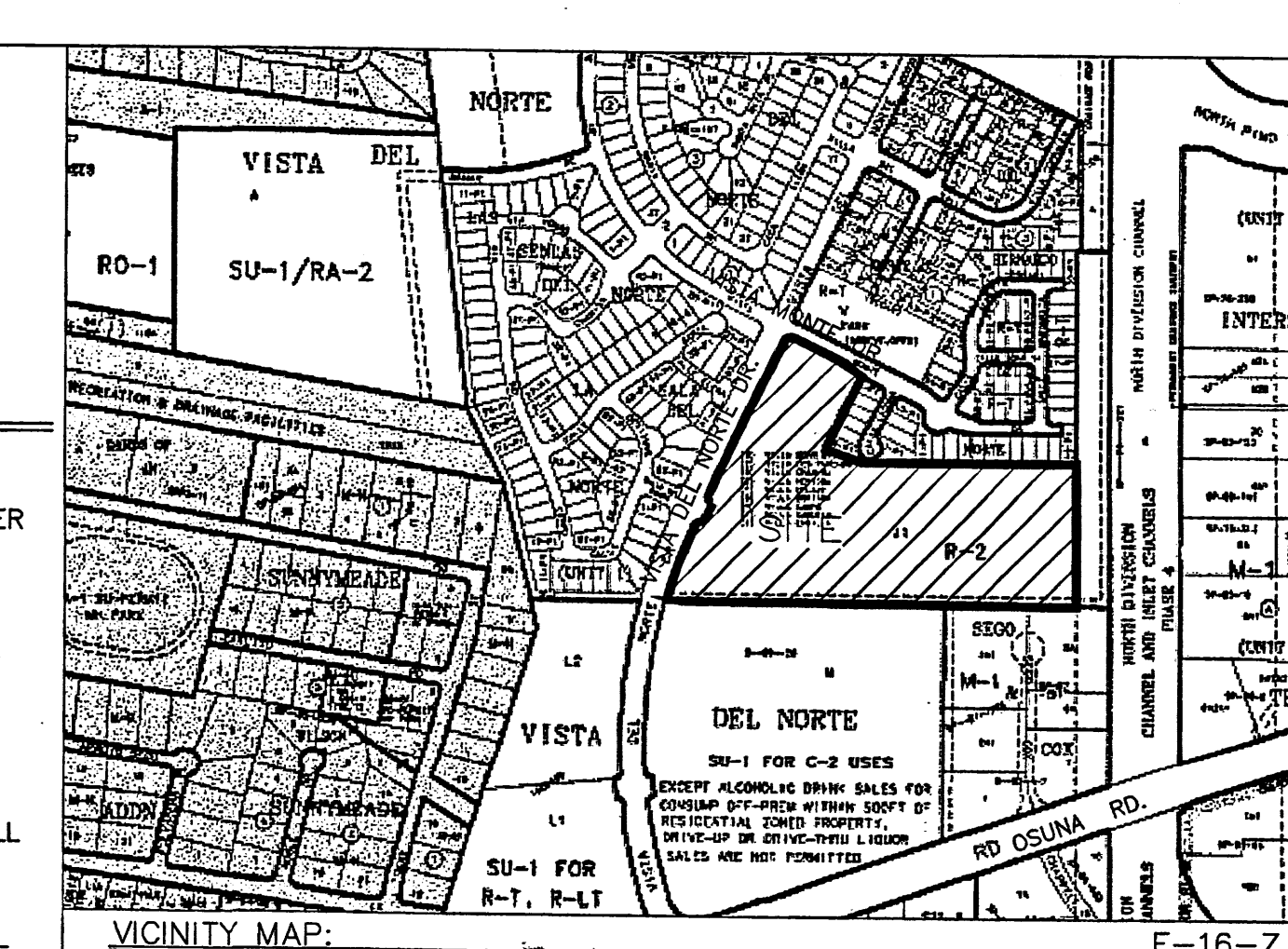
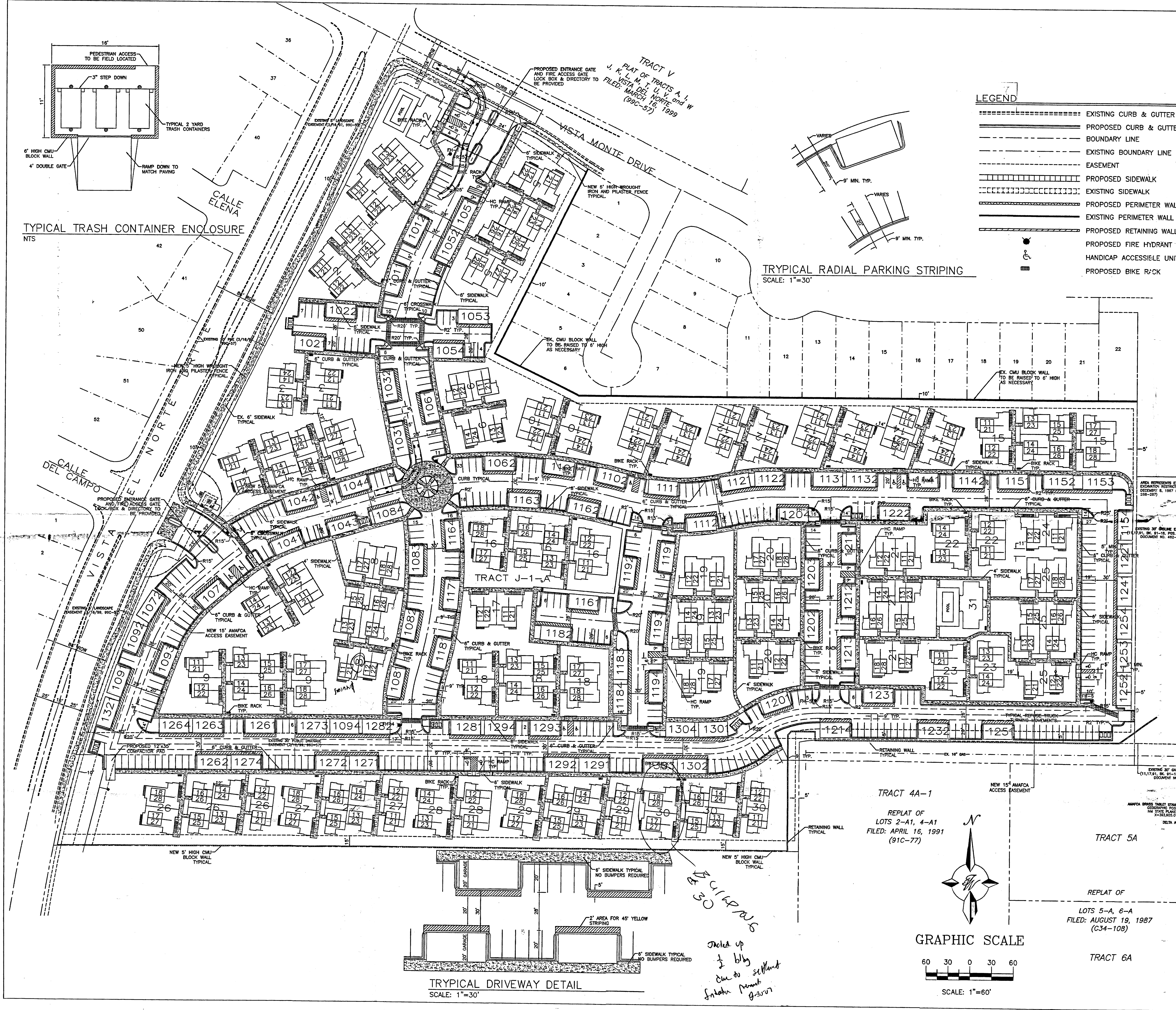




- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - PROPOSED PERIMETER WALL
 - EXISTING PERIMETER WALL
 - PROPOSED RETAINING WALL
 - PROPOSED FIRE HYDRANT
 - HANDICAP ACCESSIBLE UNITS
 - PROPOSED BIKE RACK

LEGAL DESCRIPTION:
TRACT J1 VISTA DEL NORTE

SITE DATA

PROPOSED USAGE:	CONDOS
LOT AREA:	20.8994 ACRES
NO. BUILDING UNITS:	76 UNITS
UNIT 1:	134 UNITS
UNIT 2:	142 UNITS
UNIT 3:	352 UNITS
TOTAL UNITS:	352 UNITS
DENSITY:	16.51 UNITS PER ACRE

BUILDING AREA:

BUILDING NO.	AREA	QUANT.	TOTAL AREA
BUILDING 1	1,794 SF	4	7,176 SF
BUILDING 2	2,340 SF	13	30,420 SF
BUILDING 3	2,660 SF	30	79,800 SF
BUILDING 4	2,500 SF	11	27,500 SF
BUILDING 5	4,134 SF	4	16,536 SF
BUILDING 6	4,134 SF	11	45,474 SF
CLUB HOUSE	1,777 SF	2	3,554 SF
TOTAL			210,460 SF

PARKING REQUIREMENTS

STANDARD PARKING PROVIDED:	389 SPACES
(20'x40') GARAGE PARKING PROVIDED:	356 SPACES
TOTAL PROVIDED:	745 SPACES
PARKING REQUIRED (1 PER BATH BUT LESS THAN 2)	
76 UNIT 1 (1 BATH) =	152 SPACES
134 UNIT 2 (2 BATH) =	268 SPACES
142 UNIT 3 (2 BATH) =	284 SPACES
TOTAL REQUIRED =	704 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	4 SPACES VAN ACCESSIBLE

BIKE SPACE CALCS

BIKE SPACES REQUIRED: (1 PER 2 UNITS)	126 SPACES
BIKE SPACES PROVIDED:	130 SPACES
	(26-5 SPACE BIKE RACKS)

OPEN SPACE CALCS

OPEN SPACE REQUIRED:	
76 UNIT 1 (1 BEDROOM)*400 SF	30,400 SF
134 UNIT 2 (2 BEDROOM)*500 SF	67,000 SF
142 UNIT 3 (3 BEDROOM)*600 SF	85,200 SF
TOTAL REQUIRED	182,600 SF
OPEN SPACE PROVIDED:	210,340 SF

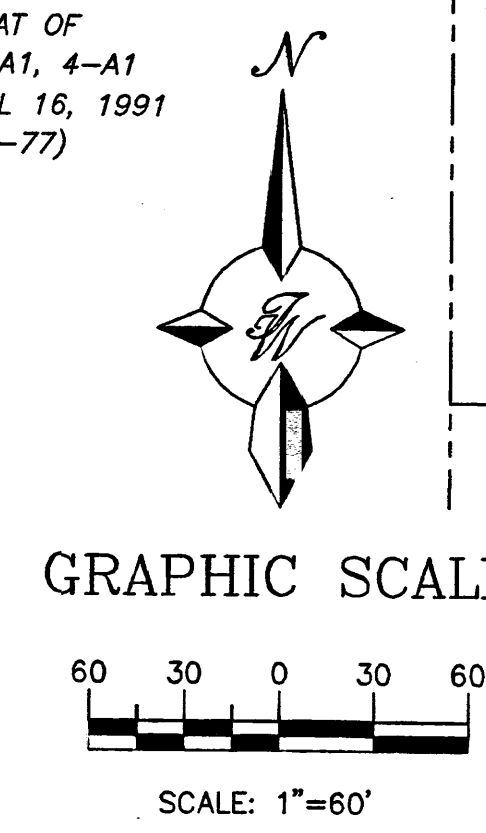
SETBACKS
THERE SHALL BE A SEPARATION BETWEEN APARTMENT BUILDINGS, AND OFF-STREET PARKING AND VEHICULAR CIRCULATION AREAS OF NOT LESS THAN 10 FEET.

NOTES:
1. SEE DETAIL SHEET FOR SITE DETAILS.
2. POOL AND FENCE AREA TO BE BUILT UNDER SEPARATE PERMIT.

TRACT 4A-1
REPLAT OF
LOTS 2-A1, 4-A1
FILED: APRIL 16, 1991
(91C-77)

TRACT 5A

TRACT 6A
REPLAT OF
LOTS 5-A, 6-A
FILED: AUGUST 19, 1987
(C34-108)



ENGINEER'S SEAL	RANCHO MIRAGE © VISTA DEL NORTE TRAFFIC CIRCULATION LAYOUT / SITE PLAN	DRAWN BY BDG
RONALD R. BOHANNAN P.E. #7868		DATE 07/11/03
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2116TCL.DWG
		SHEET # C1
		JOB # 21016

Handwritten notes:
Picked up
1/2 bly
due to setback
Sofia R. M...
8/30/01

EROSION CONTROL PLAN, NPDES PERMIT
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/91

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NPDES 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/20/93. THE RECORD INFORMATION REFLECTED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME ALBERT, NPDES 7719, OF THE FIRM ALDRICH LAND SURVEYS.

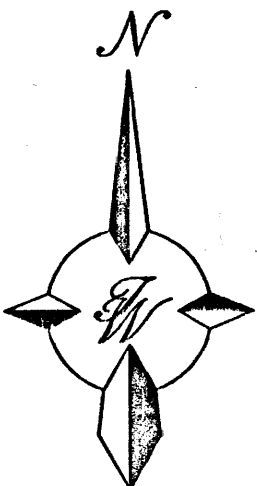
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/14/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE EXCEPTIONS HERE:

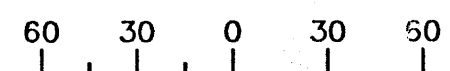
FINE GRADING OF THE SITE AND PADS TO BE COMPLETED BY THE OWNER. THIS CERTIFICATION IS LIMITED TO MASS GRADING, THE UNDERGROUND STORM SEWER SYSTEM, SITE PAVING AND CURB AND GUTTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

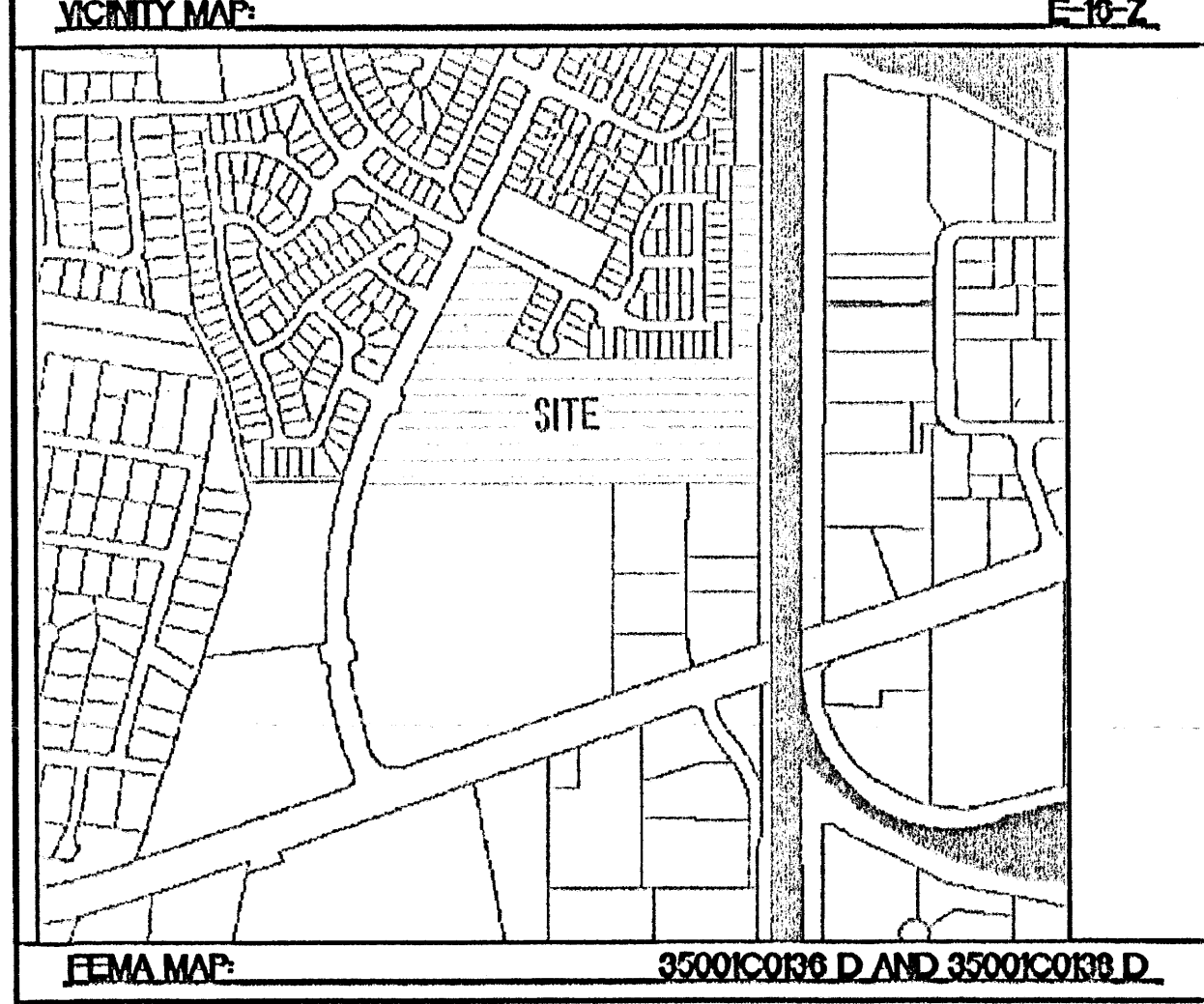
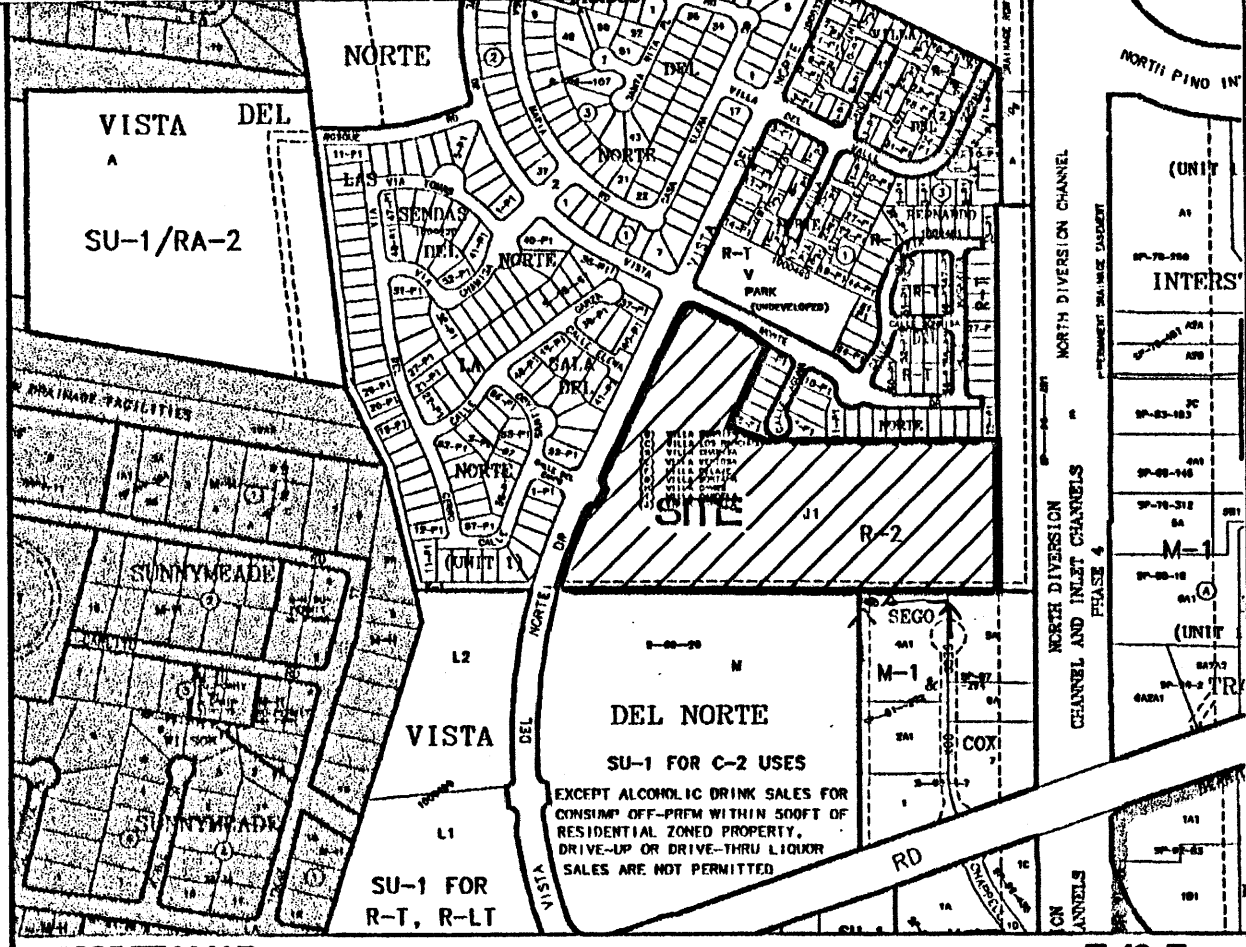
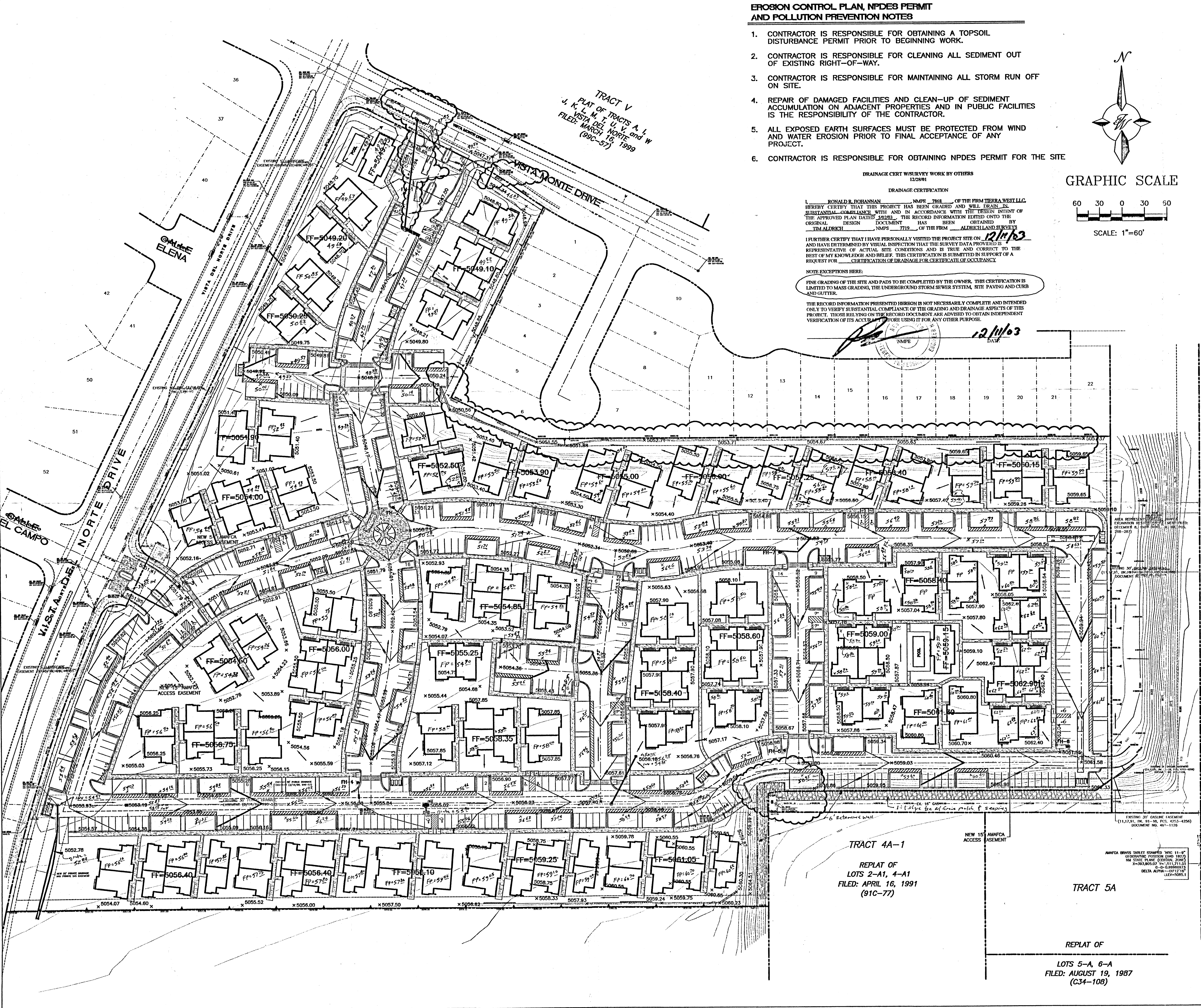
[Signature]
NPDES 7868
DATE: 12/14/03



GRAPHIC SCALE



SCALE: 1"=60'



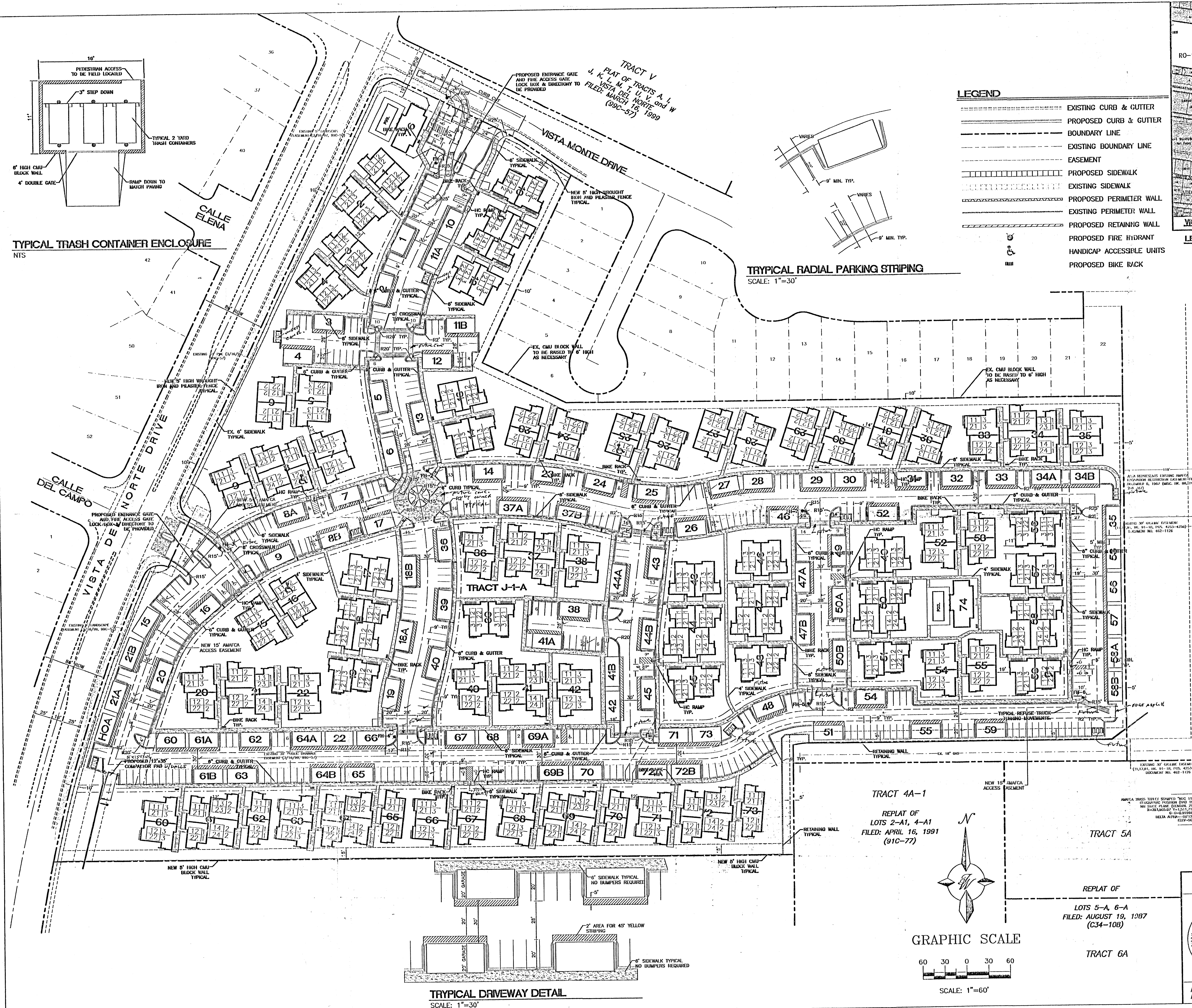
LEGEND

- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- WROUGHT IRON & PILASTER FENCE
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPE RETAINING WALL
- DIRECTION OF FLOW

ROUGH GRADING APPROVAL

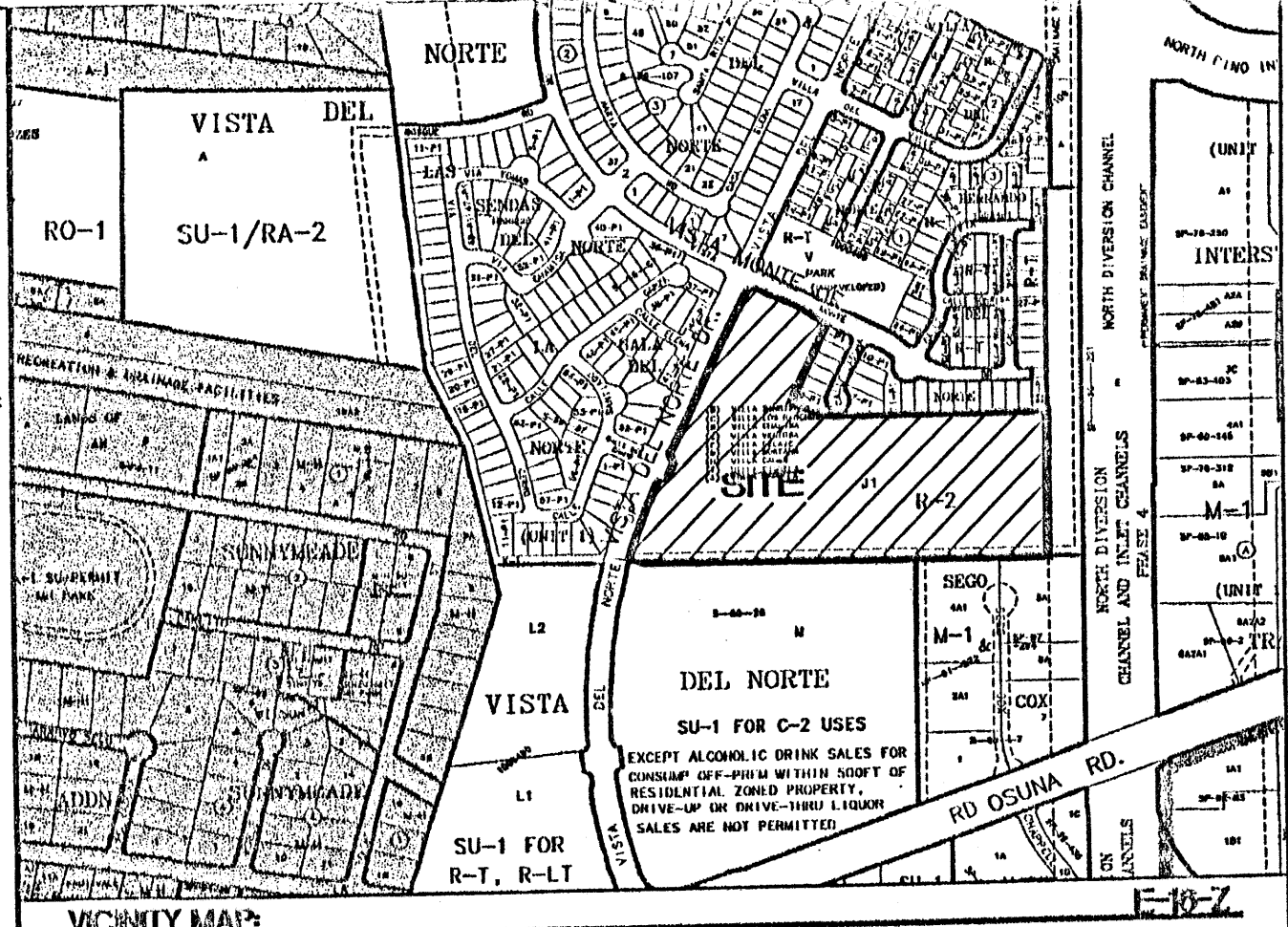
ENGINEER'S SEAL	RANCHO MIRAGE • VISTA DEL NORTE	DRAWN BY BDC
	OVERALL GRADING AND DRAINAGE PLAN	DATE 06/04/03
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2116GRB2.DWG
	5A	SHEET #
RONALD R. BOHANNAN P.E. #7868		JOB # 21016

CERT



LEGEND

[Symbol]	EXISTING CURB & GUTTER
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	BOUNDARY LINE
[Symbol]	EXISTING BOUNDARY LINE
[Symbol]	EASEMENT
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED PERIMETER WALL
[Symbol]	EXISTING PERIMETER WALL
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	HANDICAP ACCESSIBLE UNITS
[Symbol]	PROPOSED BIKE RACK



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TRAFFIC CIRCULATION LAYOUT
APPROVED
Date: 9-08-03
Signed: [Signature]

RECEIVED
DEC 6 2003
HYDROLOGY SECTION
Date: 12-1-2003

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

RANCHO MIRAGE
VISTA DEL NORTE
TRAFFIC CIRCULATION LAYOUT / SITE PLAN
(AS-BUILT)
TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 07/11/03
2116TCLDWG
SHEET # C1
JOB # 21016

