

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 26, 2006

Christopher R. Gunning, Registered Architect
6801 Jefferson Ne, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Sandia Foundation Used Car Dealership, [E-17 / D9]
6311 San Mateo Blvd NE
Architect's Stamp Dated 07/25/06

Dear Mr. Gunning:

The TCL / Letter of Certification submitted on July 25, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

July 25, 2006



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Wilfred Gallegos
Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

**Re: Used Car Dealership for Galles & Davis Automobiles
6311 San Mateo Blvd. NE**

Mr. Gallegos:

I Christopher R. Gunning, NMRA no. 3203 of the firm Dekker/Perich/Sabatini, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Administrative Amendment #06AA-00298 dated 03/30/06. The record information edited onto the original design document has been obtained by Dekker/Perich/Sabatini. I further certify that Dekker/Perich/Sabatini visited the project site on 07/24/06 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief, with the following exception:

1. Clouded area of main drive through the site had to be moved to the North in order to move it out of the lease area for the existing Olive Garden Restaurant. The parking calculation adjusted slightly because of the move.

This certification is submitted in support of a request for Certificate of Occupancy.

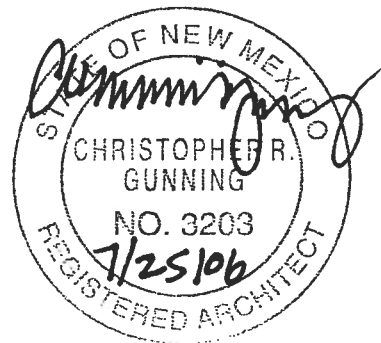
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact me at 761-9700, thank you.

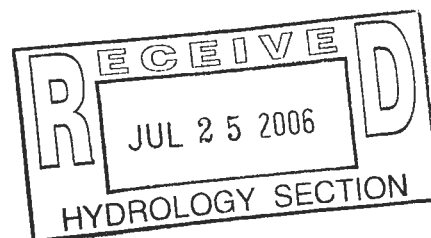
Very truly yours,

Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning AIA
Principal



Cc: File



6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT
OF NEW MEXICO
CHRISTOPHER R. GUNNING
NO. 3203
125106
REGISTERED ARCHITECT
ENGINEER

**Sandia Foundation
Used Car Dealership**
6311 San Mateo Boulevard NE
Albuquerque, New Mexico 87109

REQUEST for ADMINISTRATIVE AMENDMENT of AMENDMENT to SITE DEVELOPMENT PLAN

APPROVED by
DRB CASE NO. Z-85-36-1
DATED 05-21-1986 APPROVED 07-09-1986

**EPC05-01390
05DRB-01715**

REQUESTED REVISIONS TO SITE PLAN:
△ EPC/DRB CONDITIONS OF APPROVAL

SITE DATA

ZONE ATLAS MAP NUMBER: E-17-Z
SITE AREA: 391,664 SQUARE FEET, (APPROX.) 4 ACRES
SITE AREA AFFECTED BY THIS A.A.: 131,043 SF, APPROX. 33.6% OF SITE
PRESENT ZONING: C-3

BUILDING AREA:		APPROVED	ACTUAL/FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN)	9,000 SF	300 SEATS	342 SEATS
RESTAURANT 'B' (BENNIGANS')	7,000 SF	250 SEATS	240 SEATS
USED CAR DEALER	2,580 SF		
OFFICE BUILDING	12,500 SF		
TOTAL	31,508 SF		

PARKING REQUIRED:		PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)		342 / 3 = 114
RESTAURANT 'B' (BENNIGANS')		240 / 3 = 80
USED CAR DEALER		2,580 SF / 200 = 13
OFFICE BUILDING		7,664 SF / 200 = 39
TOTAL PARKING REQUIRED		4,844 SF / 300 = 16
		262

PARKING PROVIDED:	
RESTAURANT 'A' (OLIVE GARDEN)	
RESTAURANT 'B' (BENNIGANS')	
USED CAR DEALER: CUSTOMER & STAFF SPACES	
VEHICLE DISPLAY SPACES	
OFFICE BUILDING	
TOTAL PARKING PROVIDED	

TOTAL HANDICAP PARKING REQUIRED PER ZONE CODE	
TOTAL HANDICAP PROVIDED	
BICYCLE PARKING REQUIRED	
BICYCLE PARKING PROVIDED	

KEYED NOTES

- LANDSCAPED AREA, RE LANDSCAPE DRAWING
- NEW 6" CONCRETE STANDING CURB
- NEW CONCRETE SIDEWALK 6' WIDE UNLESS OTHERWISE NOTED
- NEW TEXTURED, COLORED CONCRETE CROSSWALK TO MATCH EXISTING
- NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE
- EXISTING TREES AND PLAZA AREA TO REMAIN
- HANDICAP RAMP PER CITY DPM STANDARDS; MULTI-DIRECTIONAL
- NOT USED
- EXISTING FIRE HYDRANT TO REMAIN
- NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
- REMOVE EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING; RE: A1/C-1
- ALIGN NEW PARKING ROWS WITH EXISTING
- EXISTING PARKING SPACES TO REMAIN
- BIKE RACK, SEE DETAIL A2/C-1
- CAR DISPLAY USE ONLY
- NEW CONCRETE SIDEWALK 6' WIDE; COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)
- COMPACT PARKING SPACE TO BE IDENTIFIED WITH PAINTED TEXT "COMPACT"
- HANDICAP RAMP PER DPM STANDARDS, UNI-DIRECTIONAL
- EXISTING CONCRETE TO REMAIN
- EXISTING COLORED CONCRETE TO REMAIN, (EXISTING PED. PATH)
- EXISTING CONCRETE CURB TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- NEW CONCRETE HANDICAP SIDEWALK RAMP

LEGEND

PROPERTY LINE	EXISTING TO REMAIN
WATER LINE, PROPOSED	WATER LINE, EXISTING
WASTE LINE, PROPOSED	WASTE LINE, EXISTING
NEW CURB	EXISTING TO BE REMOVED
LEASE LINE	
	AREA NOT AFFECTED UNDER CONTRACT
	AREA AFFECTED UNDER CONTRACT

GENERAL NOTE

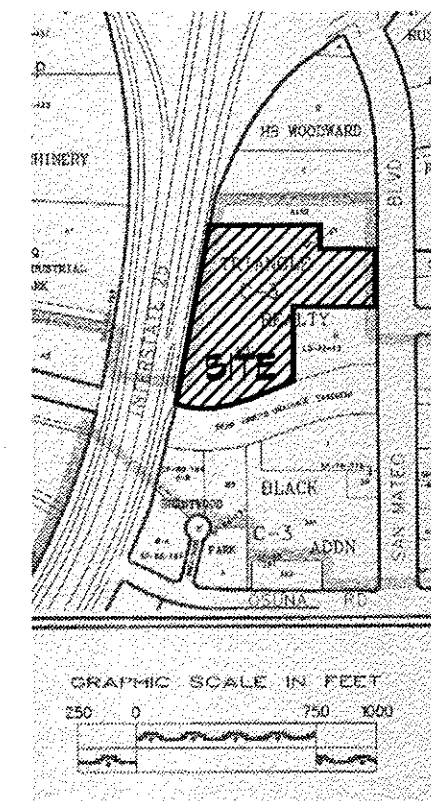
AUTOMOBILE INVENTORY SHALL BE DELIVERED BY TRUCK TO THE NEW AUTO-SALE FACILITY OF GALLERIES & DAVIS FOR THE USED THE USED CAR DEALERSHIP. THE INVENTORY WILL THEN BE DRIVEN ON SITE THROUGH THE ACCESS POINT LOCATED AT THE NORTH SIDE OF THE SITE.

REVISIONS	
△ 3/2/06	BUILDING AND SITE REV.
△ 07/25/06	LEASE LINE ADJUSTMENT
△	
△	

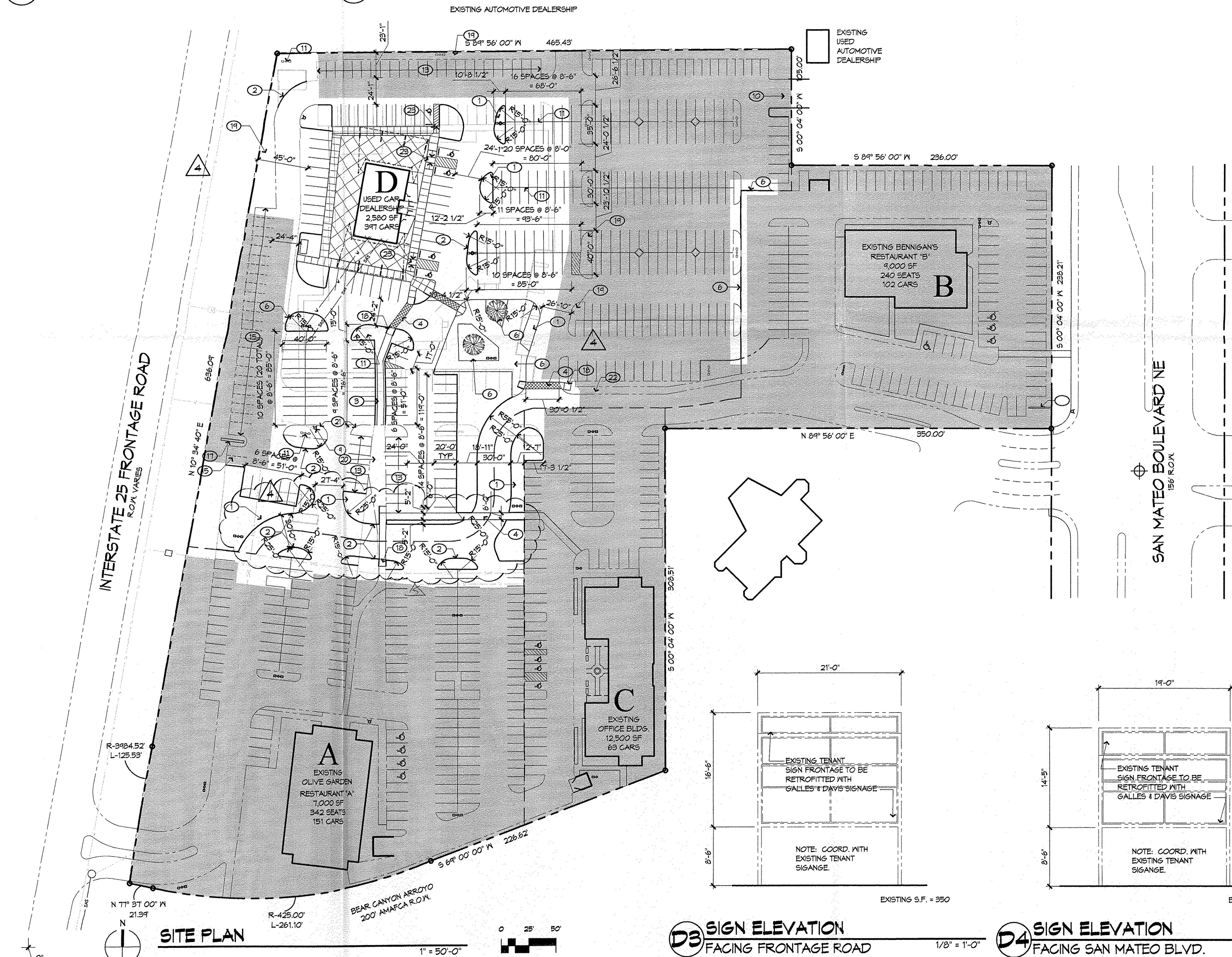
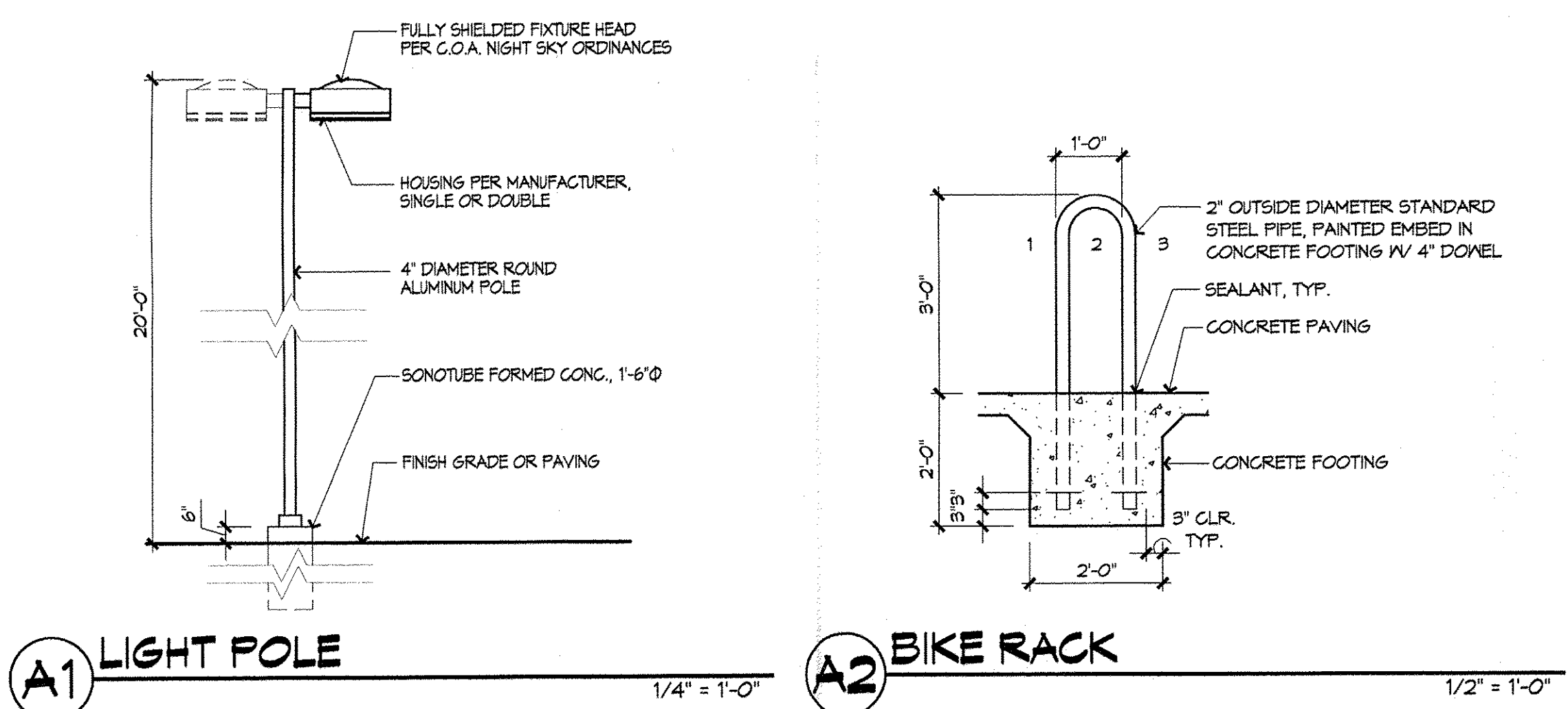
DRAWN BY	
REVIEWED BY	
DATE	07/25/06
PROJECT NO.	050495
DRAWING NAME	

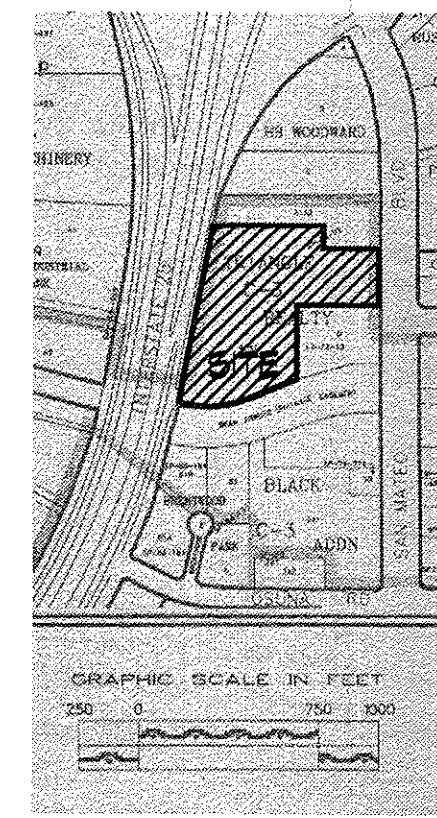
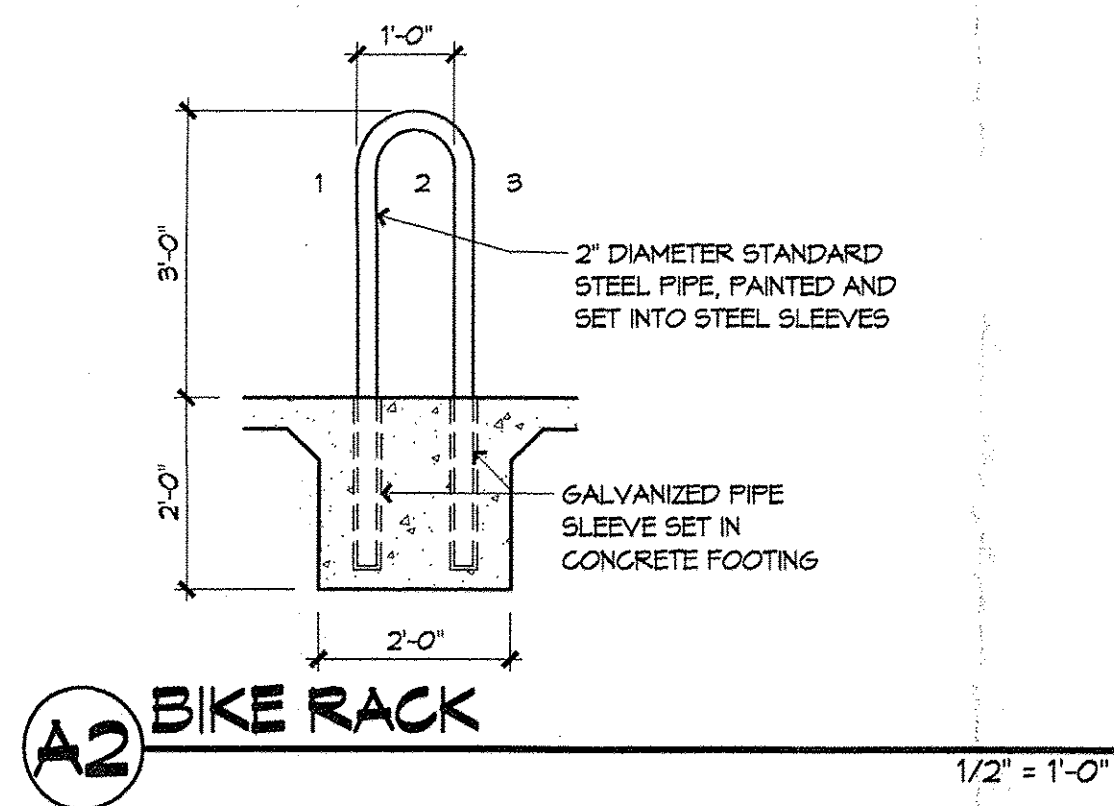
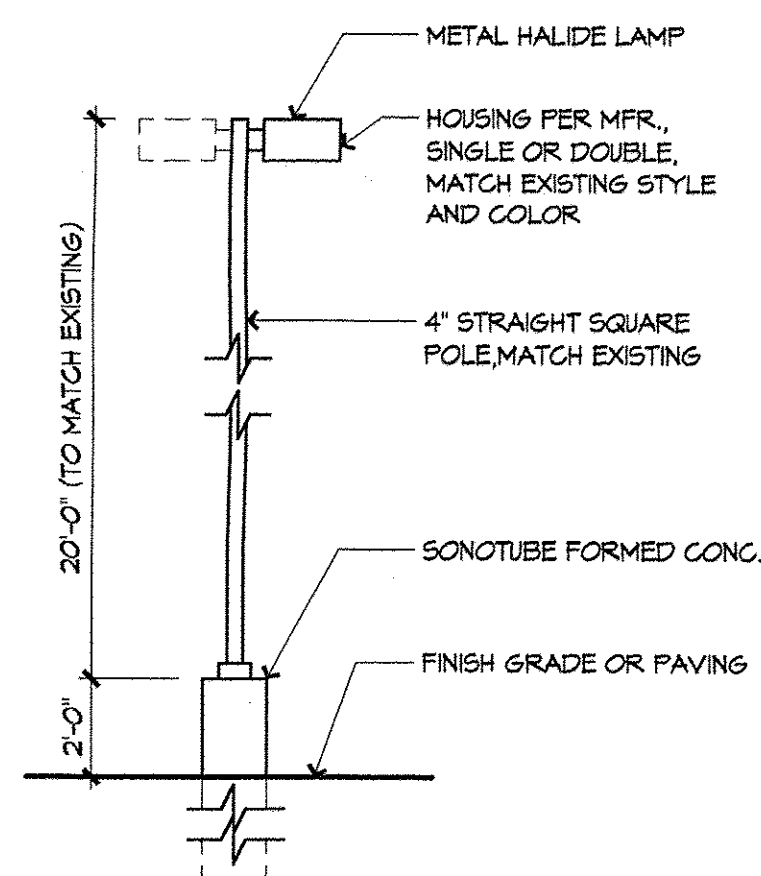
**TRAFFIC
CIRCULATION
PLAN**

SHEET NO.
ASP-1
OF



VICINITY MAP
Zone Atlas Page E-17-Z





REQUEST for AMENDMENT to SITE DEVELOPMENT PLAN

APPROVED by
DRB CASE NO. Z-85-36-1
DATED 03-21-1986 APPROVED 07-04-1986

REQUESTED REVISIONS TO SITE PLAN:
△ REVISION TO PARKING AREA
△ REVISION TO BUILDING AREA

SITE DATA

ZONE ATLAS MAP NUMBER: E-17-Z
SITE AREA: 391,664 SQUARE FEET, (APPROX.) 9 ACRES
SITE AREA AFFECTED BY THIS A.A.: 131,043 SF, APPROX. 33.6% OF SITE
PRESENT ZONING: C-3

BUILDING AREA:	APPROVED	ACTUAL/FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN)	9,000 SF	300 SEATS 342 SEATS
RESTAURANT 'B' (BENNIGANS)	7,000 SF	230 SEATS 240 SEATS
USED CAR DEALER	3,000 SF	
OFFICE BUILDING	12,500 SF	
TOTAL	31,500 SF	

PARKING REQUIRED:	PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)	342 / 3 = 114
RESTAURANT 'B' (BENNIGANS)	240 / 3 = 80
USED CAR DEALER	3,000 SF / 200 = 15
OFFICE BUILDING	7,664 SF / 200 = 39
TOTAL PARKING REQUIRED	4,844 SF / 300 = 16
	264

PARKING PROVIDED:	ARCHITECT
RESTAURANT 'A' (OLIVE GARDEN)	137
RESTAURANT 'B' (BENNIGANS)	102
USED CAR DEALER: CUSTOMER & STAFF SPACES VEHICLE DISPLAY SPACES	27
OFFICE BUILDING	355
TOTAL PARKING PROVIDED	684

TOTAL HANDICAP PARKING REQUIRED PER ZONE CODE	684 SPACES = 16
TOTAL HANDICAP PROVIDED	16
BICYCLE PARKING REQUIRED	684/20 = 34
BICYCLE PARKING PROVIDED	36

KEYED NOTES

- TYPICAL ISLAND CORNER RADIUS = 15'-0"
- NEW 6" CONCRETE STANDING CURB
- NEW CONCRETE SIDEWALK 6" WIDE
- NEW TEXTURED, COLORED CONCRETE CROSSWALK TO MATCH EXISTING
- NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE DECK
- EXISTING TREES AND PLAZA AREA TO REMAIN
- HANDICAP RAMP PER CITY DPM STANDARDS
- CONCRETE VEHICLE RAMP
- EXISTING FIRE HYDRANT TO REMAIN
- NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
- REUSE EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING
- ALIGN NEW PARKING ROWS WITH EXISTING
- EXISTING PARKING SPACES TO REMAIN
- BIKE RACK, SEE DETAIL A2 THIS SHEET AND SITE DATA FOR QUANTITY
- CAR DISPLAY USE ONLY
- NEW CONCRETE SIDEWALK 6" WIDE, COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)

LEGEND

PROPERTY LINE	EXISTING TO REMAIN
WATER LINE, PROPOSED	WATER LINE, EXISTING
WASTE LINE, PROPOSED	WASTE LINE, EXISTING
NEW CURB	EXISTING TO BE REMOVED

17. IDENTIFY COMPACT PARKING SPACE WITH PAINTED TEXT "COMPACT".
18. CONCRETE PAVING BARRIER TYPICAL

624-3011
APPROVED/REAPPROVED
HYDRAULICS ONLY
11/16/05
SIGNATURE & DATE

PROJECT NUMBER: 1002513
APPLICATION NUMBER: EPC05-01390/05DRB-0176
Site Development Plan Approval:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED OCTOBER 20, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION <i>Roger A. Shrum</i> WATER UTILITIES DEPARTMENT	11-16-05 DATE
Christina Sandoval PARKS AND RECREATION DEPARTMENT	11-16-05 DATE
Richard D. Dault CITY ENGINEER	11-16-05 DATE
N/A ENVIRONMENTAL HEALTH DEPARTMENT (conditional) *if necessary	DATE
Michael Holton (existing service) SOLID WASTE MANAGEMENT	11/19/05 DATE
Andrew Garcia DRB CHAIRPERSON, PLANNING DEPARTMENT	11/17/05 DATE

**architecture
interiors
planning
engineering**

**Dekker
Perich
Sabatini**

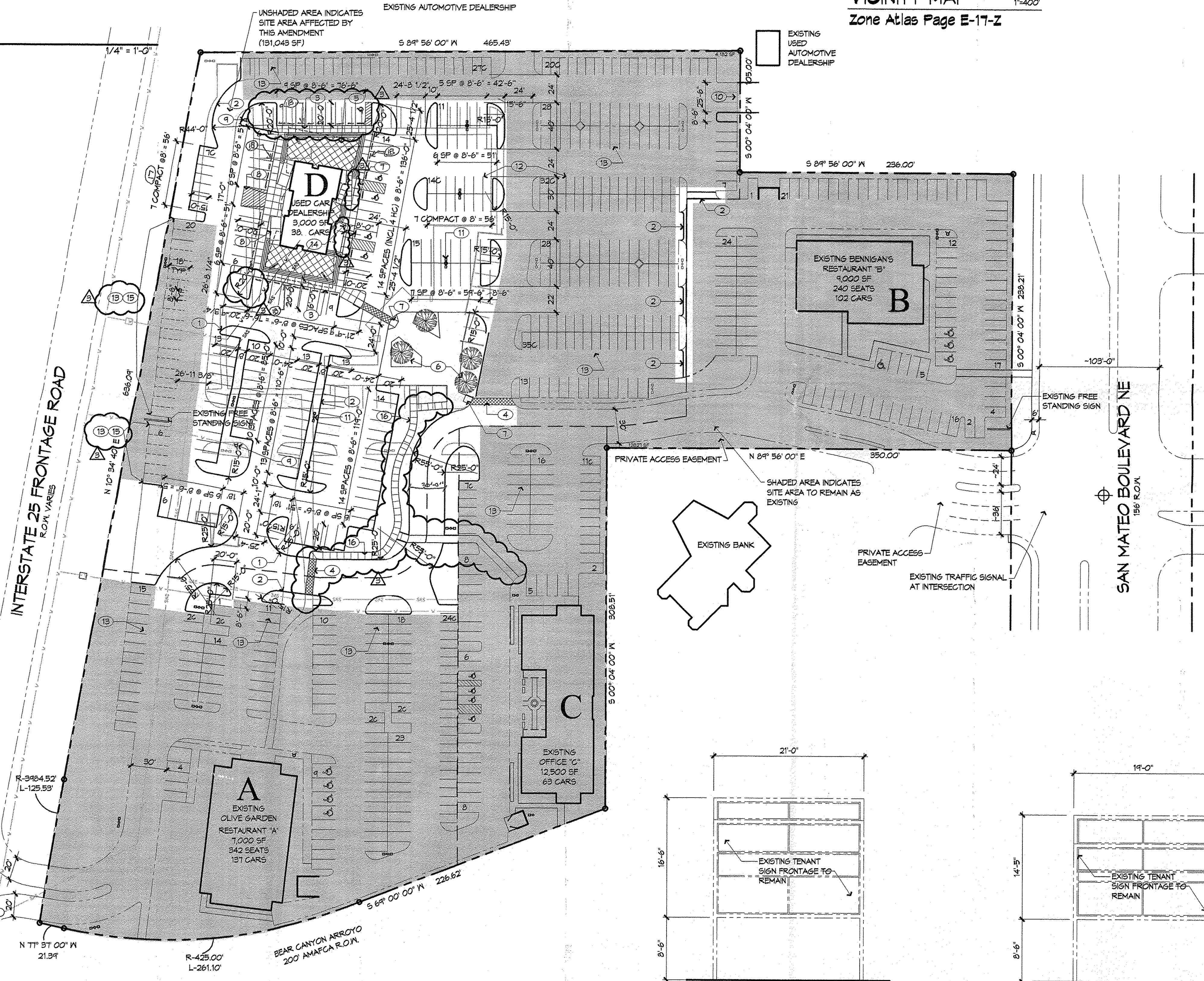
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fax 761-4222
dps@dpsabq.com

ARCHITECT
ENGINEER

**DRB
SUBMITTAL**

**Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico**

REVISIONS △ 11/2/05 EPC Conditions of Approval	
DRAWN BY KK, EC, CRG	
REVIEWED BY CRG	
DATE 09/01/05	
PROJECT NO. 03045	
DRAWING NAME AMENDMENT to SITE DEVELOPMENT PLAN	
SHEET NO. C-1(A)	



D3 SIGN ELEVATION
FACING FRONTAGE ROAD
1/8" = 1'-0"

D4 SIGN ELEVATION
FACING SAN MATEO BLVD.
1/8" = 1'-0"

SITE DEVELOPMENT PLAN
1" = 50'-0"