

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 3.745-acre site located 5801 Jefferson Boulevard NE in Albuquerque. The site is located on the west side of Jefferson Boulevard and north of the Bear Arroyo. The site can be accessed via Jefferson Boulevard from I-25 (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 3.75 acres and is mostly developed with a building and asphalt paved parking areas. The site currently slopes from the east to west at a mild slope. The site currently drains into the Bear Canyon Arroyo via a storm drain inlet and storm drainpipe. The area of disturbance or re-development area for the site is estimated at 2275 square feet. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of a row of new asphalt-paved parking spaces at the southeast corner of the site that will be positioned over the top of existing impervious areas. The project will also include repaving the loading dock area to alleviate sitting water in the dock area. The existing building will remain unchanged. Since there is no area on the site for a storm water quality pond the owner is requesting payment in lieu of ponding. The drainage calculations for proposed conditions and the storm water quality ponding volume are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan there will be no increase in runoff from the site. The proposed project will not add any additional impervious area. Storm water runoff from the site will discharge to its historical location into the Bear Canyon Arroyo. Since there is no area on the site for a storm water quality pond the owner is requesting payment in lieu of ponding per the calculations provide below.

GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY WAYJOHN SURVEYING, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- A 3-1/4 INCH ALUMINUM DISC STAMPED "12-E17", EPOXIED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, WNW QUADRANT OF OSUNA ROAD NE & WASHINGTON STREET NE, ON SE CORNER OF SAID CONCRETE BASE.

TBM 1/2" REBAR (NO ID) LOCATED AT THE NORTHWEST PROPERTY CORNER OF TRACT A-5 (SUBJECT PROPERTY). ELEV. 5153.65 (NAVD 88)
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.



4700 LINCOLN RD NE,
SUITE 102 D
ALBUQUERQUE
NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com

SITE WORK FURNITURE
LAY - Z - BOY FURNITURE
5801 JEFFERSON ST
ALBUQUERQUE, NEW MEXICO 87109

Project No. 22-003
Drawn by: EB
Checked by: JFO

Issue Date:
August 17, 2022

Revisions:	Date:	10/19/2022	COA COMMENTS

Sheet Title:
Hydrology Report

Sheet No.
C-100



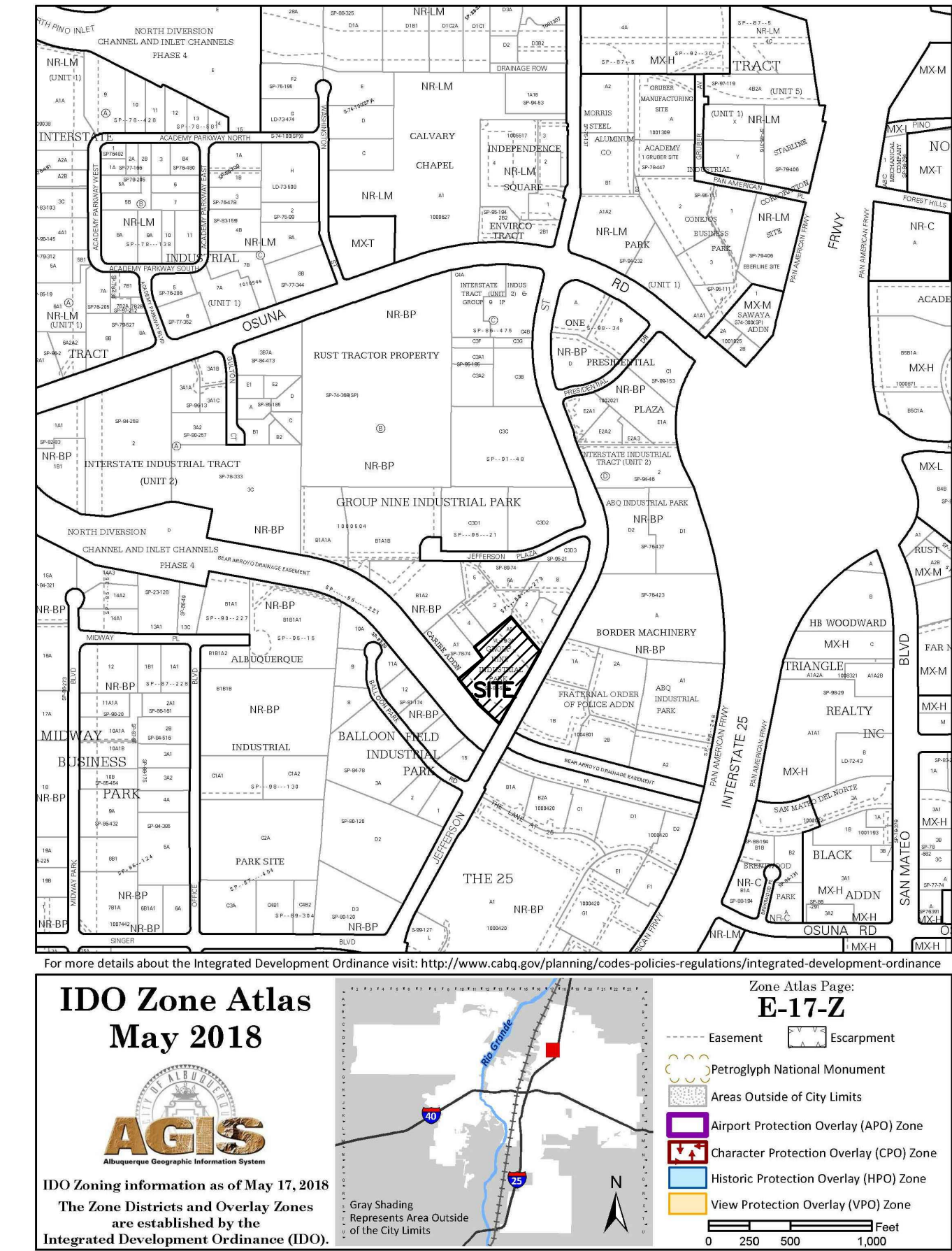
MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87107
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MECNM.COM

HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm					P(360) =	2.35 in	P(1440) =	2.75 in	
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	3.750	0.000	0.000	0.550	3.200	1.97	0.617	0.724	16.767
Total	3.750						0.617	0.724	16.767
Proposed Conditions									
Site	3.750	0.000	0.000	0.550	3.200	1.97	0.617	0.724	16.767
Total	3.750						0.617	0.724	16.767

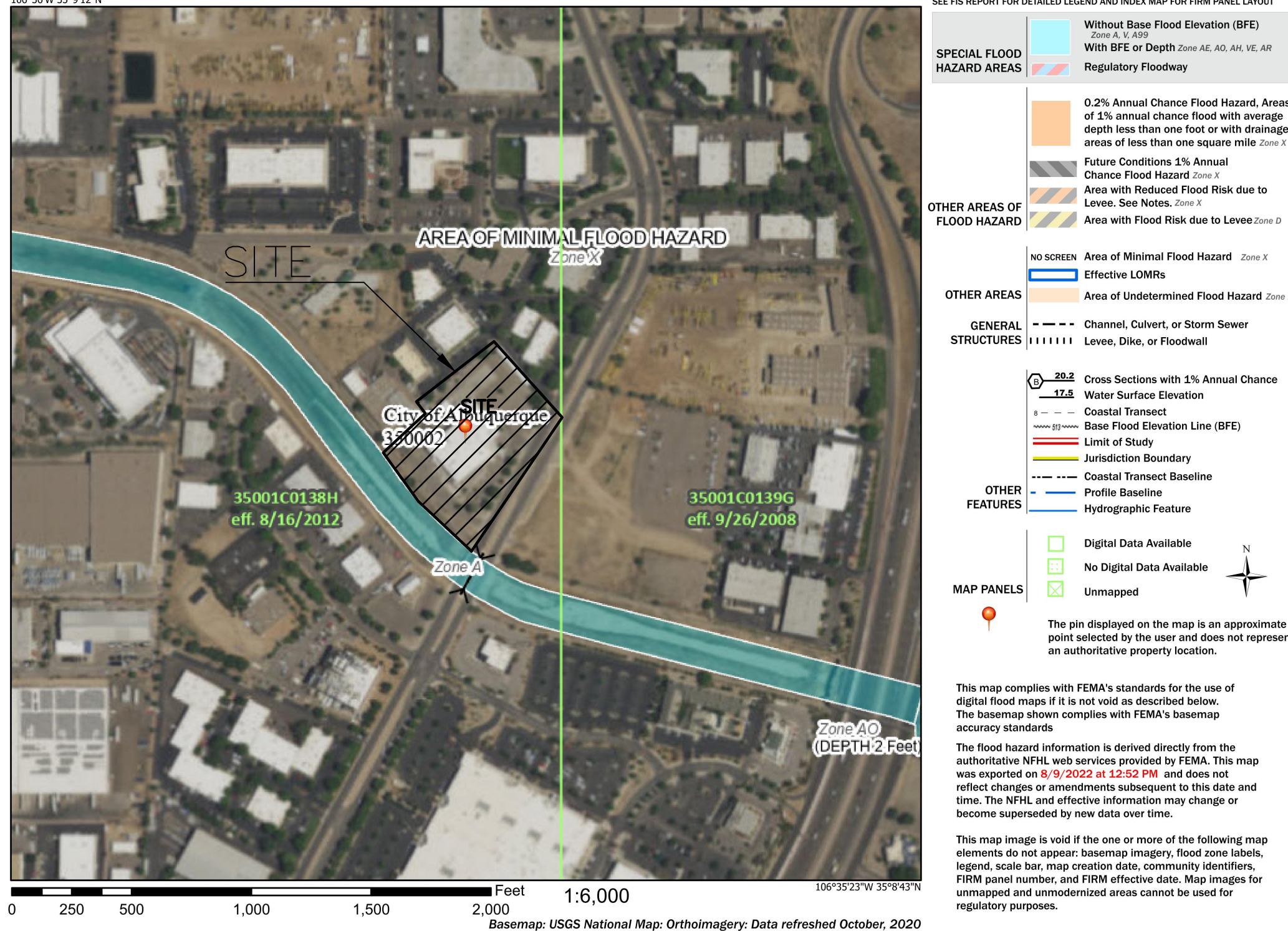
STORM WATER QUALITY CALCULATIONS

SWQV = (0.26"/12 * 2275 SF) = 50 CUBIC FEET
PAYMENT-IN-LIEU = 50 CF * \$8.00/CF = \$400.00



D4 VICINITY MAP
SCALE: NOT TO SCALE

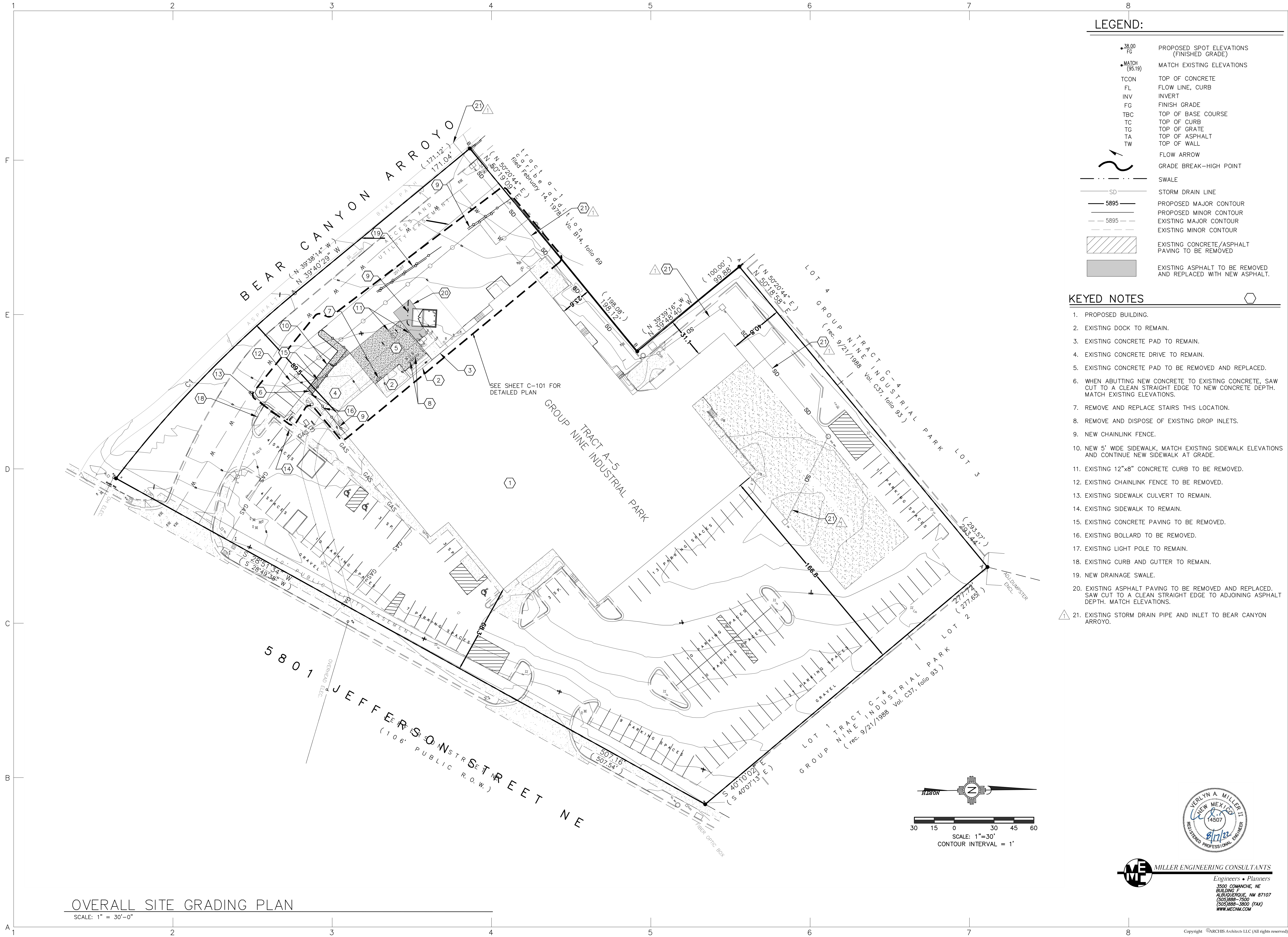
National Flood Hazard Layer FIRMette



D4 FLOOD ZONE MAP
SCALE: NOT TO SCALE

35002C0138H

T:\Clients\ARCHIS\5801 Jefferson\ACAD\Sheets\C-101-G&D.dwg, C-101-OVERALL-G&D, 10/19/2022 3:30:51 PM, Jacques, DWG to PDF.pc3, 1:1



4700 LINCOLN RD NE,
SUITE 102 D
ALBUQUERQUE,
NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com

LAY-Z-BOY FURNITURE
5801 JEFFERSON ST
ALBUQUERQUE, NEW MEXICO 87109

Project No. 22-003
Drawn by: EB
Checked by: JFO

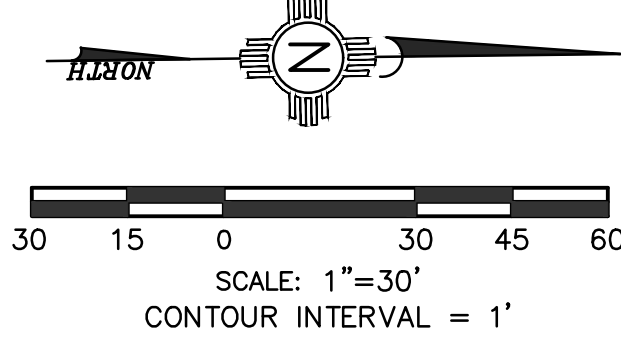
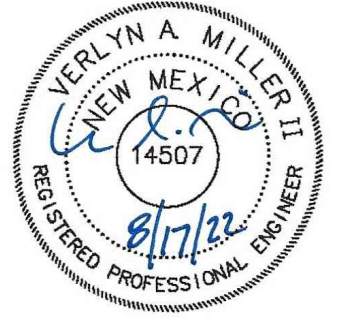
Issue Date:
August 17, 2022

Date:	Revisions:
10/19/2022	COA COMMENTS

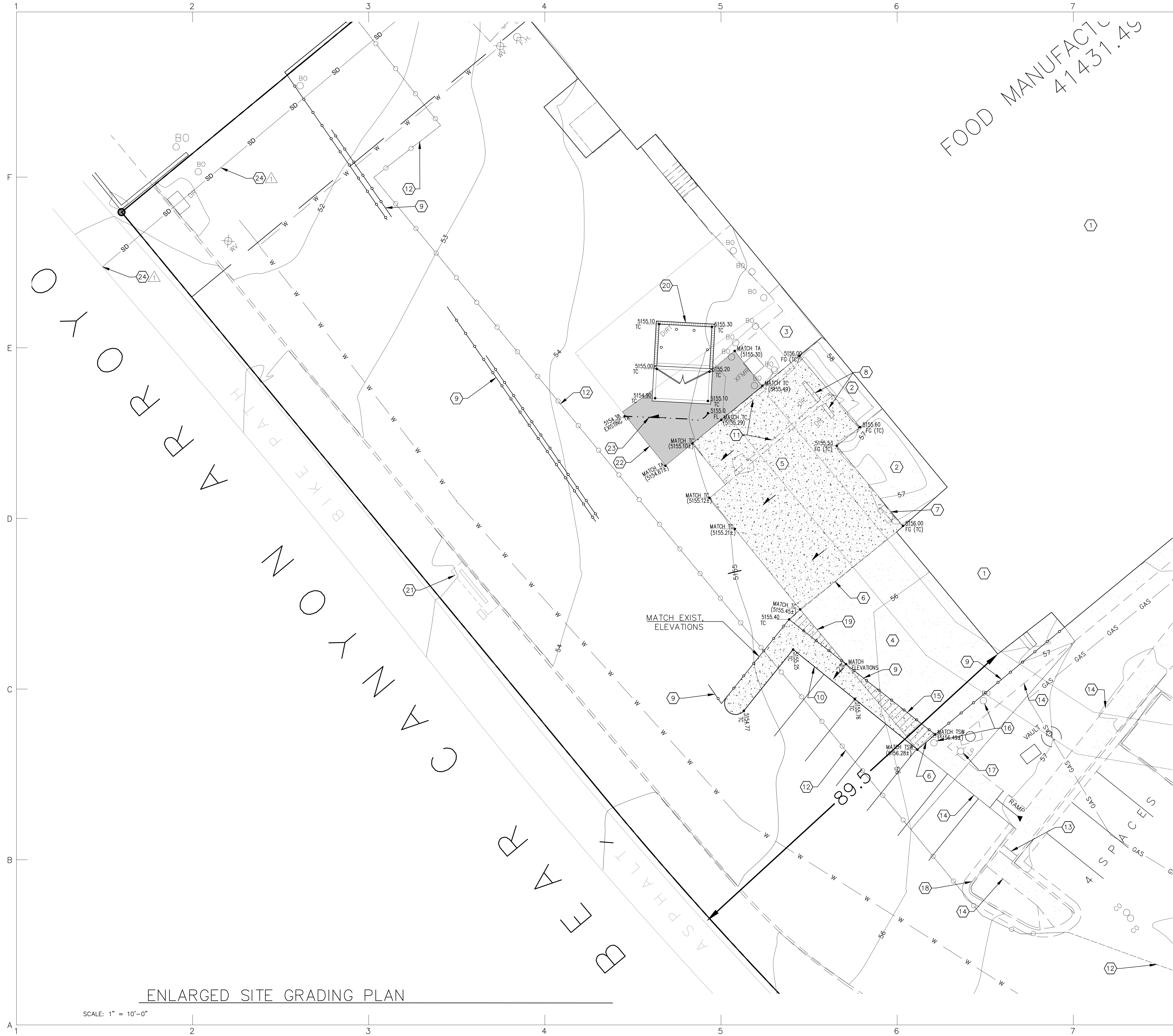
Sheet Title:
Overall Grading & Drainage

Sheet No.
C-101

MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87107
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MECNM.COM



T:\Clients\ARCHIS\5801 Jefferson\ACAD\Sheets\C-101-G & D.dwg C-102 ENLARGED-G&D, 10/19/2022 3:31:20 PM,
jacquez, DWG to PDF.pc3, 1:1



LEGEND:

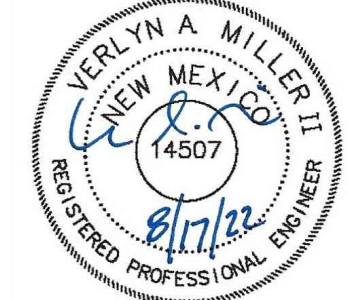
- | | |
|--------------------|--|
| • 38.00
FG | PROPOSED SPOT ELEVATIONS
(FINISHED GRADE) |
| • MATCH
(95.19) | MATCH EXISTING ELEVATIONS |
| TCON | TOP OF CONCRETE |
| FL | FLOW LINE, CURB |
| INV | INVERT |
| FG | FINISH GRADE |
| TBC | TOP OF BASE COURSE |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TA | TOP OF ASPHALT |
| TW | TOP OF WALL |
| → | FLOW ARROW |
| — · — · — · — | GRADE BREAK—HIGH POINT |
| — SD — | SWALE |
| — 5895 — | STORM DRAIN LINE |
| — 5895 — | PROPOSED MAJOR CONTOUR |
| — 5895 — | PROPOSED MINOR CONTOUR |
| — 5895 — | EXISTING MAJOR CONTOUR |
| — 5895 — | EXISTING MINOR CONTOUR |
| ▨ | EXISTING CONCRETE/ASPHALT PAVING
TO BE REMOVED AND REPLACED. |
| ■ | EXISTING ASPHALT TO BE REMOVED
AND REPLACED WITH NEW ASPHALT. |

KEYED NOTES

1. PROPOSED BUILDING.
2. EXISTING DOCK TO REMAIN.
3. EXISTING CONCRETE PAD TO REMAIN.
4. EXISTING CONCRETE DRIVE TO REMAIN.
5. EXISTING CONCRETE PAD TO BE REMOVED AND REPLACED. SEE ARCHITECTURAL SHEETS FOR DETAILS.
6. WHEN ABUTTING NEW CONCRETE TO EXISTING CONCRETE, SAW CUT TO A CLEAN STRAIGHT EDGE TO NEW CONCRETE DEPTH. MATCH EXISTING ELEVATIONS.
7. REMOVE AND REPLACE STAIRS THIS LOCATION.
8. REMOVE, BACKFILL AND DISPOSE OF EXISTING DROP INLETS.
9. NEW CHAINLINK FENCE. SEE ARCHITECTURAL SHEET AS-101.
10. NEW 5' WIDE SIDEWALK, MATCH EXISTING SIDEWALK ELEVATIONS AND CONTINUE NEW SIDEWALK AT GRADE.
11. EXISTING 12"x8" CONCRETE CURB TO BE REMOVED.
12. EXISTING CHAINLINK FENCE TO BE REMOVED.
13. EXISTING SIDEWALK CULVERT TO REMAIN.
14. EXISTING SIDEWALK TO REMAIN.
15. EXISTING CONCRETE PAVING TO BE REMOVED.
16. EXISTING BOLLARD TO BE REMOVED.
17. EXISTING LIGHT POLE TO REMAIN.
18. EXISTING CURB AND GUTTER TO REMAIN.
19. REMOVE ASPHALT IN THIS AREA. REPLACE WITH NEW CONCRETE. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING CONCRETE DEPTH. MATCH PROPOSED ELEVATIONS.
20. NEW TRASH BIN ENCLOSURE. SEE ARCHITECTURAL SHEET AS-102.
21. EXISTING GAS REGULATOR ENCLOSURE.
22. EXISTING ASPHALT PAVING TO BE REMOVED AND REPLACED. SAW CUT ADJOINING ASPHALT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH ELEVATIONS.
23. NEW DRAINAGE SWALE.
24. STORM DRAIN INLET AND PIPE TO BEAR CANYON ARROYO.



SCALE: 1"=10'
CONTOUR INTERVAL = 1'



ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
BUILDING F
ALBUQUERQUE, NM 87107
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MECNM.COM



4700 LINCOLN RD NE,
SUITE 102 D
ALBUQUERQUE,
NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com

LAY-Z-BOY FURNITURE
5801 JEFFERSON ST
ALBUQUERQUE, NEW MEXICO 87109

Project No. 22-003
Drawn by: EB
Checked by: JFO

Issue Date:
August 17, 2022

Revisions:	
Date:	10/19/2022
Comments:	COA COMMENTS

Sheet Title:
Enlarged Grading & Drainage

Sheet No.
C-102