD. OR EDITH BLVD. NOR WILL IT BE DIRECTED TO THE ADJACENT SITE SOUTH OF THIS PROPERTY.

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING TRACTS A AND B (EXCEPTING THAT PORTION OF TRACT B TAKEN FOR ADDITIONAL RIGHT-OF-WAY) OF THE LAND DIVISION OF TRACTS 52-A AND 55-A, H&G CO. MAP NO. 28, WITHIN SECTION 28, TOWNSHIP 11 NORTH, RANGE 3 EAST OF THE NMP, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 4, 1978, IN VOLUME A1, FOLIO 62.

TEMPORARY BENCHMARK

FINISHED FLOOR ELEVATION • NORTH DOOR OF EXISTING BUILDING "D" = 96.68

LEGEND

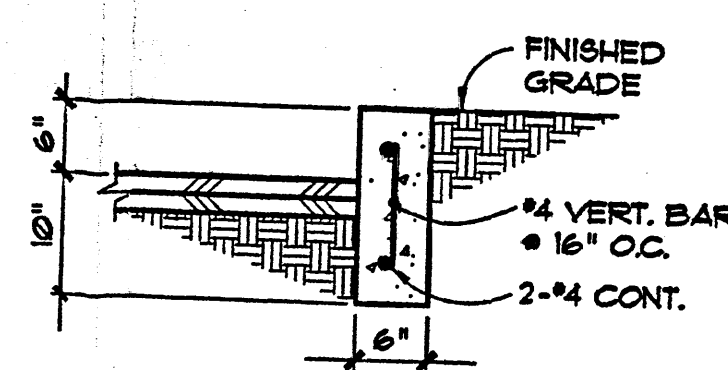
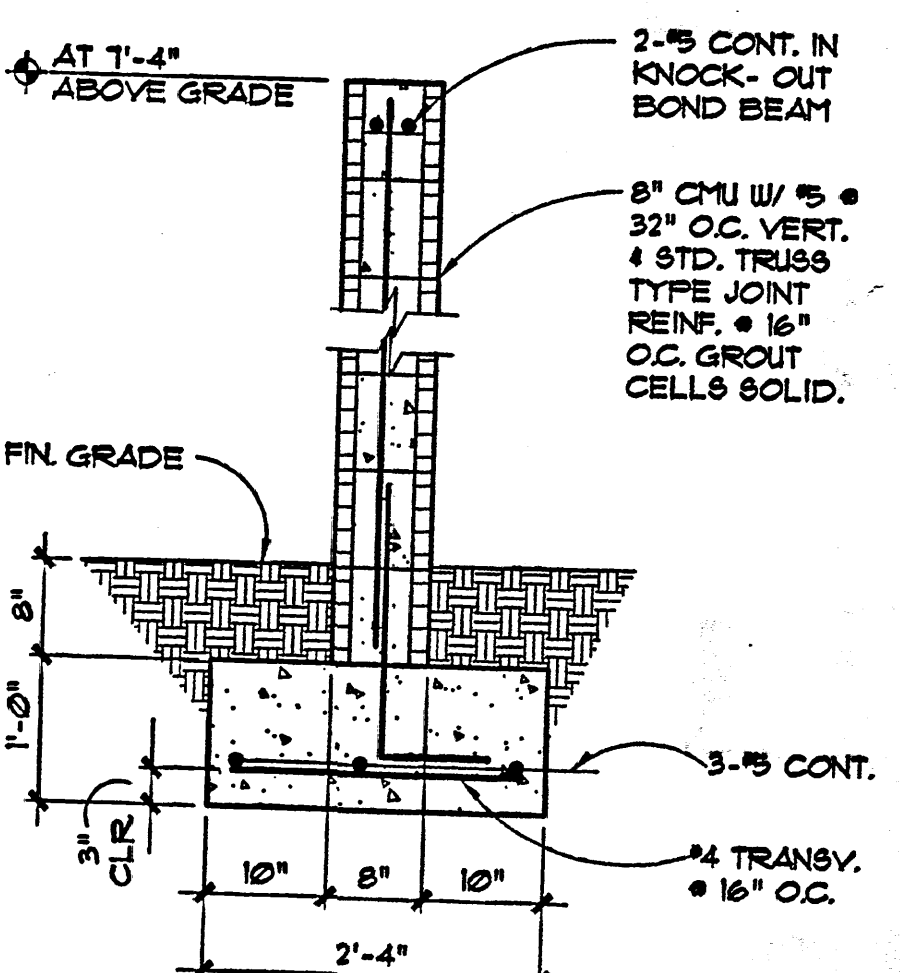
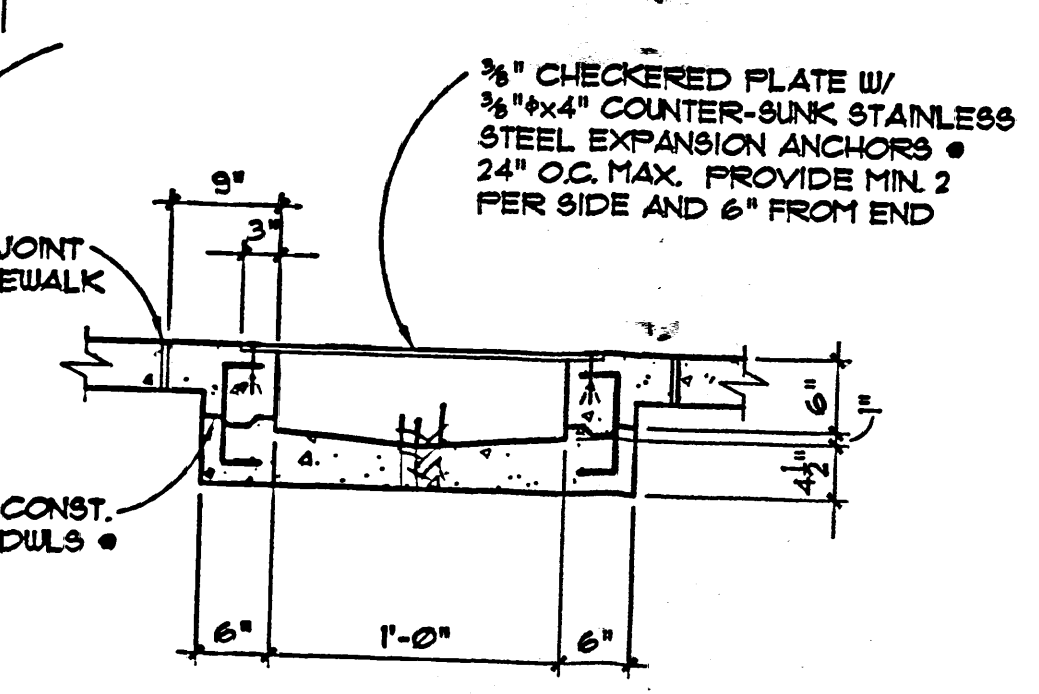
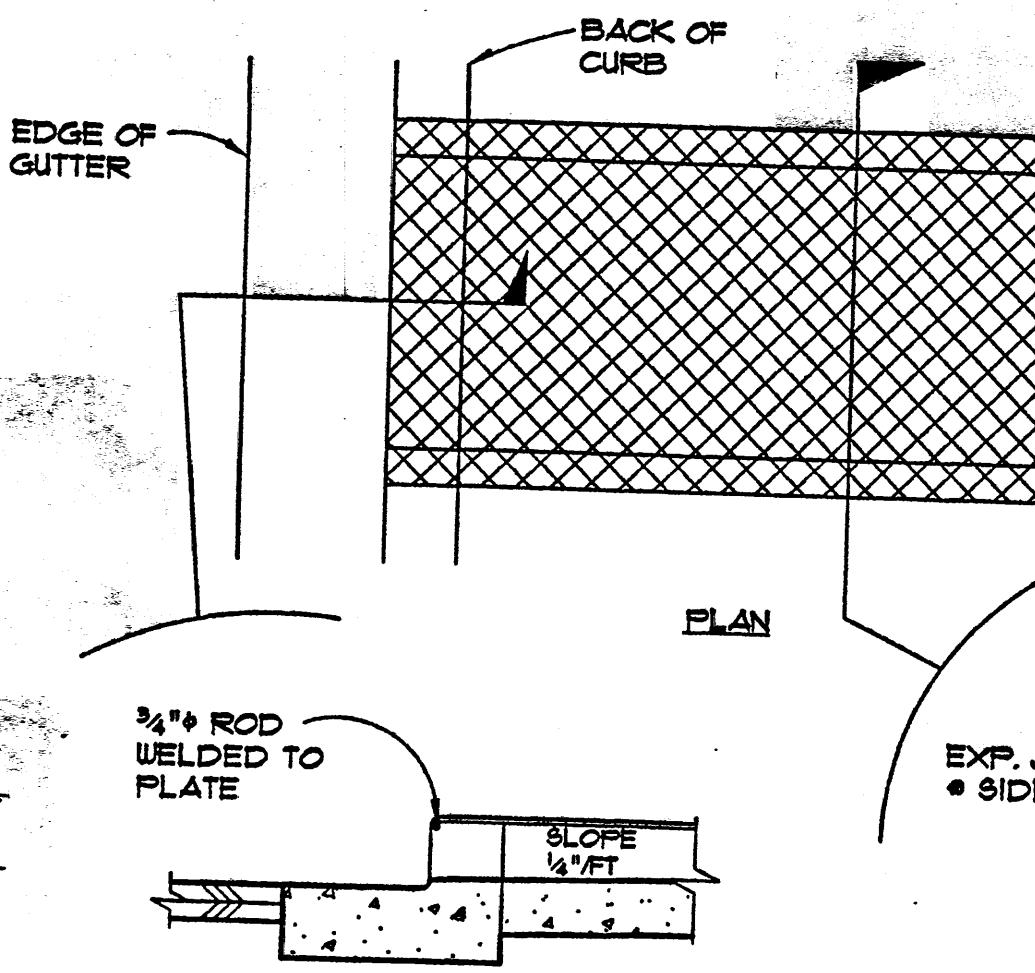
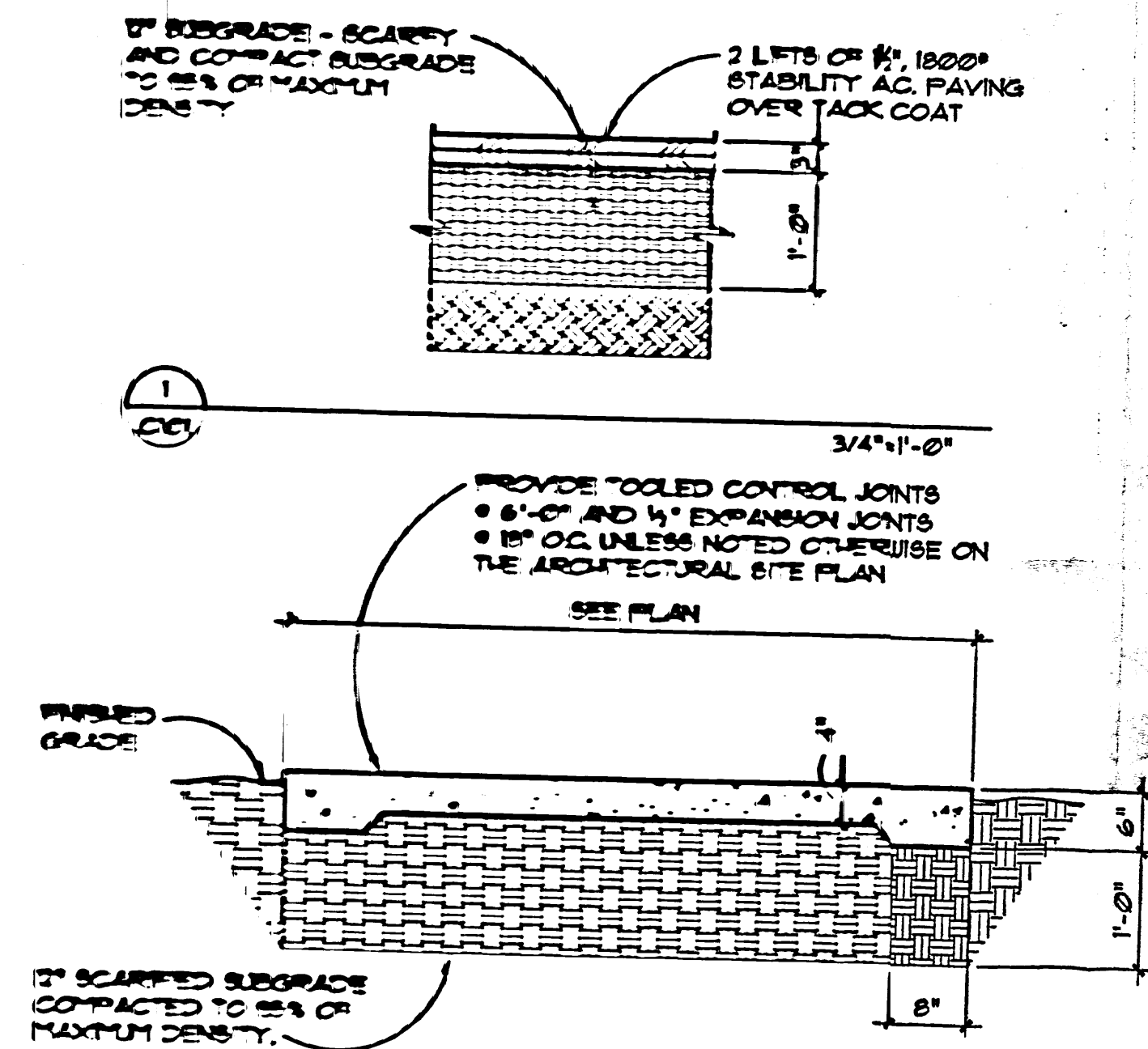
- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- FL FLOW LINE
- INV INVERT ELEVATION
- NEW CONCRETE PAVING
- NEW AC PAVING
- SWALE
- AS-BUILT ELEVATION

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
		1hr	6hr	24hr	4day	10day			
		2.01	2.35	2.75	3.30	3.95			
EXISTING CONDITIONS									
LAND TRIMNT	AREA (ACRE)	AREA %	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	
B	0.100	19%	0.18	228	0.23	283	283	283	
C	0.430	81%	1.13	314	1.35	1,764	4,881	1,764	
D	0.000	0%	2.12	4.70	0.00	0	0	0	
TOTALS	0.530	100%		158	2.041	2.041	2.041	2.041	
PROPOSED CONDITIONS-ENTIRE SITE									
LAND TRIMNT	AREA (ACRE)	AREA %	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	
B	0.100	19%	0.18	228	0.23	283	283	283	
C	0.000	0%	1.13	314	0.00	0	0	0	
D	0.430	81%	2.12	4.70	2.02	3,303	3,933	4,792	
TOTALS	0.530	100%		225	3.392	4.211	5.075	6.090	

GRADING AND DRAINAGE PLAN

1"=20'



RECEIVED

APR 27 2010

HYDROLOGY SECTION

Walla ENGINEERING LTD.

Structural Engineering
Civil Engineering

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Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025

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email: hplusw@comcast.net

SUNLAND PARK
BUILDING "E"
320 OSUNA ROAD NE
Suite "D"
Albuquerque, NM 87107

Sheet Title:
GRADING AND DRAINAGE PLAN

Date:
Drawn: LPS
Checked: MJW
Revision:

Seal:
Professional Engineer Seal: Mike J. Walla, NMPE #11030

JOB NUMBER: H28005

C101