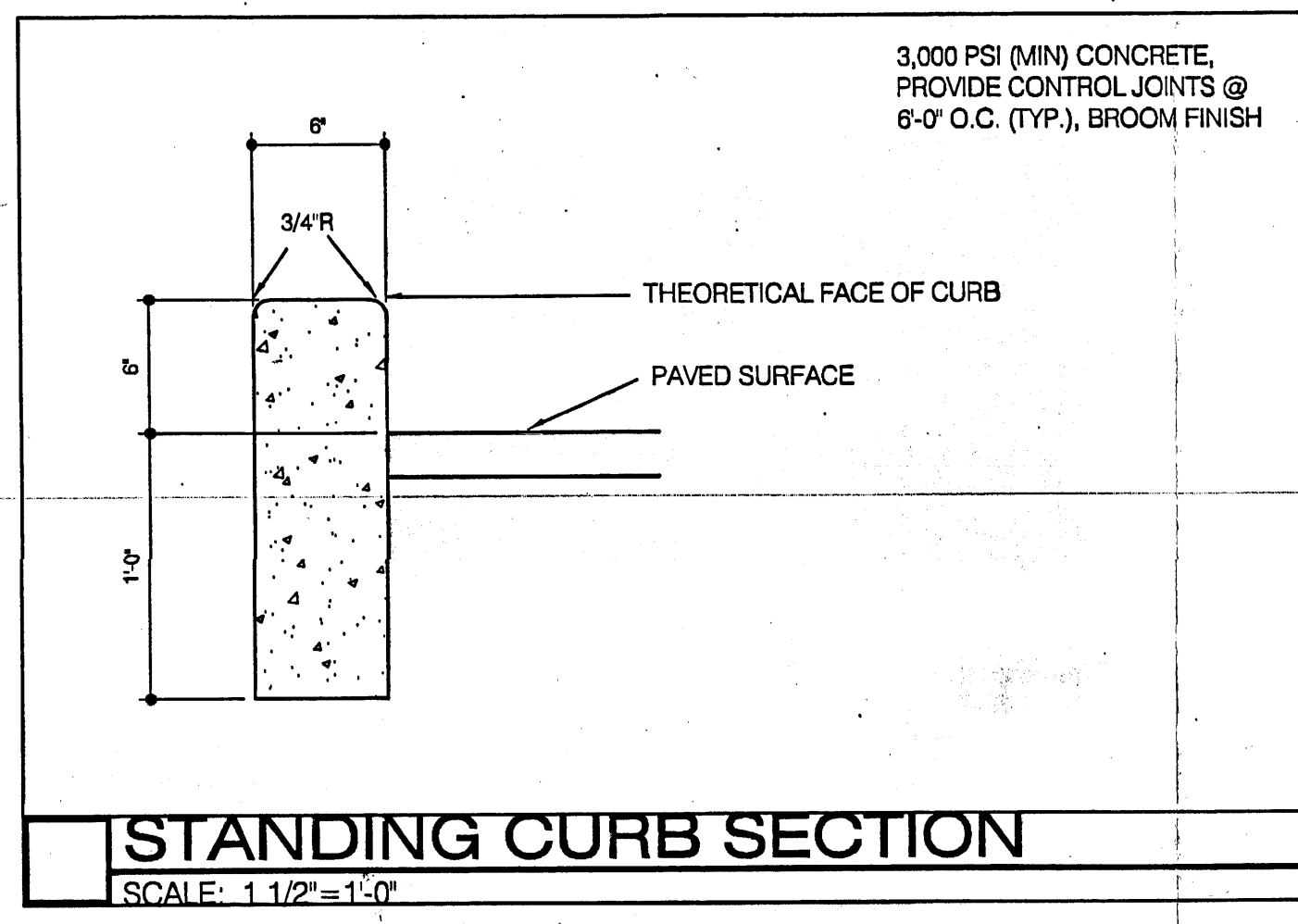
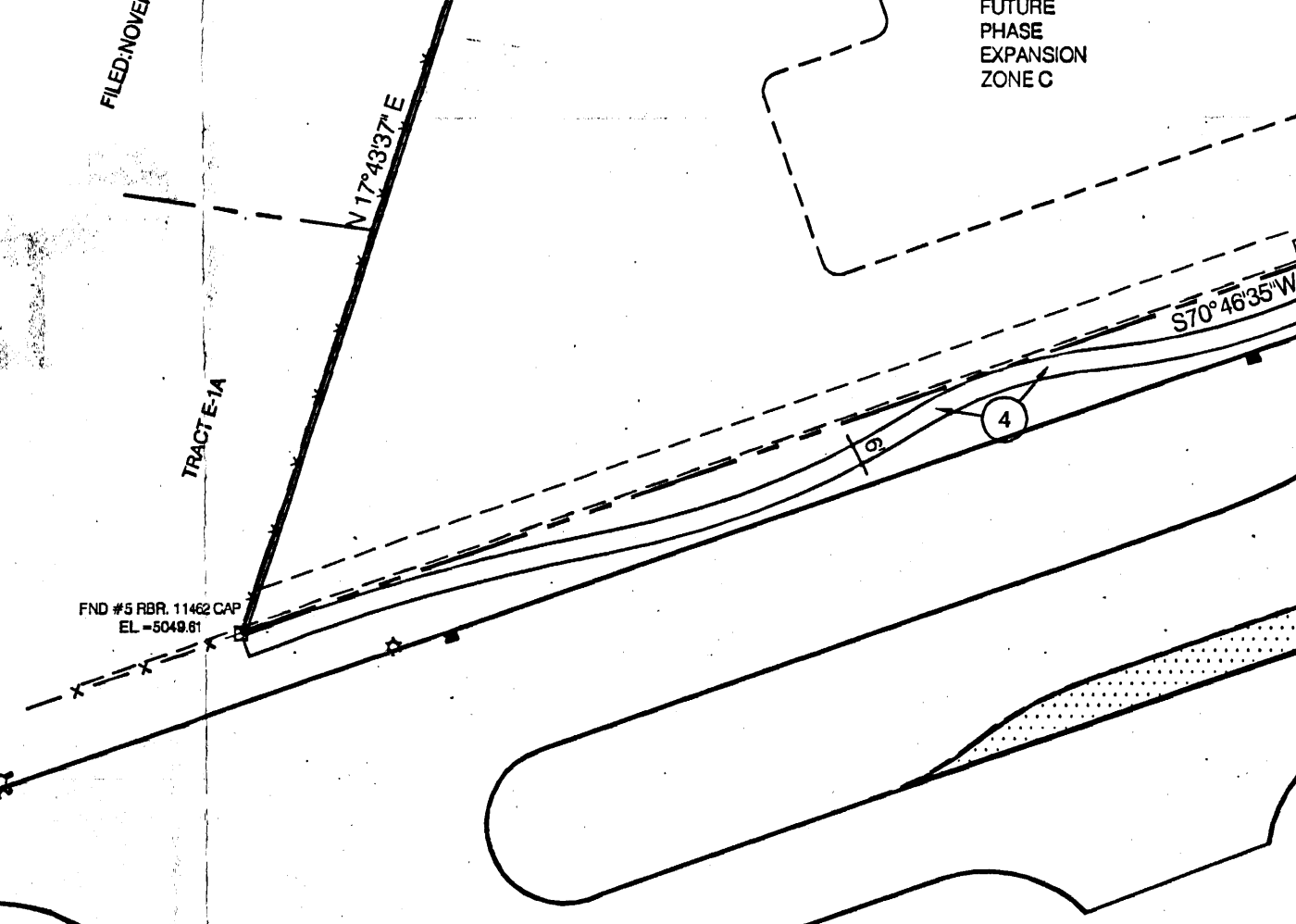
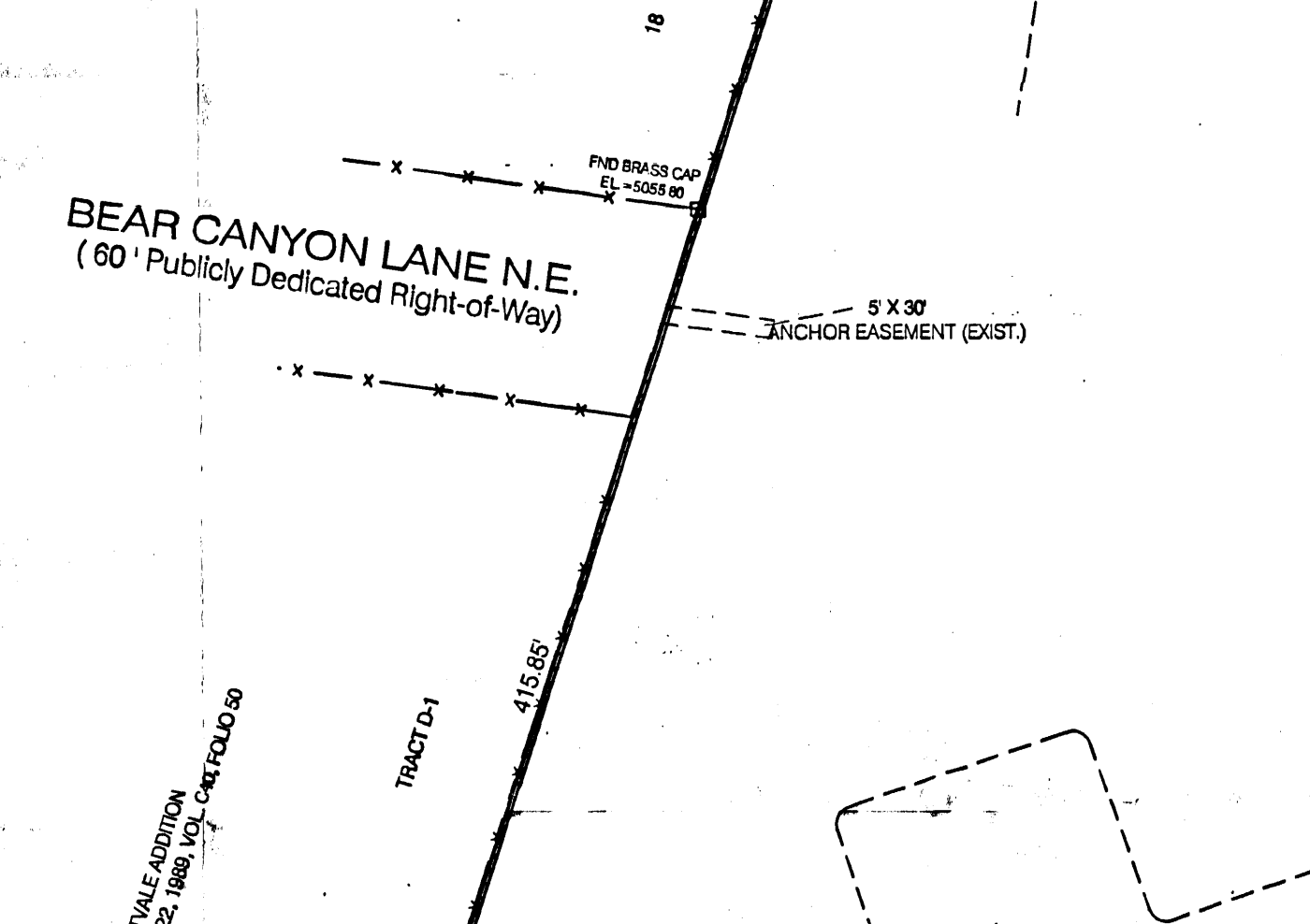
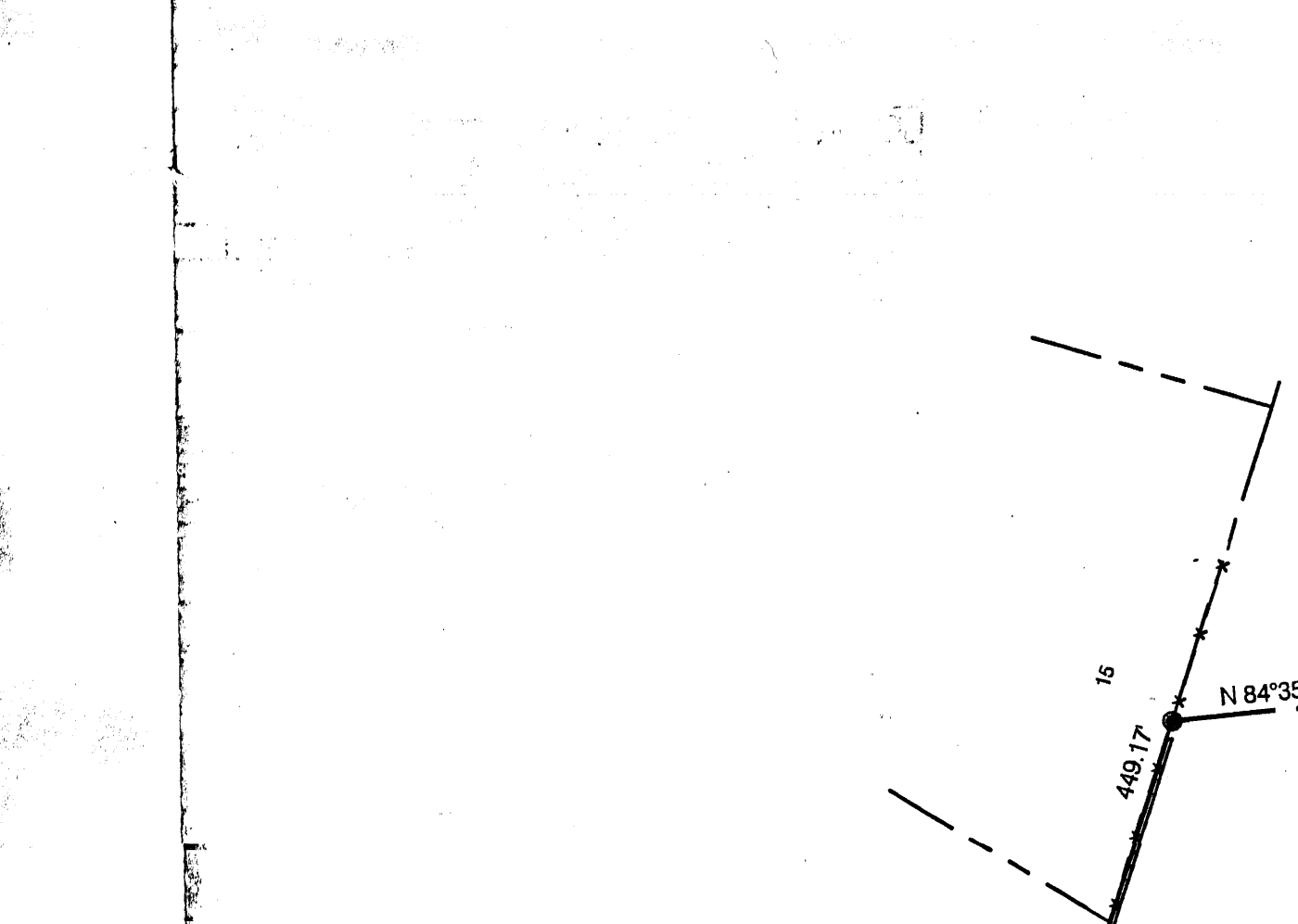
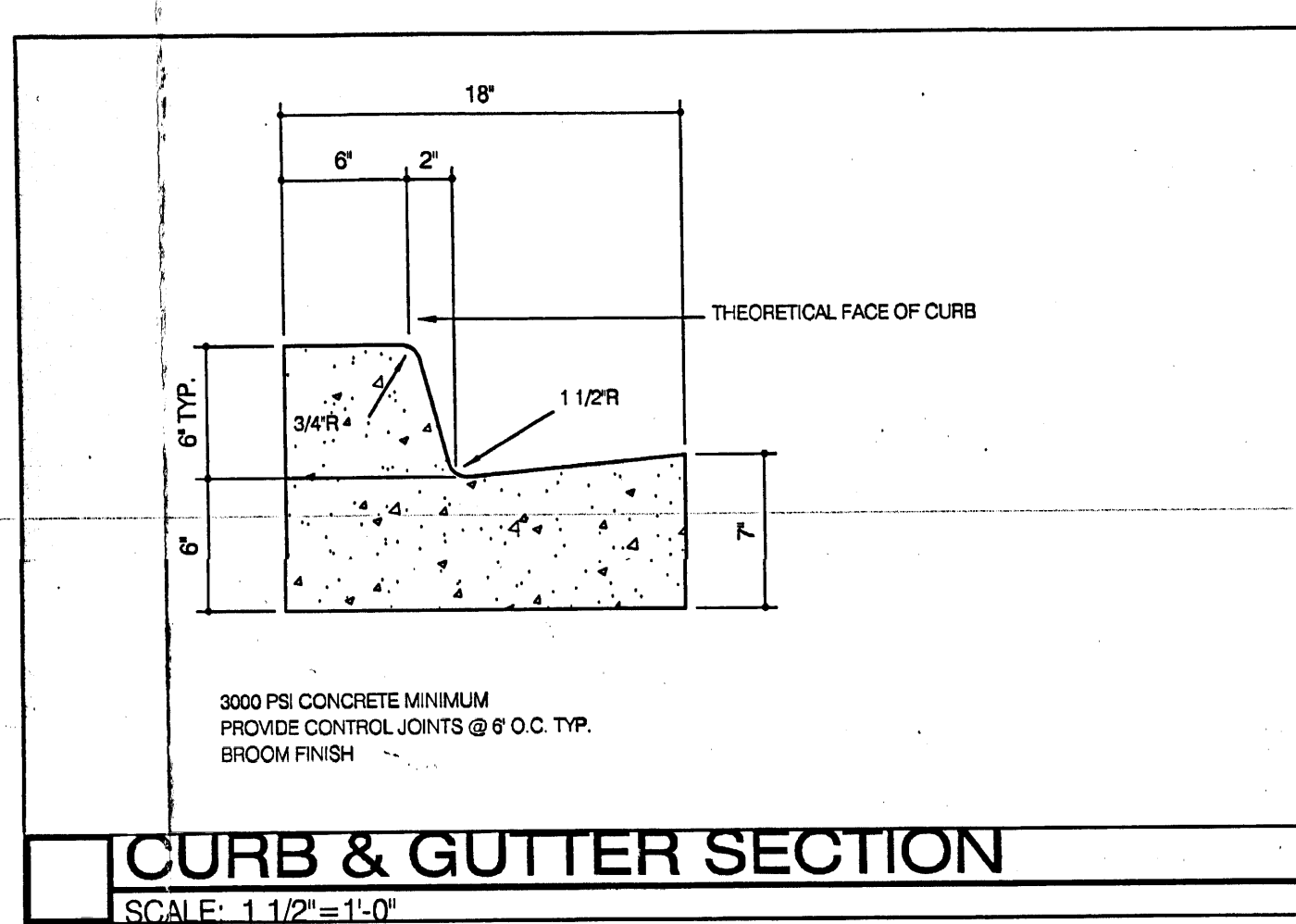




LINE TABLE		
LINE	LENGTH	BEARING
L-1	71.00	S05°24'36"E
L-2	52.22	S19°13'23"E

- SYMBOL LEGEND**
- | | |
|-------|-----------------------------------|
| ● | = EXISTING TRAFFIC SIGNAL |
| ● | = EXISTING LIGHT POLE |
| ● | = EXISTING POWER POLE |
| —O—O— | = EXISTING OVER-HEAD UTILITY LINE |
| —G—G— | = EXISTING UNDERGROUND GAS LINE |
| —S—S— | = EXISTING UNDERGROUND SEWER LINE |
| —W—W— | = EXISTING UNDERGROUND WATER LINE |
| → | = EXISTING ANCHOR |
| ⊙ | = EXISTING SEWER MAN-HOLE |
| ⊙ | = EXISTING TELEPHONE MAN-HOLE |
| ⊙ | = EXISTING POWER MAN-HOLE |
| ⊙ | = EXISTING WATER VALVE |
| ⊙ | = EXISTING ELECTRIC RISER |
| ⊙ | = EXISTING FIRE HYDRANT |
| ⊙ | = EXISTING FLOW INLET |
| —X— | = EXISTING FENCE |
- NOTE: SEE SHEET C4.0 FOR NEW UTILITY LINES AND CONNECTIONS.**

NOTE: SEE SHEET C4.0 FOR NEW UTILITY
LINES AND CONNECTIONS

A map showing the location of the 'SITE' (indicated by a small building icon and a line pointing to the label 'SITE'). The site is located near the intersection of 2ND ST. and EDNA BLVD. Other streets shown include NORTH DIVERSION CHANNEL, CSUNYA BLVD., PAN AMERICAN FREEWAY, and SAN MATEO BLVD. A label 'MESA DEL NORTE DR' is also present near the site.

GENERAL NOTES

- [C1.1] ALL STANDARD PARKING SPACES SHALL BE 8'5W X 20'D
- [C1.2] ALL HANDICAP PARKING SPACES SHALL BE 8'W X 20'D WITH ADJACENT 5W' CURED AND ACCESSIBLE ASIDE 1' VAN ACCESSIBLE SPACE SHALL HAVE AN 8' WIDE ACCESS AISLE. ALL SPACES SHALL HAVE POLE SIGN AND PRECAST CONCRETE CURB BUMPER.
- [C1.3] ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS SPACES SHALL BE MARKED ON PAVEMENT WITH YELLOW ALKYLID STIPING PAINT, TYP.
- [C1.4] THIS SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE APPROVED MASTER SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR VISTA DEL NORTE.
- KEYED NOTES**

KEYED NOTES

- [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1
- [2] HANDICAP ACCESS RAMP - SEE DETAIL 3/C1.1 (ALT. RAMP DESIGN 10/C1.1)
- [3] CAST IN PLACE CONCRETE DUMPS/STREET ENCLOSURE W/ GATES - SEE DETAIL 558/C1.1
- [4] CONCRETE SIDEWALK/PAVED AREA - SEE DETAIL 2/C1.1, WHERE INDICATED OR TYPE SIDEWALK DOWD TO ASPHALT GRADE (MAX SLOPE 1:12). SIDEWALK WIDTH SHALL BE 6'-0" UNLESS NOTED OTHERWISE.
- [5] TUBE STEEL BIKE RACK - SEE DETAIL 9/C1.1
- [6] CONCRETE STANDING CURB OR CURB & BULB - SEE DETAILS 4/8/C1.1 - 5 - GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
- [7] RECESSED SIDEWALK SECTION - FLUSH WITH HANDICAP PARKING SPACES
- [8] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE - SEE DETAIL 1
- [9] TRANSFORMER SET ON CONCRETE PAD - INSTALL PER PMV REQUIREMENTS
- [10] NEW CURB CUT PER CITY OF ALBUQUERQUE STANDARDS
- [11] EXISTING CURB CUT
- [12] PRECAST CONCRETE PARKING BUMPER - TYPICAL AT EACH HANDICAP PARKING SPACE
- [13] EDGE OF ASPHALT - EXTEND ASPHALT 12' BEYOND DIMENSIONED WIDTH AND PROVIDE A 6" HIGH, EXTRUDED ASPHALT CURB ALONG THIS PERIMETER
- [14] EXISTING ASPHALT BIKE PATH
- [15] FIRE LANE - CURB FACE SHALL BE PAINTED RED WITH "FIRE LANE" STENCILED LETTERS
- [16] NEW HANDICAP ACCESS RAMP AT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS
- [17] COLORED CONCRETE MONUMENT SIGN WITH INTERNALLY RAISED LETTERS SEE DETAIL DRAWING INCLUDED WITH THIS SUBMITTAL
- [18] TUBES/STREET ENTRY TRELLIS
- [19] WIDE CONCRETE PEDESTRIAN AISLE WITH CROSS HATCHED PAINTING

SITE DEVELOPMENT PLAN APPROVAL NOTE

THIS PLAN IS CONFORMS WITH THE COMMENTS RENDERED BY THE
DEVELOPMENT REVIEW BOARD ON 11/29/01
AS REFLECTED IN DRB CASE # 100 1436
UNDER APPLICATION # 01500-1703
EPC 01129 - 1231

CITY APPROVALS

12/17/01	PLANNING DEPARTMENT	DATE
11-28-01	TRANSPORTATION DEVELOPMENT	DATE
12-14-01	UTILITY DEVELOPMENT	DATE
11/23/01	PARKS DEPARTMENT	DATE
12-14-01	HYDROLOGY	DATE
11-28-01	SOLID WASTE	DATE

AFD PLANS CHECKING OFFICE
924-3611
~~APPROVED~~ DISAPPROVED
[Signature]
SIGNATURE & DATE

FIRE MARSHALL DATE

GRAPHIC SCALE OCT 16 2002

50 0 25 50 100

HYDROLOGY SEC

SITE PLAN

SCALE: 1"=50'

INSITE

architecture + development

ADDRESS:	57 ROCK POINT PLACE NE ALBUQUERQUE, NM 87122
TELEPHONE:	(505) 828-0100
FAX:	(505) 858-1088
KS email:	ksfght@57rock.com
JWC email:	jwc@ccwquest.net
CONTRACTOR:	GERALD MARTIN GEN. CONT. 8501 JEFFERSON NE ALBUQUERQUE, NM 87113
TELEPHONE:	(505) 828-1144
FAX:	(505) 828-9481

THIS DRAWING IS THE PROPERTY OF INSITE
ARCHITECTURE + DEVELOPMENT AND SHALL NOT BE
REPRODUCED OR USED IN ANY WAY WITHOUT
EXPRESSED WRITTEN CONSENT

CURB RADIUS DATA

- R1 = 1'-0"
R2 = 3'-0"
R3 = 5'-0"
R4 = 10'-0"
R5 = 15'-0"
R6 = 20'-0"
R7 = 25'-0"
R8 = 50'-0"
R9 = 80'-0"
R10 = 120'-0"

RADIUS MEASURED TO
OUTSIDE FACE OF CURB

LEGEND

- NEW 20' TALL POLE LIGHT
W/ 250 WATT METAL
HALIDE LAMPING (FULL
CUT-OFF, SHOE BOX
TYPE.) LIGHTS WITHIN
300' OF WEST PROPERTY
LINE SHALL BE 18' TALL
MAX.)
-  EXISTING FIRE HYDRANT
-  NEW FIRE HYDRANT
-  NEW WATER METER

PARKING CALCS

GROSS BUILDING AREA: 40,253 SF
PARKING SPACES REQUIRED:
CHURCH: 750 SEATS/4 = 215
HC PARKING SPACES REQD: 8
VAN ACCESSIBLE SPACES REQD: 1
PARKING SPACES PROVIDED: 299
STANDARD SPACES: 277
SMALL CAR SPACES: 10
VAN ACCESSIBLE SPACES: 2
HANDICAP ACCESSIBLE SPACES: 10
BIKE RACK SPACES REQUIRED: 14
BIKE RACK SPACES PROVIDED: 14

TITLE	SITE PLAN
DATE/ISSUED:	8/28/01
UPDATED:	11/20/01
EDITION:	DRB SUBMITTAL
PROJECT ID:	DESERT SPRINGS SIBLE CHUR
FILE:	DS-C1.DRB.DWG
FILE PATH:	C:\ACTIVE\DSB\DWGS
CREATED BY:	JWC
SCALE:	1" = 50'
DISCIPLINE:	CIVIL
CONSULTANT:	INSTE

C1.0drb

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SHALES BY INSTALLING STRAW BALE DIKES OR SILT FENCES IN THE SHALES PERPENDICULAR TO THE DIRECTION OF FLOW, AT APPROPRIATE INTERVALS.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. THIS SHALL NOT INCLUDE RESIDENTIAL LOTS WHICH ARE TO BE OCCUPIED WITHIN TWELVE MONTHS.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED FROM THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-800-822-1558 OR 1-800-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON-SITE AT ALL TIMES.

LEGEND	ABBREVIATIONS
65.90 RECORD ELEVATION (8/12/02)	FF FINISHED FLOOR (CONC.)
TC65.94 PROPOSED SPOT ELEVATION	FG FINISHED GROUND
EXISTING SPOT ELEVATION	FSG FINISHED SUBGRADE
5173 EXISTING CONTOUR	FL FLOW LINE (CONCRETE)
DIRECTION OF FLOW	TA TOP OF ASPHALT
EMBAKMENT SLOPE	TC TOP OF CURB OR CONCRETE
WATER BLOCK	TG TOP OF GRATE
TRACT BOUNDARY/R.O.W.	TS TOP OF SIDEWALK
NEW BUILDING	SD STORM DRAIN
EXISTING PAVEMENT EDGE	RD ROOF DRAIN
NEW PAVEMENT/CURB	
EXIST. SANITARY SEWER	
EXIST. STREET LIGHT	
EXIST. STORM INLET	
NEW STORM INLET	
PARKING LOT STRIPING	

PROJECT BENCH MARK
ACS BENCHMARK 13-E16 IN THE SOUTH RIGHT-OF-WAY OF OSUNA RD NE ELEV 5052.351

LOCAL BENCH MARK
SQUARE CHISEL IN BACK OF CURB ON OSUNA ROAD AS INDICATED IN PLAN. ELEV 5065.13

SURVEY INFORMATION
SURVEY PERFORMED BY SURVEYS SOUTHWEST, LTD. AUGUST 2001

LEGAL DESCRIPTION
TRACT L-1 OF THE VISTA DEL NORTE SUBDIVISION, CONTAINING 10.2485 ACRES.

KEYED NOTES

- INSTALL 4" DIA. MANHOLE.
- LIMIT OF GRADING. ALL DISTURBED EARTHEN SURFACES SHALL BE REVEGETATED OR COVERED WITH AN IMPERVIOUS SURFACE.
- MAKE WATERTIGHT CONNECTION TO EXISTING STORM DRAIN PIPE.
- INSTALL 6" CONC. CURB & GUTTER AS INDICATED BY THIS NOTE. ALL CURB NOT SO INDICATED SHALL BE 6" RIBBON CURB PER ARCHITECTURAL PLANS.
- INSTALL ROOF DRAIN WITH 2% MIN. SLOPE. ROOF DRAIN SHALL CONNECT TO PARKING LOT VIA PIPE PENETRATION THROUGH THE CURB.
- INSTALL ROOF DRAIN WITH 1% MIN. SLOPE. ROOF DRAIN SHALL CONNECT TO PARKING LOT VIA PIPE PENETRATION THROUGH THE CURB.
- CONSTRUCT STORM INLET SIMILAR TO TYPE "C" COA STORM INLET. TOP OF INLET TO BE FLUSH WITH TOP OF ADJACENT 6" CURB. INLETS SHALL HAVE LOCAL DEPRESSION TO PUSH TOP OF GRATE ELEVATION DOWN TO 6" BELOW TOP OF CURB. INLET GRATING WILL SUSTAIN FOOT TRAFFIC, AND SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- EXIST. TYPE C INLET. RECORD DATA: TC57.69, INV52.86.
- EARTHEN BERM. HORIZONTAL LOCATION OF BERM MAY VARY, AS LONG AS THE VERTICAL ELEVATION IS MAINTAINED. THE BERM IS INTENDED TO BE 3" HIGHER THAN THE PARKING LOT, TO SHIELD PARKED VEHICLES FROM THE VIEW OF THE TRAVELLING PUBLIC.
- INSTALL NEW STORM INLET IN COURTYARD. TC61.75, INV61.00. INLET SHALL HAVE A MINIMUM PERIMETER LENGTH OF 8'.
- THE INTENTION OF THIS PLAN IS TO PROVIDE A SITE WITH BALANCED EARTHWORK. IN THE EVENT THAT MORE OR LESS DIRT IS NEEDED TO REACH THE ELEVATIONS SHOWN IN THE PAVED AREAS, ADDITIONAL EARTHWORK MAY BE PERFORMED IN THE UNPAVED AREAS.
- NEATLY CUT AND REMOVE THE EXISTING CURB AND GUTTER, AND CONSTRUCT NEW DRIVEWAY OPENING WITH VALLEY GUTTER AND HANDICAP RAMPS PER C.O.A. STANDARD DWG 2428. TRANSITION FROM 6" TO 6" CURB HEIGHT THROUGH THE RETURN.
- EXIST. SD MH. RECORD DATA: RIM 5048.1, INV 540.83, INV 540.72, INV 541.33. VERTICAL DATA IS CORRECT, BUT LOCATIONS OF UNDERGROUND STORM DRAIN AS SHOWN ON PLANS ARE APPROXIMATE.
- EXIST. TYPE A INLET. TC47.15, INV 42.32 (RECORD DATA).
- INSTALL SINGLE 12" STORM DRAIN LINE AND CONNECT TO EXISTING INLET PER COA STD DWG 2237.

SEE SHEET C3.1 FOR STORM DRAIN PROFILE.

CREATE AN EARTHEN BERM ON THE WEST AND SOUTH EDGES OF THE PONDING AREA WITH A MINIMUM TOP ELEVATION OF 52.8. NO BERM WILL BE REQUIRED ON THE NORTHEAST SIDE, TO ALLOW SITE RUNOFF TO FLOW FREELY INTO THE POND.

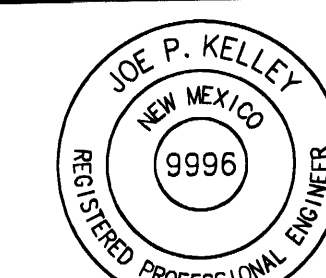
SEE SHEET C3.1 FOR CONTINUATION

TRACT L-2, VISTA DEL NORTE SUBDIVISION
FILED: SEPT. 15, 2000, BK. 2000C, PG. 242

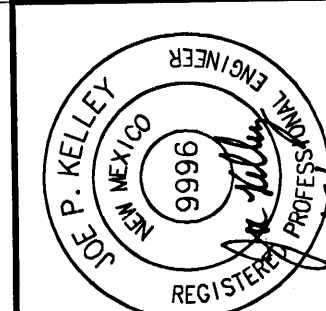
BLOCK 1, SUNNMEIDE SUBDIVISION
FILED: APRIL 19, 1985, VOL. C3, FOLD 210

LOCATION MAP -- E-16

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE REPORT.
JOE P. KELLY, P.E. DATE 11/10/02



JC-Engineering
1924 Roonke Dr. NE, Rio Rancho, NM 87144-5532
(505) 268-1935 Fax (505) 267-4302 kellyj@jcmn.com

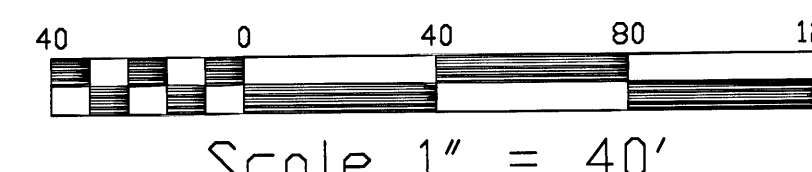
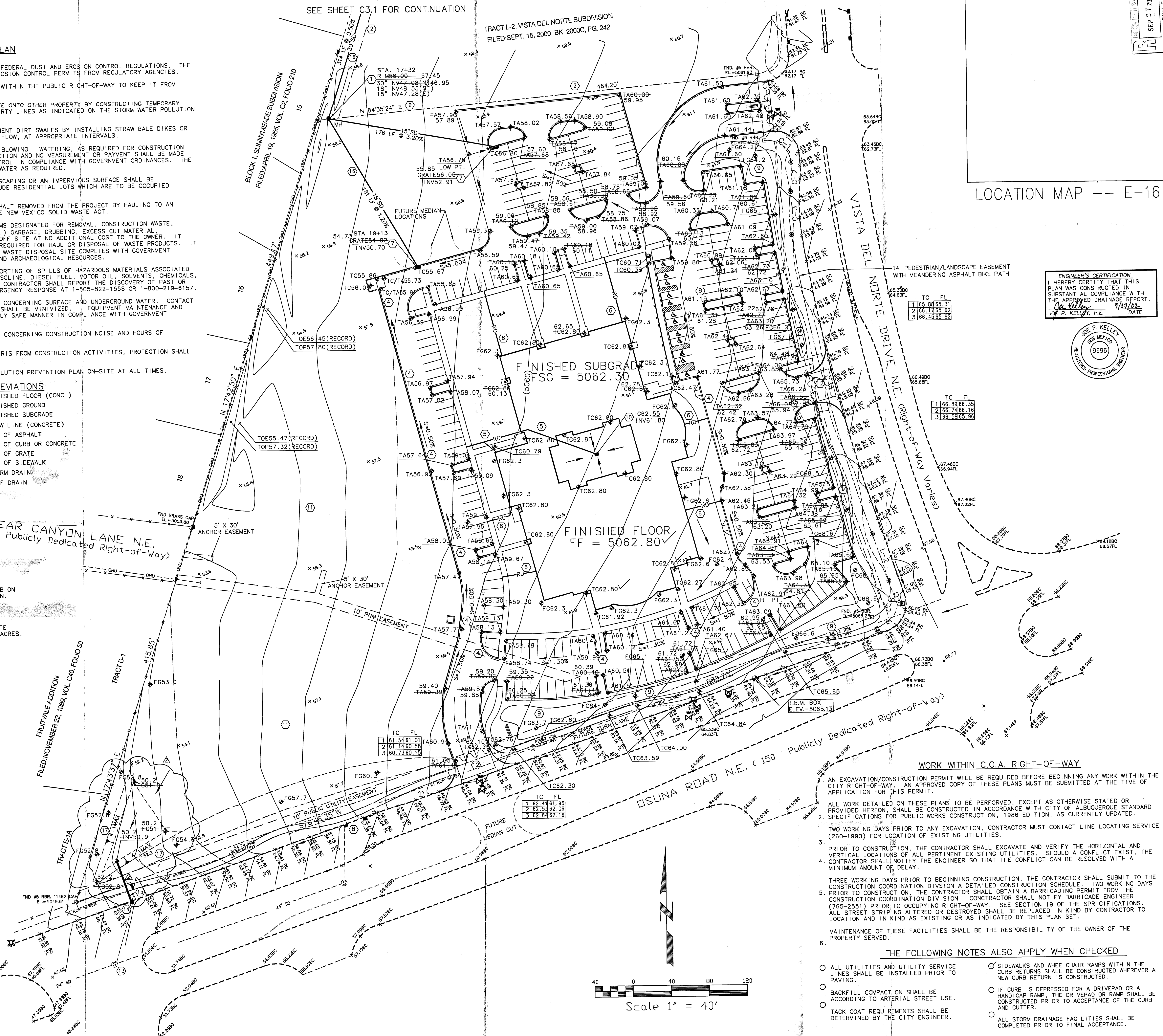


NO.	DATE	BY	DESCRIPTION
1	11/10/02	JOE P. KELLY	PRELIMINARY PLAN
2	11/10/02	JOE P. KELLY	FINAL PLAN

APPROVALS	DEPT.
SIGNATURE	
DATE	

PROJECT	CLIENT
DESERT SPRINGS CHURCH ALBUQUERQUE, NM	DESERT SPRINGS CHURCH

SHEET TITLE	SHEET NO.
GRADING PLAN	C3.0



Scale 1" = 40'

SEPTEMBER 27, 2002 DSC-C3.0.DWG

WORK WITHIN C.O.A. RIGHT-OF-WAY

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED**
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 - TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
 - SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
 - IF CURB IS DERESSED FOR A DRIVEWAY OR A HANDICAP RAMP, THE DRIVEWAY OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
 - ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.