

CITY OF ALBUQUERQUE



June 5, 2020

Darby Miera, R.A.
RBA Architecture NE
1104 Park Ave NE
Albuquerque, NM 87102

**Re: Academy Parkway Self Storage
3605 Osuna Rd. NE, 87109
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-19-19 (E17D001W)
Certification dated 5-27-20**

Dear Mr. Miera,

Based upon the information provided in your submittal received 6-2-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

AS-1.0



May 27, 2020

Re: Academy Parkway Self Storage

3605 Osuna NE

Alb. NM 87109

BP-2019-35231

Engineer's/Architect's stamp dated: 6/19/2019

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved TCL Site Plan dated 6/19/2019 and with Architect's stamp dated 6/19/2019.

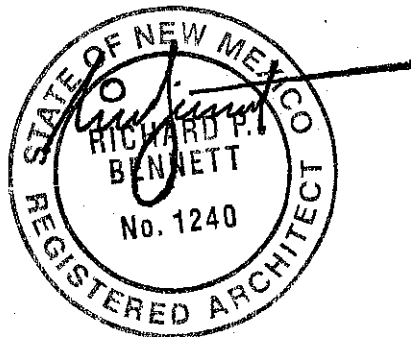
I, **Rick Bennett**, certify that I have personally visited the project site on May 26, 2020 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Academy Parkway Self Storage in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", written over a horizontal line.

Rick Bennett, Architect





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Academy Parkway Self Storage **Building Permit #:** **City Drainage #:**

DRB#: **EPC#:** **Work Order#:**

Legal Description: Lot 6A-1 and 6A2A-2 Bock A, Unit 1, Interstate Industrial Track, Albuquerque, NM

City Address: 36-5 Osuna NE, Albuquerque, NM.

Engineering Firm: N/A **Contact:**

Address:

Phone#: **Fax#:** **E-mail:**

Owner: **Contact:**

Address:

Phone#: **Fax#:** **E-mail:**

Architect: RBA Architecture Planning Design **Contact:**

Address: 1104 Park Ave, SW, Alb., NM 87102

Phone#: 505-242-1859 **Fax#:** **E-mail:** rick@rba81.com

Other Contact: Darby Miera **Contact:**

Address: 1104 Park Ave, SW

Phone#: 505-242-1859 **Fax#:** **E-mail:** darby@rba81.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 5/27/2020 **By:** Darby Miera

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____