

**CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARK:**  
 ACS MONUMENT "11-E17" HAVING AN ELEVATION OF 5102.133 (NGVD29). (SURVEY BY CARTESIAN SURVEYS INC.)

- LEGEND**
- 27.8 / FLOW ARROW
  - FL27.8 / PROPOSED TOP OF GRADE/PYMT ELEVATIONS
  - TC27.8 / PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - 515 / PROPOSED TOP OF CURB ELEVATIONS
  - 515 / EXISTING CONTOUR
  - 515 / PROPOSED CONTOUR
  - EXISTING STORM DRAIN
  - FLOW LINE
  - RIDGE LINE
  - DRAINAGE DIVIDE
  - A 0.16 / DRAINAGE AREA
  - ACRES

**Wooten Engineering**  
 ARCHITECT  
 6017 San Juan Dr NE, Rio Rancho, NM 87144  
 PH: 505.777.1805 FAX: 505.777.1806

ISSUED FOR PERMIT

ENGINEER  
 JEFFREY TODD WOOTEN  
 NEW MEXICO  
 16892  
 4/21/06

**DKD**

**Electric**  
 6801 Academy Parkway West, NE  
 Albuquerque, New Mexico 87109

**DRAINAGE MANAGEMENT PLAN**

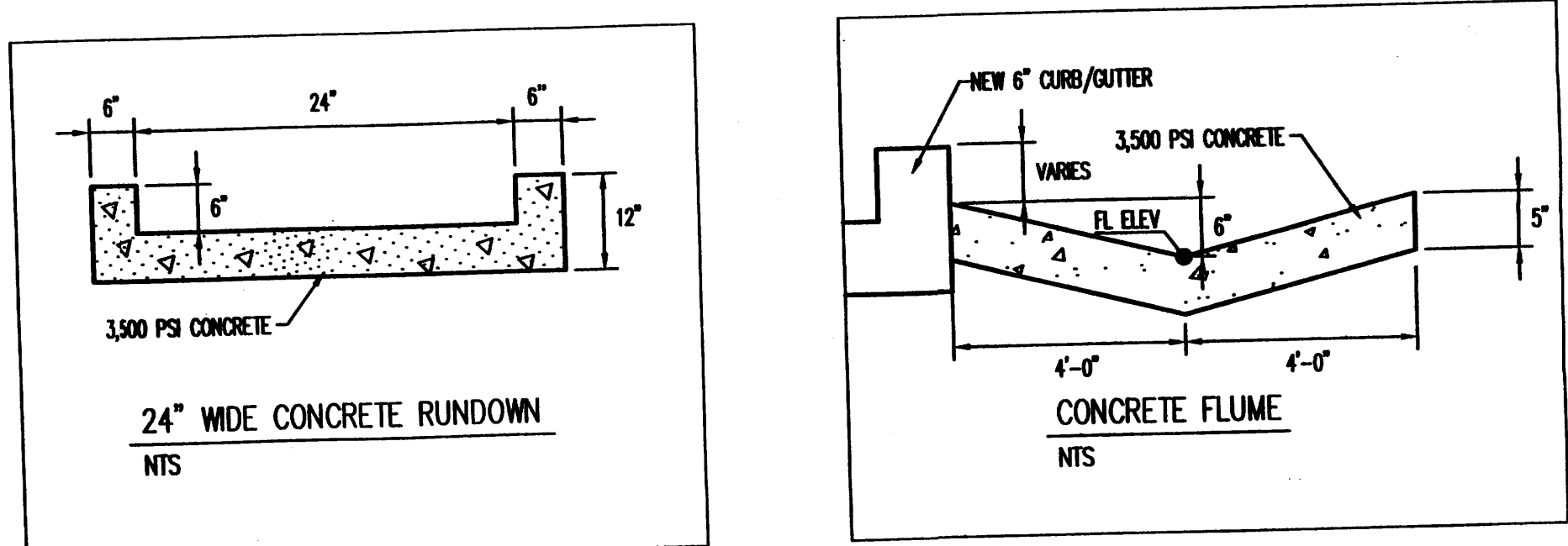
**I. INTRODUCTION**  
 The purpose of this submittal is to provide a final Drainage Management Plan for the building addition and site improvements to the existing Pella Rio Grande Warehouse Addition. The site (Tracts 5A and 5B1) has been purchased by DKD Electric, who will be responsible for the improvements.

**II. SITE LOCATION**  
 The site is currently legally described as Lots 5A and 5B1, Pella Rio Grande Warehouse Addition. The site is located within zone atlas maps E-16 and E-17, and is in hydrologic zone 2. The site is located at 6801 Academy Parkway West as shown on the vicinity map on this sheet.

**III. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site is fully developed and contains an existing parking lot and warehouse buildings. The surrounding streets and infrastructure are in place. The site drains from east to west in a sheet flow condition, then to a Rip-Rap channel which drains into the North Diversion Channel located at the west side of the property. Per the approved Drainage Management Plan by Jeffrey G. Mortensen dated 11/21/84, the total runoff from the site was 6.1 cfs. This was calculated using the rational method, rather than the current approved City of Albuquerque DPM method. The north diversion channel has been designed to accept the fully developed runoff from the site.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for the DKD Electric Building are shown on this Final Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The site (4.2 acres) will generate a total of 8.71 cfs under newly developed conditions and consists of approximately 80% D land treatment. Flows will continue to be conveyed to the north diversion channel by surface and outfalls. The actual quantity of drainage flowing through the rip-rap channel is 7.37 cfs per the calculations on this sheet, which is slightly higher than the 6.45 cfs as shown by Jeffrey G. Mortensen's plan. I believe the discrepancy is due to the difference between the rational method and the current DPM method as discussed above. Although the rip-rap channel may be slightly topped in the 100-year storm event, the velocity of the flow is approximate 3.5 fps, which is considered a non-erosive flow; therefore, there should not be a negative impact to the current drainage of the site.

**V. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved Drainage Management Plan by Jeffrey G. Mortensen. With this submittal we are requesting Building Permit approval.



**DKD Electric Building**  
**Proposed Conditions Basin Data Table**

This table is based on the DPM Section 22.2, Zone 2

BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WTE	V(100) <sub>300</sub>	V(100) <sub>1400</sub>
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/sec)	(cfs)	(Inches)	(CF)	(CF)
<b>PROPOSED CONDITIONS</b>											
A	13618	0.31	0.0%	10.0%	10.0%	80.0%	4.30	1.34	1.89	2141	2589
B	74578	1.71	0.0%	10.0%	10.0%	80.0%	4.30	7.37	1.89	11727	14014
<b>TOTAL</b>	<b>88196</b>	<b>2.02</b>	-	-	-	-	<b>4.30</b>	<b>8.71</b>	<b>3.77</b>	<b>13868.82</b>	<b>13869</b>

**GENERAL NOTES**

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- IF REQUIRED, THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- IF REQUIRED, ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- IF REQUIRED, THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul to or from shall be considered INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

RECEIVED  
 MAR 07 2007  
 HYDROLOGY SECTION

REVISIONS  
 1  
 2  
 3

DRAWN BY JTM  
 REVIEWED BY JTM  
 DATE 4/21/06  
 PROJECT NO. 2006008  
 DRAWING NAME

**GRADING PLAN**

SHEET NO. C100  
 OF

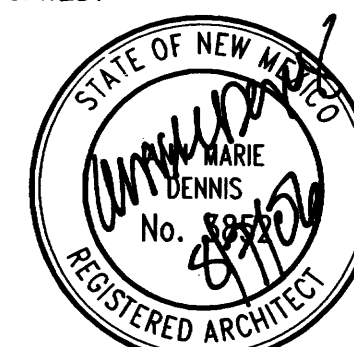


NO DECO, LLC



11201 Inverness Court NE  
Albuquerque, New Mexico 87111  
505.264.2280

ARCHITECT



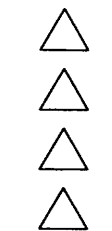
ENGINEER

ISSUED FOR  
CONSTRUCTION

PROJECT

Electric  
6801 Academy Parkway West, NE  
Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY

AMD

REVIEWED BY

AMD

DATE

7/25/06

PROJECT NO.

99999

DRAWING NAME

TRAFFIC  
CIRCULATION  
LAY-OUT

SHEET NO.

G102  
OF

## KEYED NOTES

1. REFUSE ENCLOSURE, REFER TO D1/A002.
2. NEW ASPHALTIC PAVING OVER PREPARED SUBGRADE, REFER TO CIVIL FOR EXTENT.
3. EXISTING FENCE TO REMAIN.
4. EXISTING TRANSFORMER TO REMAIN.
5. REMOVE EXISTING TRASH ENCLOSURE.
6. EXISTING ASPHALT PAVING TO REMAIN, REFER TO CIVIL EXTENT.
7. SAWCUT AND MATCH EXISTING PAVING.
8. POLE MOUNTED HC SIGNAGE, TYP. OF 3, REFER TO C5/A002.
9. ADA PAVEMENT SIGNAGE, TYP. OF 3, REFER TO C4/A002.
10. ACCESSIBLE RAMP, REFER TO B2/A002. SLOPE 1:12 MAX, ADA COMPLIANT/ANSI COMPLIANT.
11. LANDSCAPED AREA, REFER TO LANDSCAPE PLANS.
12. SIDEWALK WITH CONTROL JOINTS EVERY 6'-0", SEE DETAIL C3/A002.
13. MONUMENT SIGN, REFER TO A5/A002.
14. ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES AT 45° HATCH LINES AT 18" O.C.
15. BIKE RACK, PAINT MATCH STUCCO, REFER TO B4/A002.
16. CONCRETE CURB AND GUTTER, REFER C2/A002.
17. EXISTING CURB & GUTTER TO REMAIN. REFER TO CIVIL PLANS.
18. EXISTING LANDSCAPING TO REMAIN.
19. POLE MOUNTED SITE LIGHTING, 20'-0" MAX, REFER TO A3/A002.
20. CONCRETE PARKING BUMPER, TYP AT ALL LANDSCAPED AREAS.
21. 4' X 8' MOTORCYCLE PARKING, TYP. OF 2 SPACES.
22. ALL EXISTING CURB CUTS SHALL MEET COA STANDARDS, REFER TO DMS. 2425 FOR CRITERIA. EXISTING CURB CUTS MUST BE REMOVED AND REPLACED ACCORDING TO CITY DETAIL IF NOT COMPLIANT.
23. 5'-0" WIDE STRIPED PEDESTRIAN WALK WAY.

## GENERAL NOTES

- A. RADII CENTER POINTS TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT STRAIGHT CURB LINE.
- B. DIMENSIONS ARE TO FACE OF CURB.
- C. IF LAYOUT DIFFERS SIGNIFICANTLY FROM CIVIL DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.

## PARKING DATA

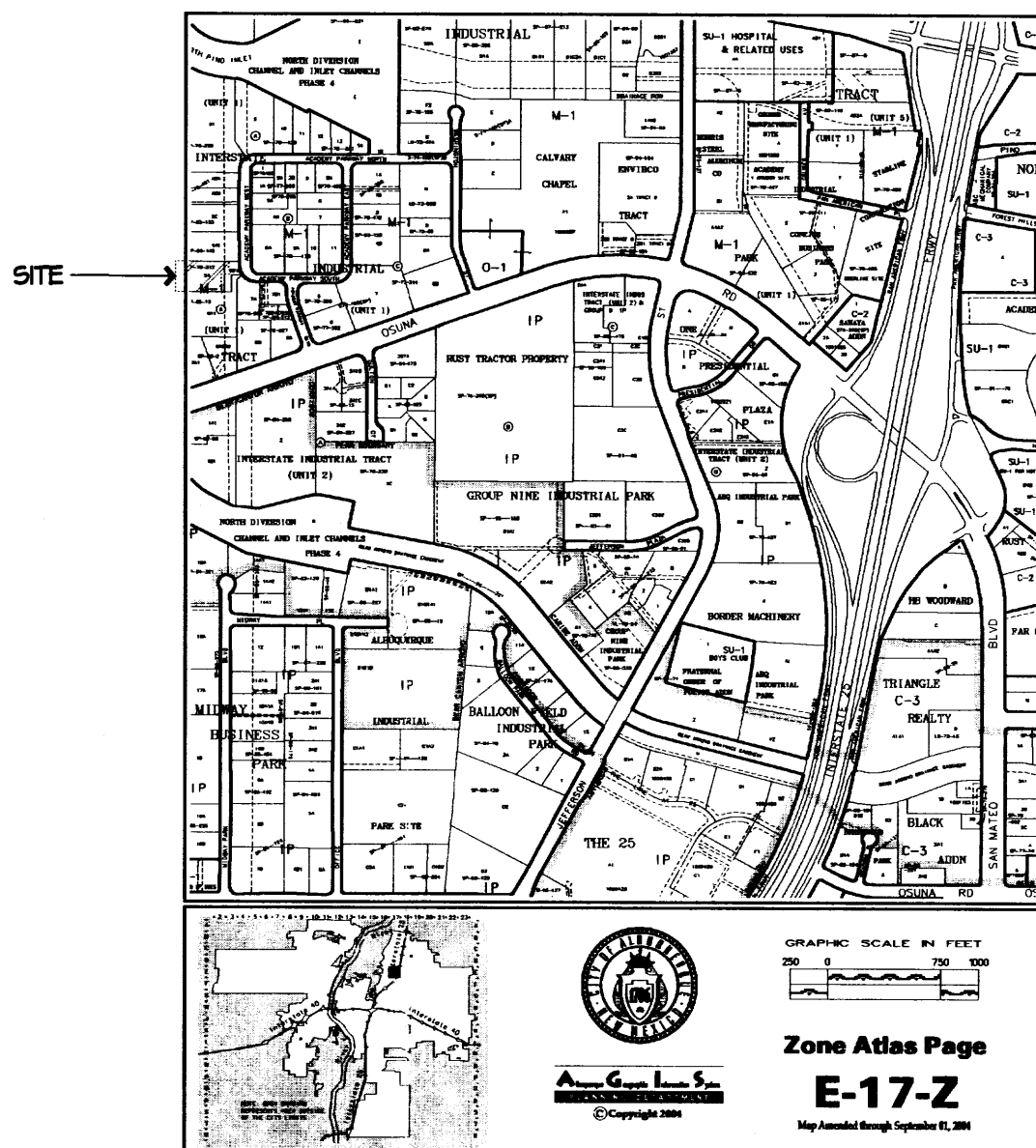
PARKING (2005 ALBUQUERQUE CITY ZONING CODE)  
OFFICE LEASABLE S.F. = 1,144 S.F. (5,641 EXISTING + 2,108 NEW)  
1,144/200 = 34 SPACES  
WAREHOUSE LEASABLE S.F. = 15,000 S.F.  
15,000/2,000 = 8 SPACES

47 SPACES REQUIRED INCLUDING  
3 HC ACCESSIBLE SPACES  
2 MOTORCYCLE SPACES  
47 SPACES PROVIDED INCLUDING  
3 HC ACCESSIBLE SPACES  
2 MOTORCYCLE SPACES

BICYCLE PARKING (2005 ALBUQUERQUE CITY ZONING CODE)  
REQUIRED: 54/20 = 3  
PROVIDED: = 3

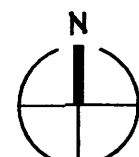
## SITE DATA

LEGAL DESCRIPTION: LOT "S-B-1" AND "S-A" IN BLOCK  
LETTERED "A" OF UNIT 1,  
INTERSTATE INDUSTRIAL TRACT.  
TOTAL LOT AREA: 3.8008 ACRES  
CURRENT ZONING: M-1



LOT 4B  
BLOCK A, UNIT 1  
INTERSTATE INDUSTRIAL TRACT  
(10/20/1916, B12-01)

LOT 6A-1  
BLOCK A, UNIT 1  
INTERSTATE INDUSTRIAL TRACT  
(2/1/1985, C26-54)

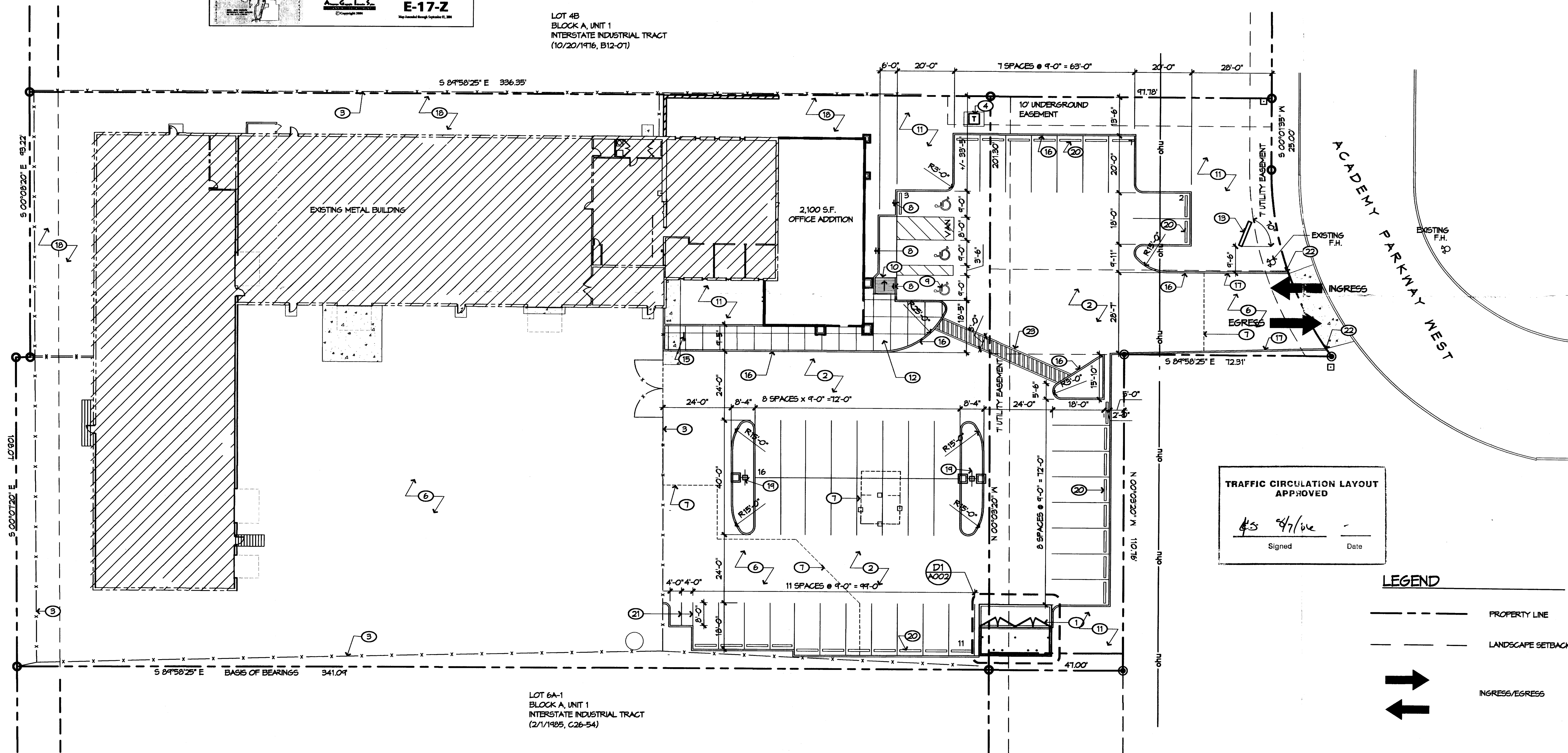


SITE PLAN

1" = 20'-0"



AMAFCA NORTH DIVERSION CHANNEL



TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed: 4/5 8/7/06 Date: \_\_\_\_\_

## LEGEND

- PROPERTY LINE
- LANDSCAPE SETBACK
- ↑ INGRESS/EGRESS

