

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 8, 2024

Joseph Casares, Jr., P.E.
JCII Group
8105 Sand Springs Cir NW
Albuquerque, NM 87114

RE: N-Demand Expansion
3810 Academy Parkway NE
Permanent C.O. – Accepted
Engineer's Certification Date: 04/25/24
Engineer's Stamp Date: 11/05/21
Hydrology File: E17D001J

Dear Mr. Casares:

PO Box 1293

Based on the Certification received 05/08/2024 and site visit on 10/06/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: N-Demand Expansion **Building Permit #** _____ **Hydrology File #** E17D001J
DRB# _____ **EPC#** _____
Legal Description: Lot 5, Block C, Interstate Industrial **City Address OR Parcel** 3810 Academy Parkway NE
Tract Unit 1, Abq., Bern. Co, NM.
Applicant/Agent: JCII Group, LLC **Contact:** Joseph Casares
Address: 8105 Sand Springs **Phone:** 505-264-6918
Email: JCIIGroup@gmail.com

Applicant/Owner: Architectural Contractors, Inc. **Contact:** Scooter Haynes
Address: PO Box 9043, Abq, NM 87119 **Phone:** 505-898-6622
Email: Scooter@scmpartners.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: X
RE-SUBMITTAL: YES X NO

DEPARTMENT: TRANSPORTATION X HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G&D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ADMINISTRATIVE
☐ TRAFFIC CIRCULATION LAYOUT FOR DRB
☐ APPROVAL
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY)
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ CONCEPTUAL TCL DRB APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOOD PLAN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
12. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PREFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
15. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
16. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
17. SITE SURVEY IS BASED FROM CONTROL POINT CP-203 (E.55093.83, N.=99967.90). PROPOSED ELEVATIONS SHOWN ON THIS PLAN SHALL BE RELATIVE TO CP-203 MAG N.L. COORDINATE WITH ENGINEER FOR SURVEY DATA FILES.
18. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
19. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
20. ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

KEYED NOTES

- A. GRADE RETENTION BASIN PER ELEVATIONS SHOWN. PROVIDE 3H:1V MAX. SIDE SLOPES. TIE NEW RETENTION BASIN INTO EXISTING BASIN AT WEST EDGE OF LOT. PROVIDE 6" (MIN.) DEPTH BELOW ELEVATION 5094.0.
- B. CONSTRUCT RETAINING WALL PER STRUCTURAL DETAIL SHEET. TOP OF WALL TO BE 6" (MIN.) ABOVE ADJACENT GRADE. SEE PLAN FOR TOP OF RETAINING WALL (TRW) AND LOWEST ADJACENT GRADE (LG) CALLOUTS.
- C. CONSTRUCT HEADER CURB PER DETAIL 5.
- D. CONSTRUCT 4" THICK MESH REINFORCED CONCRETE (6" @ DRIVE AREAS) PER ELEVATIONS SHOWN. PROVIDE SLOPE TO FACILITATE DRAINAGE AWAY FROM BUILDINGS. PROVIDE OFFSET EDGE PER ELEVATION SHOWN ON PLAN.
- E. REMOVE EXISTING PAVEMENT AND CONCRETE AS APPLICABLE AND CONSTRUCT NEW PAVEMENT PER ELEVATIONS SHOWN AND PER DETAIL. MATCH EXISTING PAVEMENT/CONCRETE EDGE WHERE APPLICABLE.
- F. PROVIDE CURB TERMINATION PER DETAIL 6.
- G. CONSTRUCT CONCRETE VALLEY GUTTER PER FLOWLINE ELEVATIONS SHOWN, AND PER DETAIL 3. PROVIDE DRAINAGE TOWARDS 3' CURB OPENING.
- H. PROVIDE 3' CURB OPENING WITH 1H:1V CURB SLOPES. PROVIDE FLOWLINE ELEVATION AS SHOWN ON PLAN.
- I. NOTE NOT USED.
- J. NOTE NOT USED.
- K. INSTALL 1/2" WATER LINE TO NEW BUILDING. COORDINATE WITH CITY WORK ORDER TO INSTALL WATER METER AND CONNECTION TO MAIN (IF REQUIRED).
- L. INSTALL 4" SDR35 SEWER SERVICE LINE TO BUILDING STUB, PROVIDE CLEANOUT AT CONNECTION. PROVIDE 1/8" PER FOOT MIN. SLOPE. COORDINATE CITY WORK ORDER TO CONNECT TO MAIN (IF REQUIRED).
- M. PRIOR TO CONSTRUCTION CALL 811 FOR UTILITY COORDINATION. COORDINATE ALL WORK IN EASEMENTS WITH APPROPRIATE UTILITY COMPANY REPRESENTATIVES. ANY DISRUPTION (PLANNED OR UNPLANNED) SHALL BE IMMEDIATELY COORDINATED WITH PROPERTY OWNER AND UTILITY OWNER AND SERVICE RESTORED AS SOON AS POSSIBLE.

LEGEND

60.2 FC
EXISTING ELEVATION
FL = FLOW LINE
TRW = TOP OF RETAINING WALL
LG = LOWEST ADJACENT GRADE
TC = TOP OF CURB
FC = TOP OF FINISHED CONCRETE
FG = TOP OF FINISHED GRADE
INV = PIPE INVERT
UNDERGROUND GAS LINE
SANITARY SEWER LINE
POTABLE WATER LINE
UNDERGROUND FIBER/COMM
OVERHEAD UTILITY LINE
DRAINAGE DIRECTION

OWNER INFORMATION

THAKUR ENTERPRISES
1501 UNIVERSITY BLVD. NE
ALBUQUERQUE, NM 87102

PROPERTY DESCRIPTION

LOT 5 (FIVE) OF BLOCK "C", UNIT 1, INTERSTATE INDUSTRIAL TRACT, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF LOT 5 OF BLOCK "C", UNIT 1, INTERSTATE INDUSTRIAL TRACT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, IN PLAT BOOK 811, PAGE 89.

3810 ACADEMY PARKWAY SOUTH

LOT 5, BLOCK C INTERSTATE INDUSTRIAL TRACT, UNIT 1

DRAINAGE CALCULATIONS

THE CALCULATIONS HEREON UTILIZE PROCEDURES FOR 40 ACRES AND SMALLER BASINS AS OUTLINED IN THE COA DEVELOPMENT PROCESS MANUAL (DPM) (SIGNED 06/08/20) ARTICLE 6-2(a). BELOW ARE ANALYSIS RESULTS FOR BOTH THE EXISTING AND PROPOSED CONDITIONS DURING THE 100-YEAR, 6-HOUR STORM EVENT.

ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V):

SITE CHARACTERISTICS:
LAND TREATMENT (PER DPM, TYPES: A, B, C, D)
PRECIPITATION ZONE = 2 (PER DPM)
TOTAL SITE AREA, A = 46,609 SF = 1.07 ACRES

ESTIMATED RUN OFF

LAND TREATMENT
D = 46,609 SF = 100%
ANALYSIS RESULTS
V = 3,269 CF
Q = 2.0 CFS

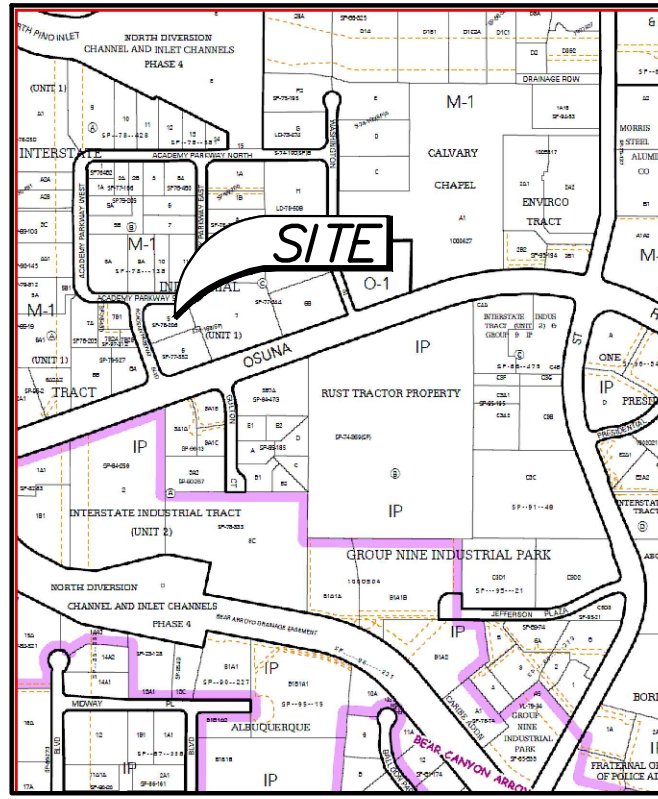
RETENTION BASIN DESCRIPTION AND ESTIMATE VOLUME (V)

RETENTION BASINS CURRENTLY EXIST ON-SITE. BASINS WILL BE EXPANDED. NEW LANDSCAPE/PERVIOUS AREAS WILL BE DEPRESSED 6-INCHES MIN.

STORM WATER CONTROL MEASURES

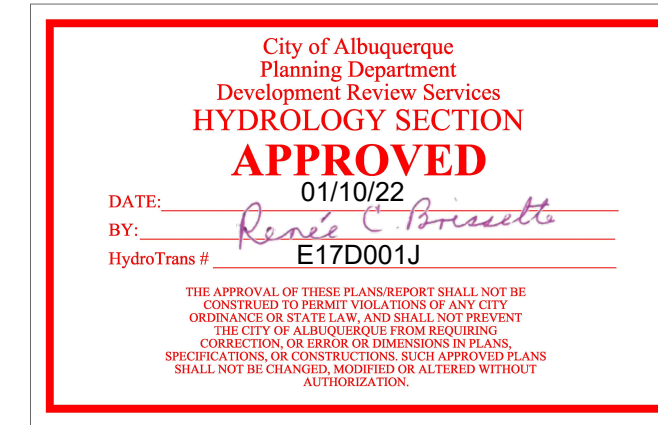
NO STORMWATER CONTROL MEASURES EXIST ON-SITE. IN ACCORDANCE WITH THE DRAINAGE ORDINANCE, § 14-5-2-6 (H) ENACTED 10/2/18 (COUNCIL BILL C/S 0-18-2) AND AS OUTLINED IN DPM (SIGNED 06/08/20) ARTICLE 6-12, ON-SITE MANAGEMENT IS REQUIRED FOR THE SWQV ON NEW IMPERVIOUS AREAS (0.26" FOR REDEVELOPMENT).

TOTAL NEW IMPERVIOUS AREA = 12,830 SF
SWQV = (12,830/12)(0.26") = 278 CF
VOLUME PROVIDED = 568 CF



LOCATION M

ZONE: ATLAS MAP E-1 /
FIRM: 35001C0138H
ZONE: X



DRAINAGE CERTIFICATION

JOSEPH CASARES, NMPE PS 19014 OF THE FIRM JCH GROUP, LLC, CERTIFY THAT THIS PROJECT WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/10/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED UNDER THE DIRECTION OF SCOOTER HAYNES, NMPE/PS N/A OF THE FIRM ARCHITECTURAL CONTRACTORS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DATE 04/24/2024, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT RELEASE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOSEPH J. CASARES, JR. NMPE 19014
(SEAL)

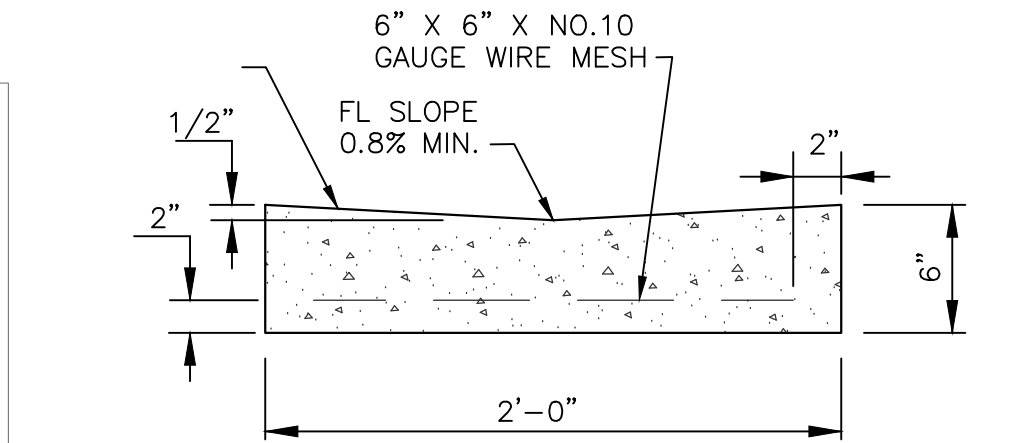
DATE 04/25/24



11/05/2021

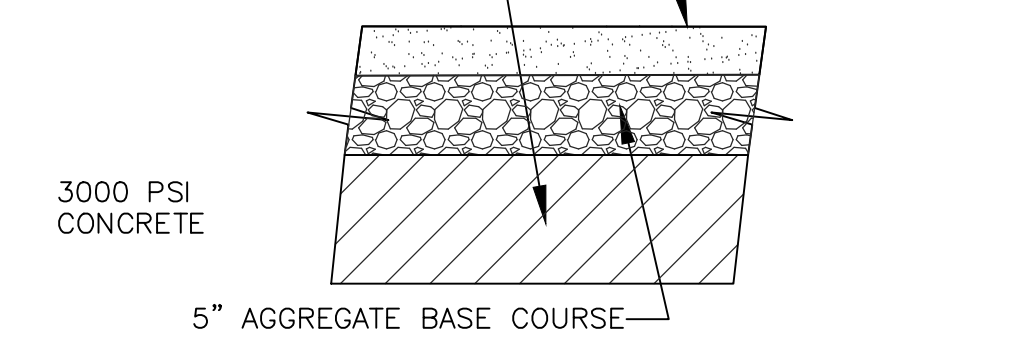
Project:

N-Demand Expansion
3810 Academy Parkway South NE
Albuquerque, New Mexico

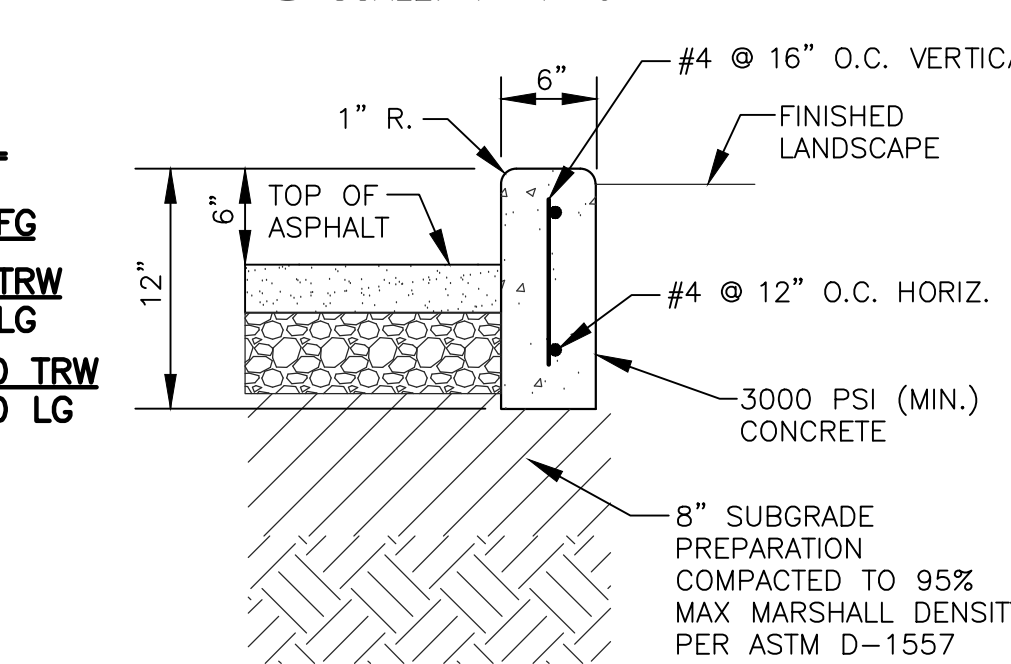


3 VALLEY GUTTER
SCALE: NONE

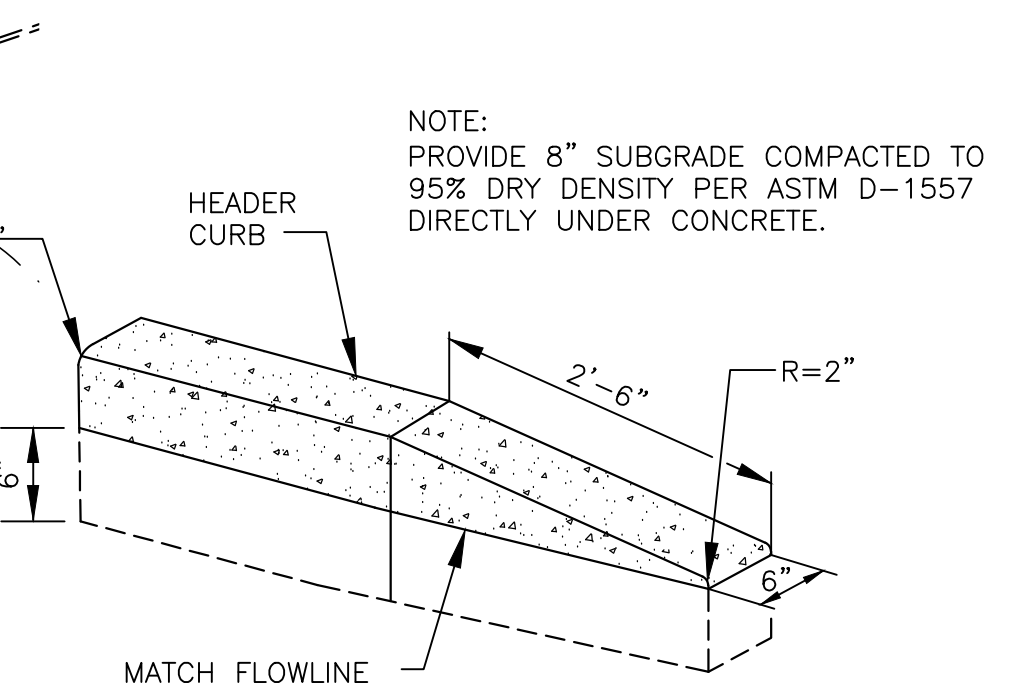
*SPIV ASPHALT CONCRETE, TWO 2" LIFTS, OR ONE 3" LIFT (SEE NOTE)
8" SUBGRADE PREPARATION COMPACTED TO 95% MAX MARSHALL DENSITY AND PER ASTM D-1557
*NOTE: 4" A.C. AT ALL DRIVE LANES, 3" A.C. ELSEWHERE.



ASPHALT
4 PAVEMENT SECTION
SCALE: 1"=1'-0"



5 HEADER CURB
SCALE: 1"=1'-0"



6 CURB TERMINATION DETAIL
SCALE: NONE