

GENERAL NOTES

- PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
- OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT. IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
- WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
- ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
- THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
- SITE SURVEY IS BASED FROM CONTROL POINT CP-203 (E.55093.83, N.=99967.90). PROPOSED ELEVATIONS SHOWN ON THIS PLAN SHALL BE RELATIVE TO CP-203 MAG NL. COORDINATE WITH ENGINEER FOR SURVEY DATA FILES.
- PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
- EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
- ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

KEYED NOTES

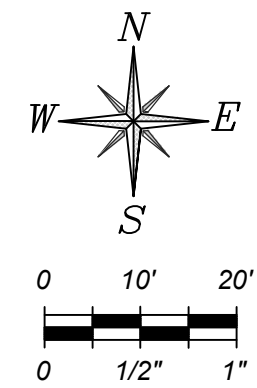
- STRIPED PARKING AREA AS SHOWN ON PLAN. PROVIDE 9' WIDE X 18' LONG PARKING STALLS. USE 4" WHITE PAVEMENT PAINT, AND PROVIDE PARKING BUMPER IN EACH STALL PER DETAIL 2.
- PROVIDE ADA PARKING STALL WITH LOAD/UNLOAD AREA PER DETAIL 1.
- INSTALL AUTOMATED ROLL GATE PER ARCHITECTURAL DETAIL'S. SEE FIRE 1 PLAN (ATTACHED) FOR KNOX BOX LOCATION AS APPROVED BY THE FIRE MARSHAL'S OFFICE.
- CONSTRUCT REFUSE ENCLOSURE PER ARCHITECTURAL'S SITE PLAN, SHEET AS101. SEE AS101 FOR SOLID WASTE APPROVAL.

EASEMENT NOTES

- EXISTING 10' UNDERGROUND PNM AND MST&T ESMT.
- EXISTING 7' UNDERGROUND PNM AND MST&T ESMT.
- EXISTING 5' MST&T ESMT.
- EXISTING 7' PUBLIC UTILITY ESMT.

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- - - EX. VERTICAL CURB
- - - UNDERGROUND FIBER/COMM
- - - EX. CONCRETE
- - - BUILDING



3810 ACADEMY PARKWAY SOUTH

LOT 5, BLOCK C INTERSTATE INDUSTRIAL TRACT, UNIT 1

PROJECT INFORMATION

PROPOSED LAND USE: F2-LOW HAZARD FACTORY & INDUSTRIAL
 IDO ZONING: NR-LM
 GROSS FLOOR AREA: 6,000 SF
 ADJACENT LOTS: ZONED NR-LM
 CONSTRUCTION TYPE: TYPE I-B

OWNER INFORMATION

THAKUR ENTERPRISES
 1501 UNIVERSITY BLVD. NE
 ALBUQUERQUE, NM 87102

PROPERTY DESCRIPTION

LOT 5 (FIVE) OF BLOCK "C", UNIT 1, INTERSTATE INDUSTRIAL TRACT, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF LOT 5 OF BLOCK "C", UNIT 1, INTERSTATE INDUSTRIAL TRACT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, IN PLAT BOOK B11, PAGE 89.

FIRE DEPARTMENT (FD) APPROVAL

SEE FIRE 1 PLAN FOR FIRE MARSHAL'S APPROVAL.

SOLID WASTE DEPARTMENT (SWD) APPROVAL

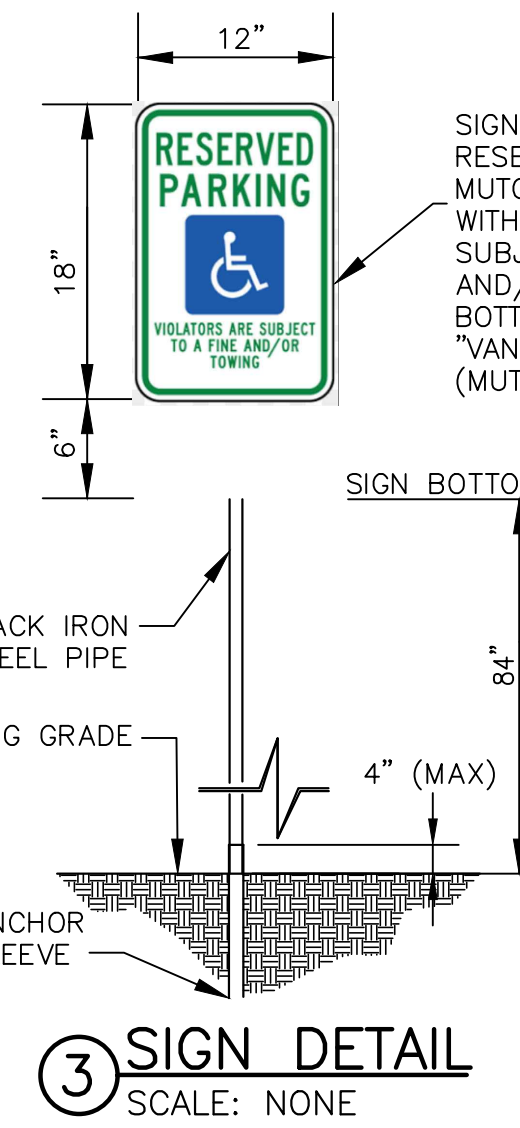
SEE APPROVAL BELOW:

PARKING REQUIREMENTS

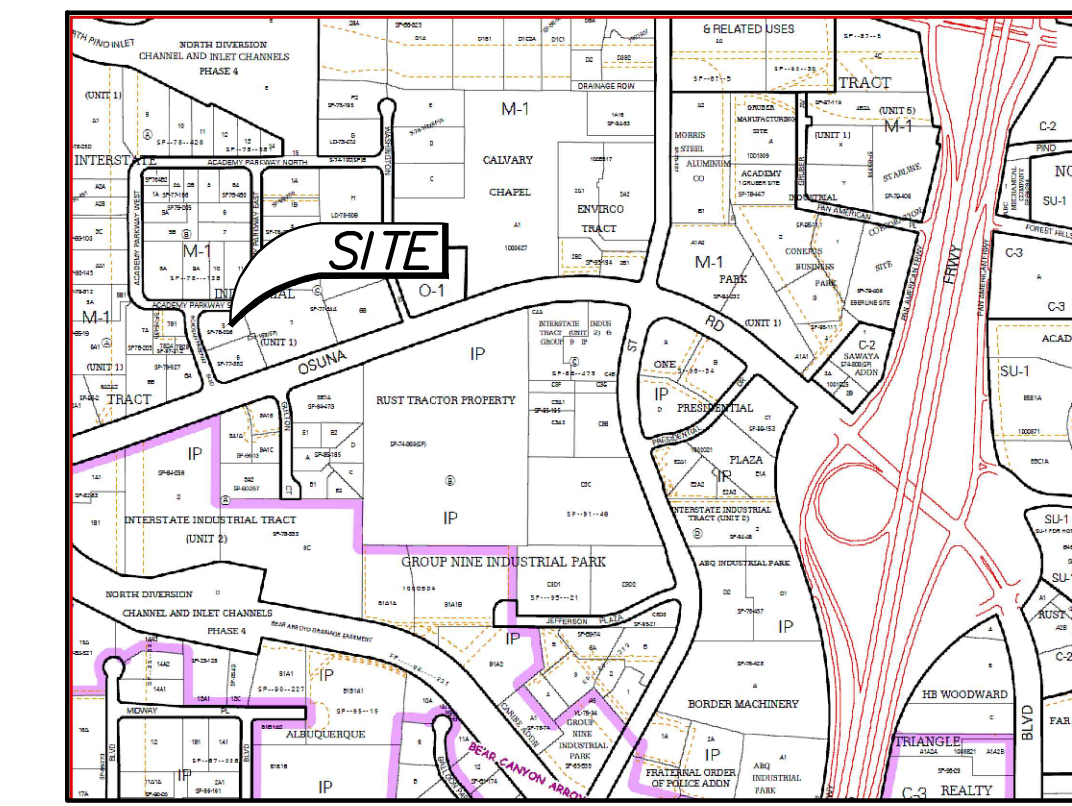
- MINIMUM OFF STREET PARKING REQUIREMENTS PER CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE - REVISED 2020 - TABLE 5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS
- PARKING CALCULATIONS REFLECT ZONING REQUIREMENTS ONLY, FOR ACCESSIBLE PARKING CALCULATIONS REFER TO PROJECT INFORMATION
- PARKING REQUIREMENTS FOR INDUSTRIAL USES: SITE IS CONSIDERED LIGHT MANUFACTURING, WHICH REQUIRES 1 SPACE/1,000 SF GROSS FLOOR AREA (GFA) FOR THE SHOP, AND REQUIRES 3.5 SPACES / 1,000 SF GFA FOR THE OFFICE.

PROPOSED:
 SHOP GFA = 6,000 SF/1,000 SF GFA = 6 (1 ADA)
 OFFICE GFA = 3,411SF/1,000 SF GFA X 3.5 = 12

TOTAL PARKING REQUIRED:
 18 SPACES REQUIRED (6+12)
 TOTAL PARKING PROVIDED:
 18 SPACES + 1 ADA SPACE = 19 PROVIDED



Approved for access by the Solid Waste Department for 1-l/b Herman Gallegos 12-08-21 *Herman Gallegos*



LOCATION MAP
 ZONE ATLAS MAP E-17

EXISTING SITE CONDITION

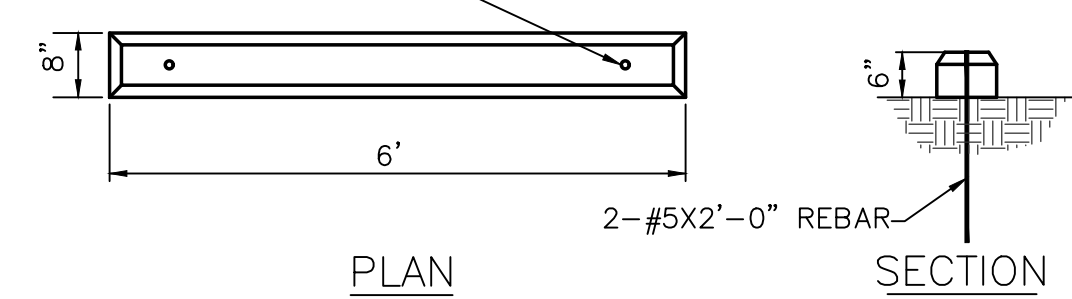
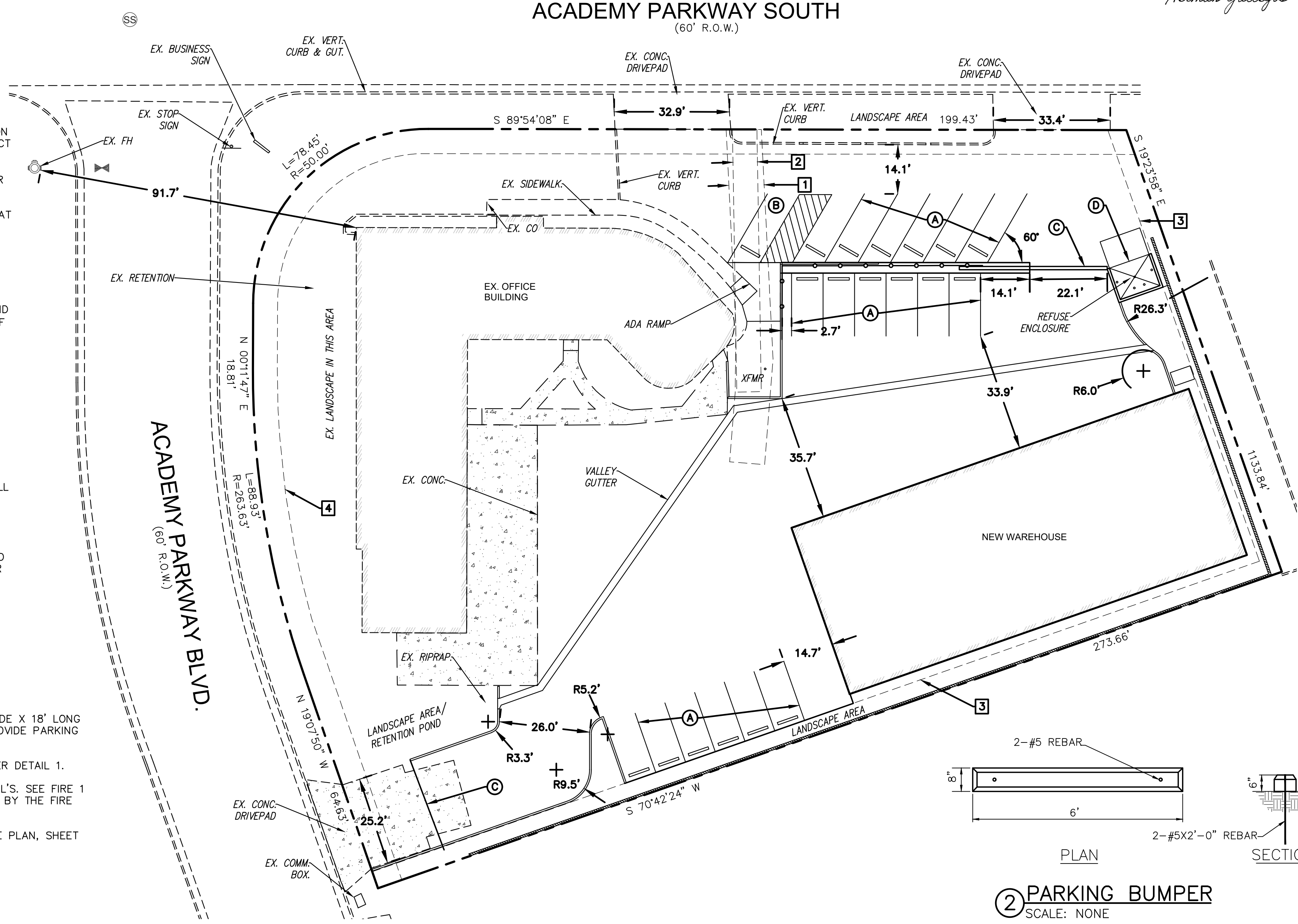
CURRENTLY THE SITE IS DEVELOPED WITH AN EXISTING OFFICE BUILDING, UTILITIES, SITE FENCES AND PAVEMENT. EXISTING INFRASTRUCTURE WITHIN THE ROW ADJACENT TO THE SITE INCLUDE: THREE DRIVEPADS OF VARIOUS WIDTHS, UTILITIES AND LANDSCAPING. NO PEDESTRIAN FACILITIES EXIST IN THE ROW. THE CURRENT SITE ACCESS IS FROM THE THREE EX. DRIVEPADS, ONE ON ACADEMY PARKWAY BLVD., AND TWO ON ACADEMY PARKWAY SOUTH. ON-SITE PARKING IS DELINEATED EAST OF THE EXISTING BUILDING AND SOUTH OF THE EXISTING BUILDING.

PROPOSED DEVELOPMENT

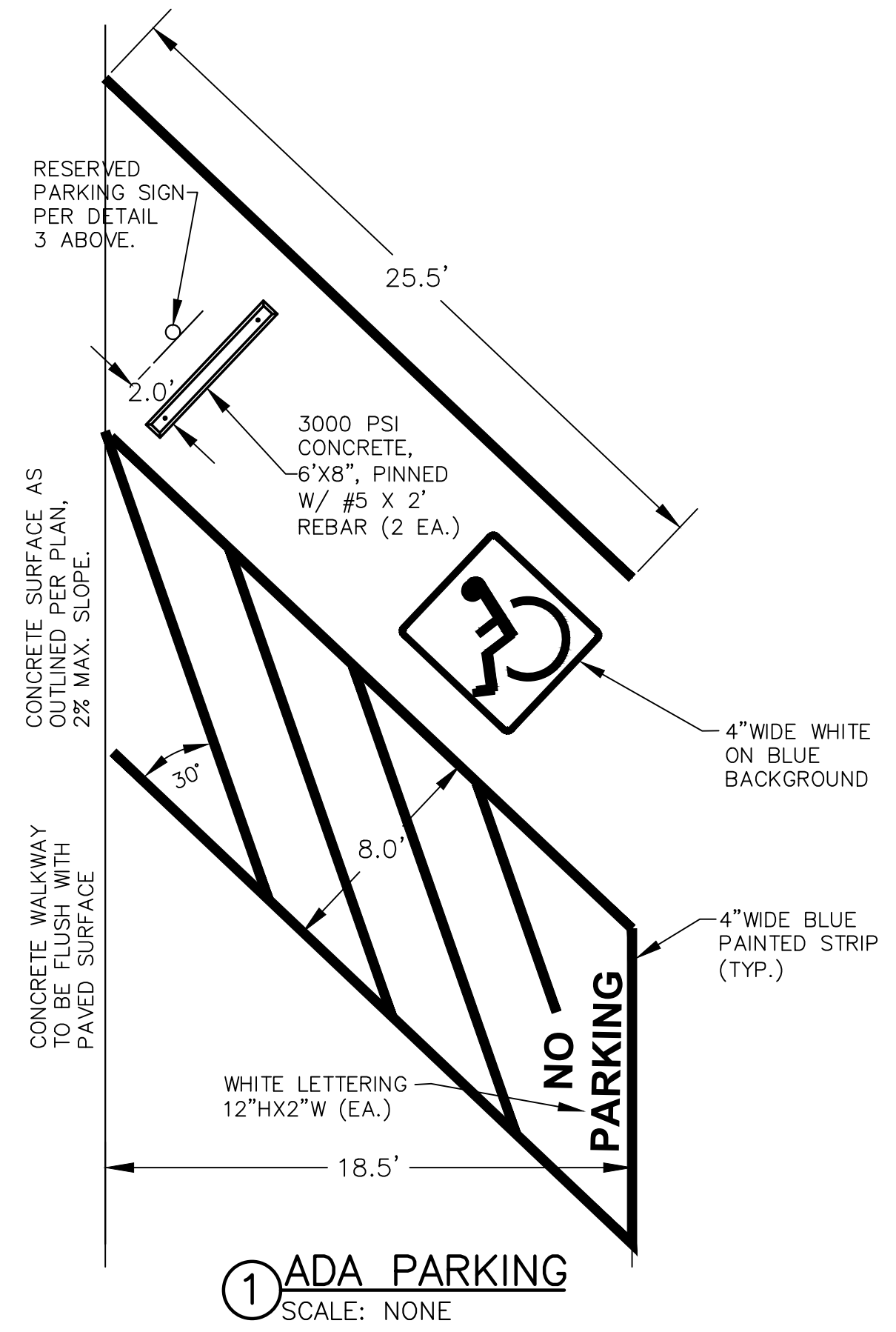
THE PROPOSED DEVELOPMENT WILL BE A NEW WAREHOUSE. THE EXISTING BUILDING WILL REMAIN. ALL OTHER SITE STRUCTURES WILL BE REMOVED. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF THE WAREHOUSE BUILDING, NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW PAVEMENT, A VALLEY GUTTER, RETAINING WALLS, SITE WALLS, AND LANDSCAPE. OFF-SITE CONSTRUCTION IS NOT PROPOSED. THE PROPOSED DEVELOPMENT WILL BE COORDINATED WITH ADJACENT PROPERTIES WITH NO PERMANENT IMPACTS ANTICIPATED.

TRAFFIC CIRCULATION CONCEPT

THE TWO EXISTING DRIVE PADS ALONG ACADEMY PARKWAY SOUTH WILL REMAIN IN PLACE AND WILL PROVIDE INGRESS/EGRESS TO THE SITE. THE CURRENT DRIVEPADS WILL ACCOMMODATE THE PROPOSED SITE CIRCULATION FOR ANGLED PARKING. THE EXISTING DRIVE PAD AT ACADEMY PARKWAY BLVD. WILL SERVE AS AN EMPLOYEE ENTRANCE ONLY WITH A ROLL GATE CONTROLLED BY CARD READER ACCESS. SOLID WASTE MANAGEMENT REFUSE COLLECTION IS AS SHOWN ON-SITE. NEW PUBLIC PARKING (ANGLED) WILL BE PROVIDED EAST OF THE BUILDING AND WILL INCLUDE ADA PARKING. ADDITIONAL PARKING WILL BE PROVIDED IN THE EMPLOYEE GATED AREA. GATED ENTRY TO THE EMPLOYEE AREA WILL BE ACCESS CONTROLLED BY CARD READER. ALL PARKING WILL BE STANDARD PARKING STALLS (8.5'W X 18'L) WITH ANGLES AND DIMENSIONS SHOWN ON PLAN. THE DRIVE SURFACE WILL BE PAVEMENT CAPABLE OF SUPPORTING 75,000 LB VEHICLES. PARKING BUMPERS AND CONCRETE CURBING WILL PROVIDE A BARRIER BETWEEN VEHICLE AREAS AND PEDESTRIAN AREAS. A 4" CONCRETE WALKWAY WILL IS PROVIDED ON-SITE. EMERGENCY VEHICLE ACCESS WILL BE THROUGH ACADEMY PARKWAY SOUTH AS COORDINATED WITH FD. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES, AND THESE IMPROVEMENTS WILL NOT IMPACT ADJACENT LOTS.



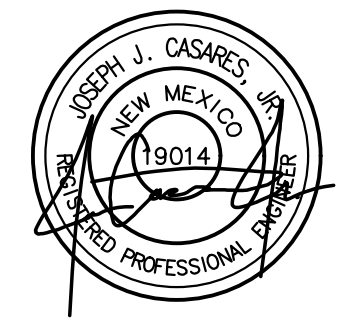
② PARKING BUMPER
 SCALE: NONE



① ADA PARKING
 SCALE: NONE



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12/06/2021

Project:

N-Demand Expansion
 3810 Academy Parkway South NE
 Albuquerque, New Mexico

Project:	121,640	1st Revised Date:	11-11-2021
Drawn by:	MD	2nd Revised Date:	
Scale:	As Shown	3rd Revised Date:	
Checked by:	JC		

Sheet:

TRAFFIC CIRCULATION PLAN

Number:

C103