

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 4, 2023

Verlyn Miller, P.E.
Miller Engineering Consultants
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

RE: La-Z-Boy Center
5801 Jefferson St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 10/20/2022
Hydrology File: E17D005

Dear Mr. Miller:

Based upon the information provided in your submittal received 10/24/2022, the Grading & Drainage Plan is approved for Grading Permit.

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please pay the Payment-in-Lieu of \$ **400.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: La-Z-Boy Center **Building Permit #:** _____ **Hydrology File #:** E17D005
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR A5 Group Nine Industrial Park Cont 3.7564 AC M/L
City Address: 5801 Jefferson Street NE, Albuquerque, NM 87109

Applicant: Weston Development Inc **Contact:** Jeff Mauldin
Address: 88408 Vina Del Sol Dr. NE, Albuquerque, NM 87122
Phone#: 505-238-5311 **Fax#:** _____ **E-mail:** jeff.mauldin@lazboyabq.com

Other Contact: Miller Engineering Consultants **Contact:** Verlyn Miller, P.E.
Address: 3500 Comanche NE, Bldg. F, Albuquerque, NM 87107
Phone#: 505-888-7500 **Fax#:** 505-888-3800 **E-mail:** vmiller@mecnm.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: : 10/20/2022 **By:** Verlyn A. Miller

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 3.745-acre site located 5801 Jefferson Boulevard NE in Albuquerque. The site is located on the west side of Jefferson Boulevard and north of the Bear Arroyo. The site can be accessed via Jefferson Boulevard from I-25 (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 3.75 acres and is mostly developed with a building and asphalt paved parking areas. The site currently slopes from the east to west at a mild slope. The site currently drains into the Bear Canyon Arroyo via a storm drain inlet and storm drainpipe. The area of disturbance or re-development area for the site is estimated at 2275 square feet. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of a row of new asphalt-paved parking spaces at the southeast corner of the site that will be positioned over the top of existing impervious areas. The project will also include repaving the loading dock area to alleviate sitting water in the dock area. The existing building will remain unchanged. Since there is no area on the site for a storm water quality pond the owner is requesting payment in lieu of ponding. The drainage calculations for proposed conditions and the storm water quality ponding volume are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan there will be no increase in runoff from the site. The proposed project will not add any additional impervious area. Storm water runoff from the site will discharge to its historical location into the Bear Canyon Arroyo. Since there is no area on the site for a storm water quality pond the owner is requesting payment in lieu of ponding per the calculations provide below.

GENERAL NOTES:

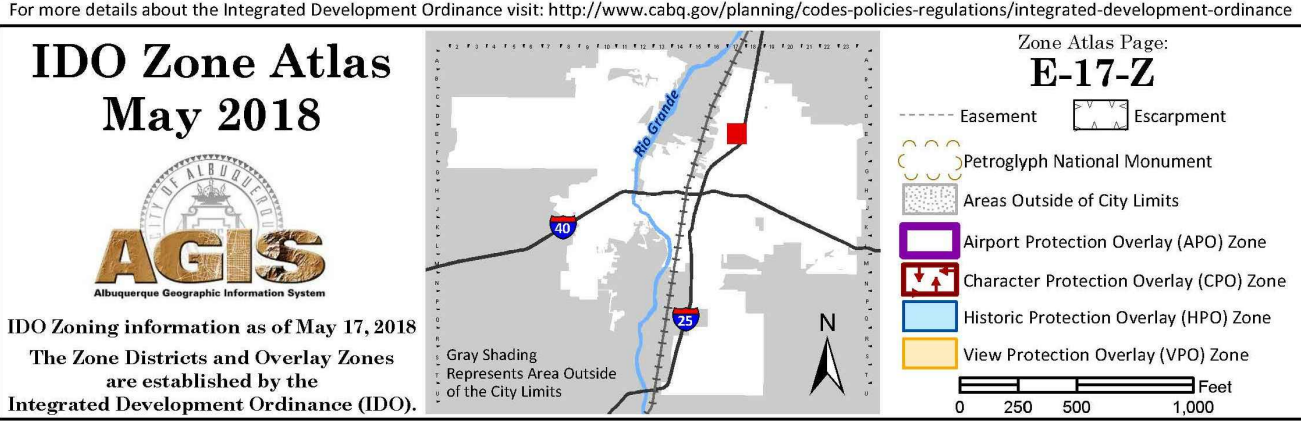
- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY WAYJOHN SURVEYING, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- A 3-1/4 INCH ALUMINUM DISC STAMPED "12-E17", EPOXIED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, WNW QUADRANT OF OSUNA ROAD NE & WASHINGTON STREET NE, ON SE CORNER OF SAID CONCRETE BASE.

TBM 1/2" REBAR (NO ID) LOCATED AT THE NORTHWEST PROPERTY CORNER OF TRACT A-5 (SUBJECT PROPERTY). ELEV. 5153.65 (NAVD 88)
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

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D4 VICINITY MAP

SCALE: NOT TO SCALE

HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm					P(360) =	2.35 in	P(1440) =	2.75 in	
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	3.750	0.000	0.000	0.550	3.200	1.97	0.617	0.724	16.767
Total	3.750						0.617	0.724	16.767
Proposed Conditions									
Site	3.750	0.000	0.000	0.550	3.200	1.97	0.617	0.724	16.767
Total	3.750						0.617	0.724	16.767

STORM WATER QUALITY CALCULATIONS

$$\text{SWQV} = (0.26''/12 * 2275 \text{ SF}) = 50 \text{ CUBIC FEET}$$
$$\text{PAYMENT-IN-LIEU} = 50 \text{ CF} * \$8.00/\text{CF} = \$400.00$$

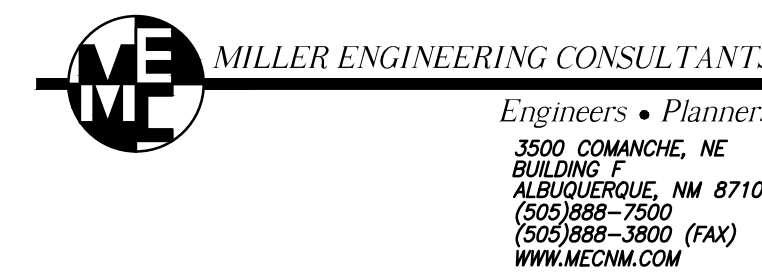
National Flood Hazard Layer FIRMette



D4 FLOOD ZONE MAP

SCALE: NOT TO SCALE

35002C0138H



Project No. 22-003
Drawn by: EB
Checked by: JFO

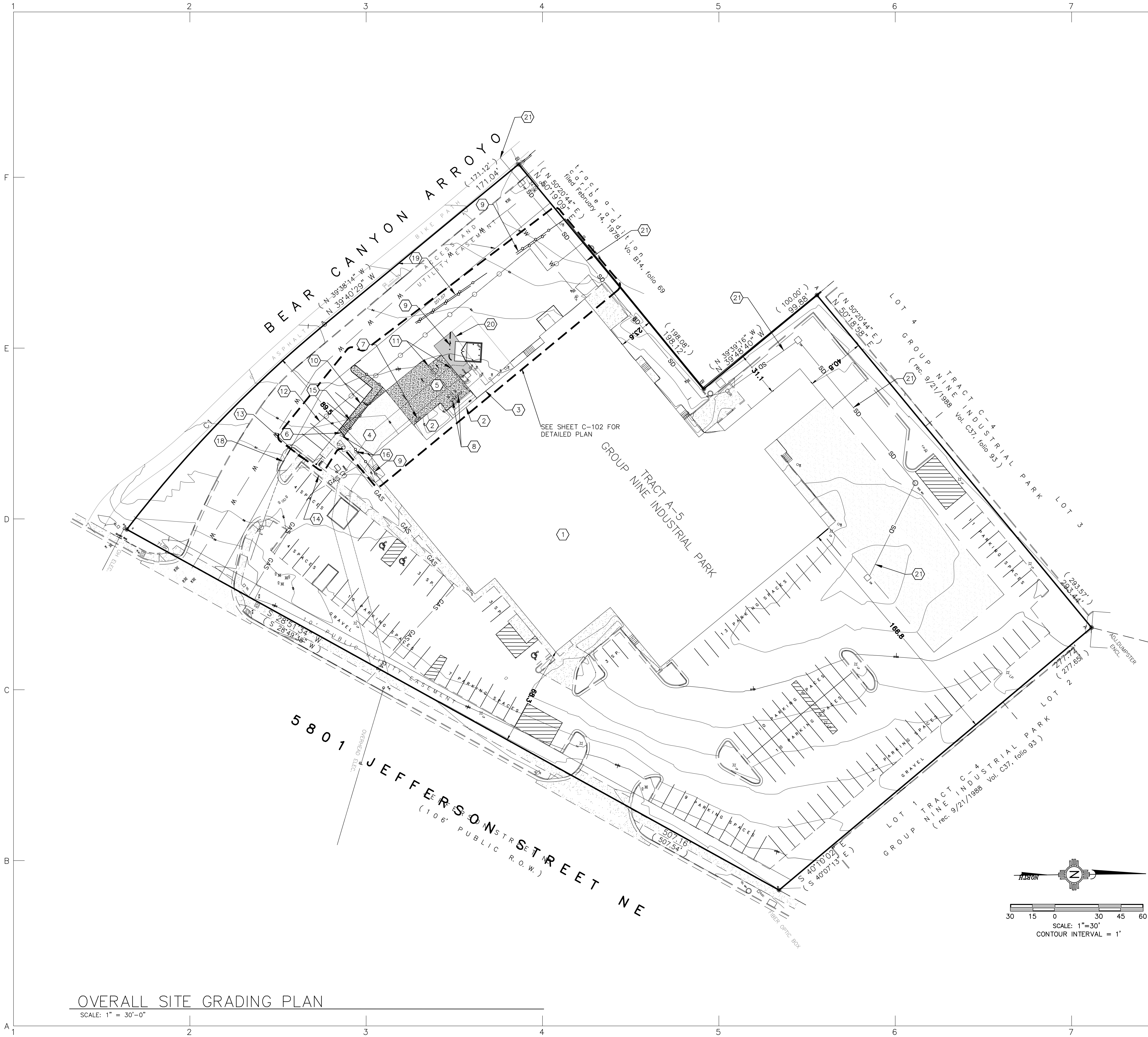
Issue Date:
August 17, 2022

Revisions:	Date:	By:	Description:

Sheet Title:
Hydrology Report

Sheet No.
C-100

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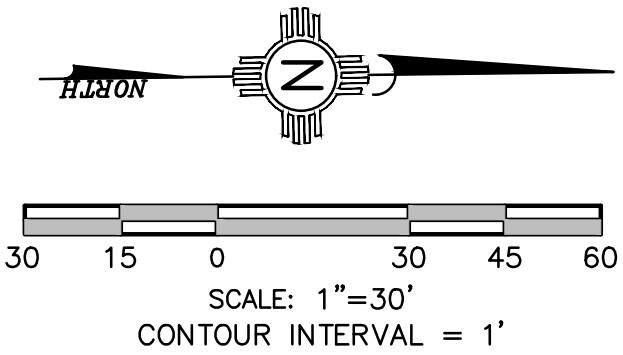


LEGEND:

- PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH EXISTING ELEVATIONS
- TOP OF CONCRETE
- FLOW LINE, CURB
- INVERT
- FINISH GRADE
- TOP OF BASE COURSE
- TOP OF CURB
- TOP OF GRATE
- TOP OF ASPHALT
- TOP OF WALL
- FLOW ARROW
- GRADE BREAK-HIGH POINT
- SWALE
- STORM DRAIN LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING CONCRETE/ASPHALT PAVING TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW ASPHALT.

KEYED NOTES

- PROPOSED BUILDING.
- EXISTING DOCK TO REMAIN.
- EXISTING CONCRETE PAD TO REMAIN.
- EXISTING CONCRETE DRIVE TO REMAIN.
- EXISTING CONCRETE PAD TO BE REMOVED AND REPLACED.
- WHEN ABUTTING NEW CONCRETE TO EXISTING CONCRETE, SAW CUT TO A CLEAN STRAIGHT EDGE TO NEW CONCRETE DEPTH. MATCH EXISTING ELEVATIONS.
- REMOVE AND REPLACE STAIRS THIS LOCATION.
- REMOVE AND DISPOSE OF EXISTING DROP INLETS.
- NEW CHAINLINK FENCE.
- NEW 5' WIDE SIDEWALK, MATCH EXISTING SIDEWALK ELEVATIONS AND CONTINUE NEW SIDEWALK AT GRADE.
- EXISTING 12"x8" CONCRETE CURB TO BE REMOVED.
- EXISTING CHAINLINK FENCE TO BE REMOVED.
- EXISTING SIDEWALK CULVERT TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING CONCRETE PAVING TO BE REMOVED.
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- NEW DRAINAGE SWALE.
- EXISTING ASPHALT PAVING TO BE REMOVED AND REPLACED. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH ELEVATIONS.
- EXISTING STORM DRAIN PIPE AND INLET TO BEAR CANYON ARROYO.



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Project No. 22-003
Drawn by: EB
Checked by: JFO

Issue Date:
August 17, 2022

Revisions:					
Date:					

Sheet Title:
Overall Grading & Drainage

Sheet No.
C-101

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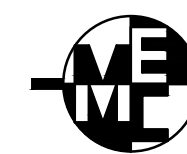
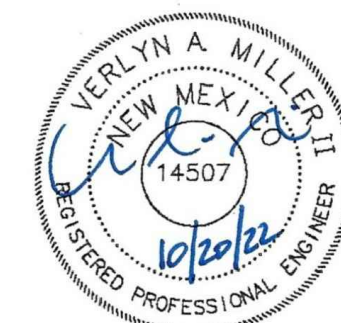
- | | |
|---|--|
| 38.00
FG | PROPOSED SPOT ELEVATIONS
(FINISHED GRADE) |
| MATCH
(95.19) | MATCH EXISTING ELEVATIONS |
| TCON | TOP OF CONCRETE |
| FL | FLOW LINE, CURB |
| INV | INVERT |
| FG | FINISH GRADE |
| TBC | TOP OF BASE COURSE |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TA | TOP OF ASPHALT |
| TW | TOP OF WALL |
| → | FLOW ARROW |
| — · — · — | GRADE BREAK—HIGH POINT |
| SD | SWALE |
| SD | STORM DRAIN LINE |
| 5895 | PROPOSED MAJOR CONTOUR |
| 5895 | PROPOSED MINOR CONTOUR |
| 5895 | EXISTING MAJOR CONTOUR |
| 5895 | EXISTING MINOR CONTOUR |
| EXISTING CONCRETE/ASPHALT PAVING TO BE REMOVED AND REPLACED. | |
| EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW ASPHALT. | |

KEYED NOTES

- PROPOSED BUILDING.
- EXISTING DOCK TO REMAIN.
- EXISTING CONCRETE PAD TO REMAIN.
- EXISTING CONCRETE DRIVE TO REMAIN.
- EXISTING CONCRETE PAD TO BE REMOVED AND REPLACED. SEE ARCHITECTURAL SHEETS FOR DETAILS.
- WHEN ABUTTING NEW CONCRETE TO EXISTING CONCRETE, SAW CUT TO A CLEAN STRAIGHT EDGE TO NEW CONCRETE DEPTH. MATCH EXISTING ELEVATIONS.
- REMOVE AND REPLACE STAIRS THIS LOCATION.
- REMOVE, BACKFILL AND DISPOSE OF EXISTING DROP INLETS.
- NEW CHAINLINK FENCE. SEE ARCHITECTURAL SHEET AS-101.
- NEW 5' WIDE SIDEWALK, MATCH EXISTING SIDEWALK ELEVATIONS AND CONTINUE NEW SIDEWALK AT GRADE.
- EXISTING 12"x8" CONCRETE CURB TO BE REMOVED.
- EXISTING CHAINLINK FENCE TO BE REMOVED.
- EXISTING SIDEWALK CULVERT TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING CONCRETE PAVING TO BE REMOVED.
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- REMOVE ASPHALT IN THIS AREA. REPLACE WITH NEW CONCRETE. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING CONCRETE DEPTH. MATCH PROPOSED ELEVATIONS.
- NEW TRASH BIN ENCLOSURE. SEE ARCHITECTURAL SHEET AS-102.
- EXISTING GAS REGULATOR ENCLOSURE.
- EXISTING ASPHALT PAVING TO BE REMOVED AND REPLACED. SAW CUT ADJOINING ASPHALT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH ELEVATIONS.
- NEW DRAINAGE SWALE.
- STORM DRAIN INLET AND PIPE TO BEAR CANYON ARROYO.



SCALE: 1"=10'
CONTOUR INTERVAL = 1'



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Project No. 22-003
Drawn by: EB
Checked by: JFO

Issue Date:
August 17, 2022

Revisions:				
Date:				

Sheet Title:
Enlarged Grading & Drainage

Sheet No.
C-102