CITY OF ALBUQUERQUE



June 5, 2020

Darby Miera, R.A. RBA Architecture NE 1104 Park Ave NE Albuquerque, NM 87102

Re: Academy Parkway Self Storage

3605 Osuna Rd. NE, 87109

Request for Certificate of Occupancy

Transportation Development Final Inspection

Engineer's/Architect's Stamp dated 6-19-19 (E17D001W)

Certification dated 5-27-20

Dear Mr. Miera,

Based upon the information provided in your submittal received 6-2-20, Transportation Development has no objection to the issuance of a Permanent Certificate of

Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Albuquerque

PO Box 1293

Sincerely,

NM 87103

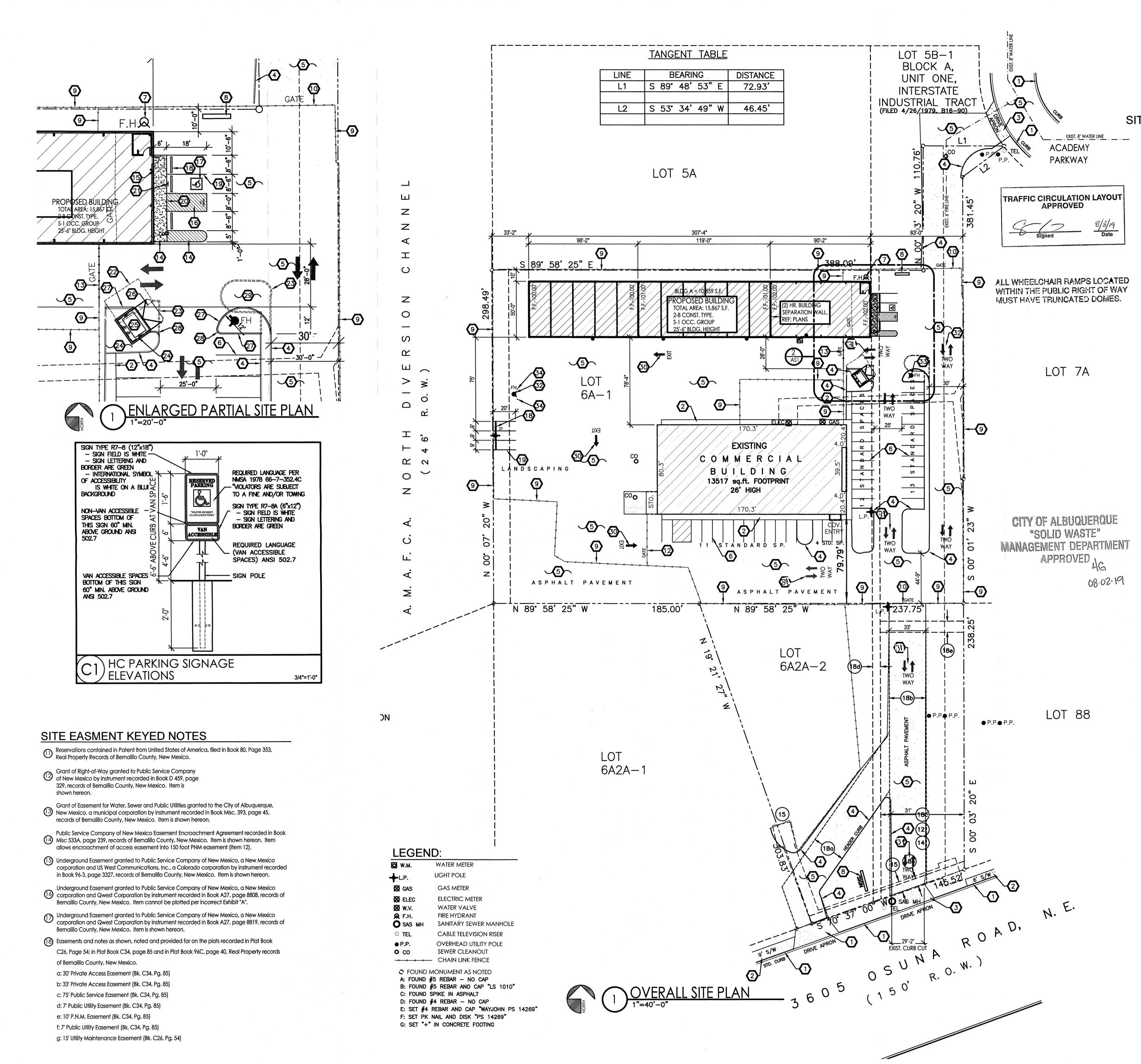
)eanne Wolfenbarger Jeanne Wolfenbarger, P.E.

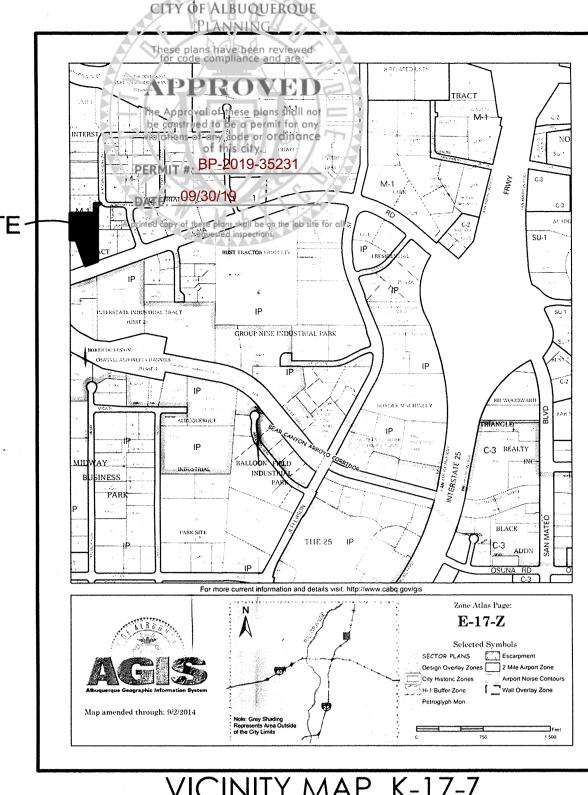
Traffic Engineer, Planning Dept. Development Review Services

www.cabq.gov

Ernie Gomez Plan Checker, Planning Dept. **Development Review Services**

EG via: email C: CO Clerk, File





VICINITY MAP K-17-Z

KEYED NOTĘS

- EXISTING CONC. CURB AND GUTTER. EXIST. CONC. SIDEWALK.
- EXIST. CURB CUT.
- EXIST. ASPHALT PAVING, PATCH AND REPAIR AS REQUIRED, NOTE: EXIST. ASPHALT PAVING CAN SUPPORT FIRE APPARATUS AND THE EXISTING GRADE DOES NOT EXCEED 10%.
- EXIST. PAINTED STRIPE PARKING, TYP.
- EXIST. FIRE HYDRANT TO BE REMOVED AND EXIST. FIRE LINE TO BE CAPPED OFF. EXIST. SIGN.
- BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO SITE, MOUNT BOX MAX. 6'-0" HIGH A.F.F., TYP., NOTE: KNOX BOX TO BE LOCATED AT TWO EXISTING GATE ENTRIES.

- LOCATED AT NEW KNOX BOX LOCATED AT TWO ENTRIES INTO SITE, REF: KEYED NOTE #10.
- 14. 4" THICK CONC. SIDEWALK, TYP., REF: PLAN FOR WIDTH OF SIDEWALK. ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL A8/AS-2.0.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, REF: C2/AS-2.0.
- 18. CONCRETE WHEEL STOP, TYP. 19. 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0., TYP.
- 20. TOP OF CONC. SIDEWALK AND ASPHALT PAVING TO BE FLUSH. 21. G.C. TO PROVIDE AND INSTALL A SURFACE MOUNTED KNOX BOX WITH KEY FOR FIRE
- DEPARTMENT ACCESS INTO BUILDING, MOUNT BOX 5'-0" HIGH A.F.F., TYP. 22. REMOVE EXIST. DUMPSTER ENCLOSURE AND CONC. SLAB.
- 23. REMOVE EXIST. CONC. CURB SHOWN DASHED.
- 24. REMOVE EXIST. LANDSCAPING AS REQUIRED FOR NEW DUMPSTER ENCLOSURE.
- 25. NEW DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- 26. NEW 6" THICK CONC. APRON, REF: DETAIL A1/AS-2.0
- 27. NEW 6" RAISED CONC. CURB, TYP. 28. NEW CURB RADIUS = 2'-0". 29. NEW ASPHALT PAVING, TYP.
- 30. NEW PAINTED DIRECTION EXIT ARROW FOR FIRE DEPARTMENT APPARATUS TO EXIT SITE.
- 31. NEW PAINTED TWO WAY ENTER/EXIT ARROW, TYP.
- 32. NEW FIRE HYDRANT. 33. NEW LOCATION FOR EXISTING FIRE HYDRANT.
- 34. 8" DIA. CONCRETE FILLED STEEL PIPE BOLLARD.

PARKING REQUIRED PER THE IDO

TABLE 5-5-1 OFFSTREET PARKING REQUIREMENTS SELF-STORAGE: 1 SPACE PER 3,000 S.F. (GFA) SPACES REQUIRED = 15,367/3,000 S.F. = 6 PARKING SPACES SPACES PROVIDED = 5 REGULAR PARKING SPACES 1 ACCESSIBLE PARKING SPACE

LEGAL DESCRIPTION:

Lot numbered Six-A-1 (6A-1) in Block lettered "A" of UNIT 1, INTERSTATE INDUSTRIAL TRACT, Albuquerque, New Mexico, as the same is shown and designated on the corrected plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 1, 1985, in Plat Book C26, page 54.

= 6 PARKING SPACES

Lot numbered Six A2A-2 (6A2A-2) in Block lettered "A" of INTERSTATE INDUSTRIAL TRACT, UNIT 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the correction plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 24, 1996, in Plat Book 96C, page 40.

AREA:

181,174.46 sq.ft. = 4.1592 Acres

Q STO SEL

REVISION DATE 6/19/2019

06-19-2019

SHEET NUMBER

AS-1.0



May 27, 2020

Re: Academy Parkway Self Storage 3605 Osuna NE Alb. NM 87109 BP-2019-35231 Engineer's/Architect's stamp dated: 6/19/2019

TRAFFIC CERTIFICATION

- I, <u>Rick Bennett</u>, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved TCL Site Plan dated 6/19/2019 and with Architect's stamp dated 6/19/2019.
- I, <u>Rick Benneth</u>, certify that I have personally visited the project site on May 26, 2020 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Academy Parkway Self Storage in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Rick Bennett, Architect



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Academy Parkway Self Storage	Building Permit #:	City Drainage #:
DRB#: EPC#:		Order#:
Legal Description: Lot 6A-1 and 6A2A-2 Bock A, Unit 1, Interstate Inde	lustrial Track, Albuquerque, NM	•
City Address: 36-5 Osuna NE, Albuquerque, NM.		
Engineering Firm: N/A	Conta	act·
Address:	Cont	act:
Phone#: Fax#:	E-ma	il:
0	Cont	
Owner: Address:	Cont	act:
DI #	F	11.
Phone#: Fax#:	E-ma	
Architect: RBA Architecture Planning Design	Cont	act:
Address: 1104 Park Ave, SW, Alb., NM 87102		
Phone#: 505-242-1859 Fax#:	E-ma	il: rick@rba81.com
Other Contact: Darby Miera	Cont	act:
Address: 1104 Park Ave, SW		
Phone#: 505-242-1859 Fax#:	E-ma	il: darby@rba81.com
TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL	BUILDING PERMIT APPROVAL X CERTIFICATE OF OCCUPANCY	
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X ENGINEER/ ARCHITECT CERTIFICATION	SITE PLAN FOR SI	
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