

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 30, 2024

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: Explore Academy - Addition  
6600 Gulton Ct NE  
Permanent C.O. - Accepted  
Engineer's Certification Date: 07/26/2024  
Engineer's Stamp Date: 12/12/2022  
Hydrology File: E17D012**

PO Box 1293

Dear Mr. Miller:

Based on the Certification received 07/29/2024 and site visit 7/30/2024, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 10-acre site located 6000 Gulton Court NE in Albuquerque. The site can be accessed by traveling west on Osuna Boulevard from I-25 to Gulton Court NE (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 10 acres and is mostly developed with a building and asphalt paved parking lot. The site has been divided into two drainage basins, A and B. Basin A discharges to an existing channel system located along the western boundary of the site. Basin B is located on the south side of the site and will drain to the new ponding area located along the western boundary of Basin B. The site currently slopes from the east to west at a mild to moderate slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet). The Bear Arroyo borders the southern boundary of the site.

PROPOSED CONDITIONS

The proposed project will consist of gymnasium addition to the school on the east side of the existing building. The gym addition will be placed over an existing asphalt paved parking lot. Some development of the southern portion of the site will also take place within Basin B including two new concrete basketball courts and a turf play field. A new SD line and retention pond is proposed to collect runoff from Basin B. The retention pond will also hold the water quality volume calculated for this site.

Small water harvest features will be placed within the five small islands in the parking lot of Basin A to capture some runoff for storm water quality. However, the cumulative volume of these five water harvest features are not enough for the total required storm water quality volume so the owner will be requesting a payment in lieu of for the difference in volume that cannot be accommodated within Basin A. The drainage calculations for proposed conditions are indicated on this sheet.

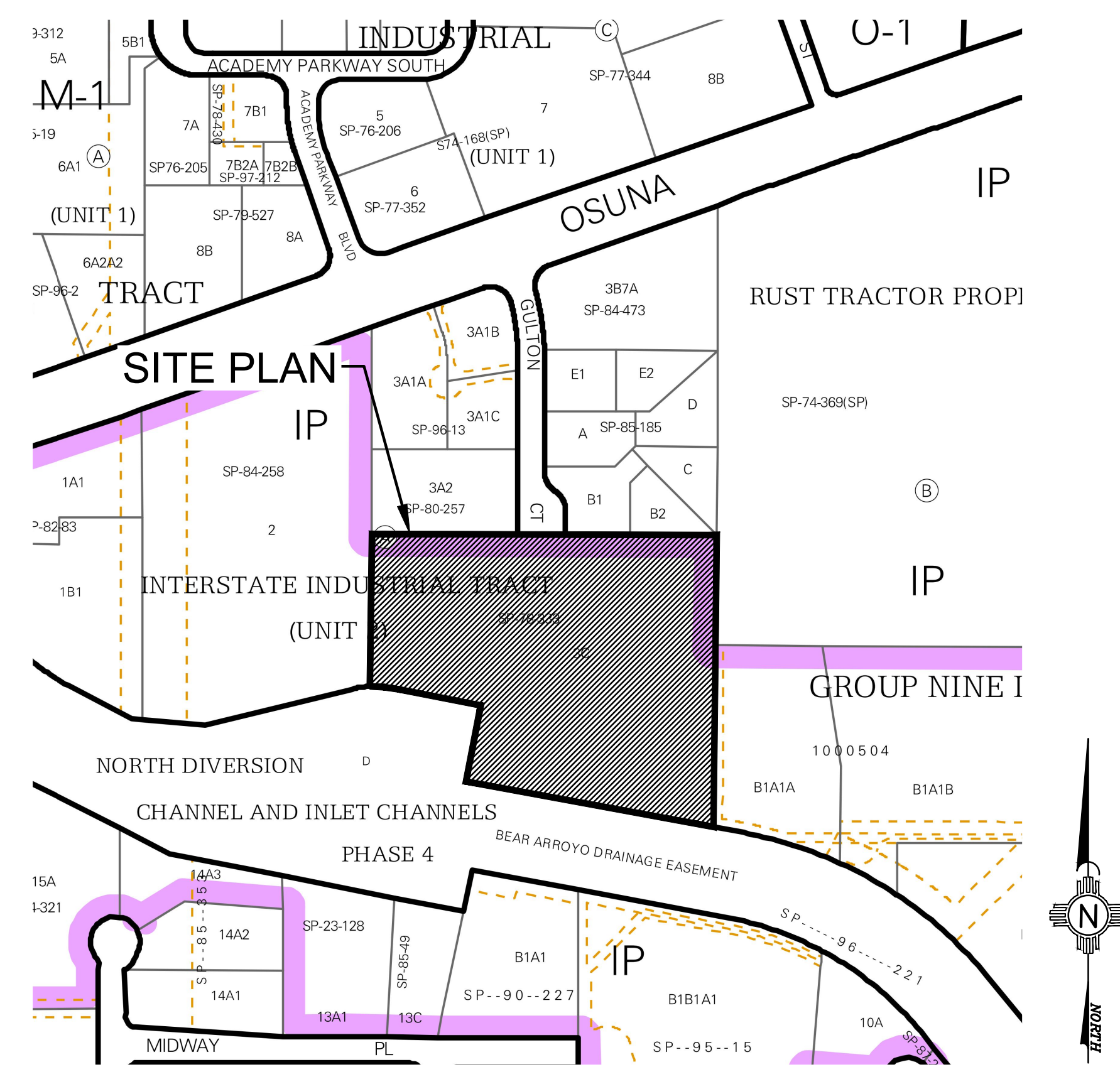
CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the increased runoff from Basin A is zero. The increase in runoff from Basin B is estimated at 0.21 cfs and 0.051 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to a new 0.261 acre-foot retention pond located along the western boundary of Basin B. The storm water quality volume for Basin B is estimated at 533 cubic feet. The new retention pond is large enough to retain the storm water quality volume from Basin B.

The total storm water quality volume for Basin A is estimated at 1115 cubic feet. The total cumulative volume for the five water harvest features in Basin A is estimated at 450 cubic feet. The owner is requesting payment in lieu of for the storm water quality volume of 665 cubic feet that cannot be accommodated on the site.

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
2. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
4. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
5. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
7. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
8. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
9. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
10. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
11. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
12. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
13. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15.1%.
14. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
15. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
16. ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
17. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15.1%.
18. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.



C1 VICINITY MAP  
ZONE ATLAS MAP E-17-Z

WATER HARVEST AREA

BASIN A:

WATER HARVEST AREA = 450 CF

BASIN B:

THE CUMULATIVE PONDING VOLUME FOR THE 5 WATER HARVEST AREAS IN BASIN A IS ESTIMATED AT 450 CF.

WATER HARVEST AREA

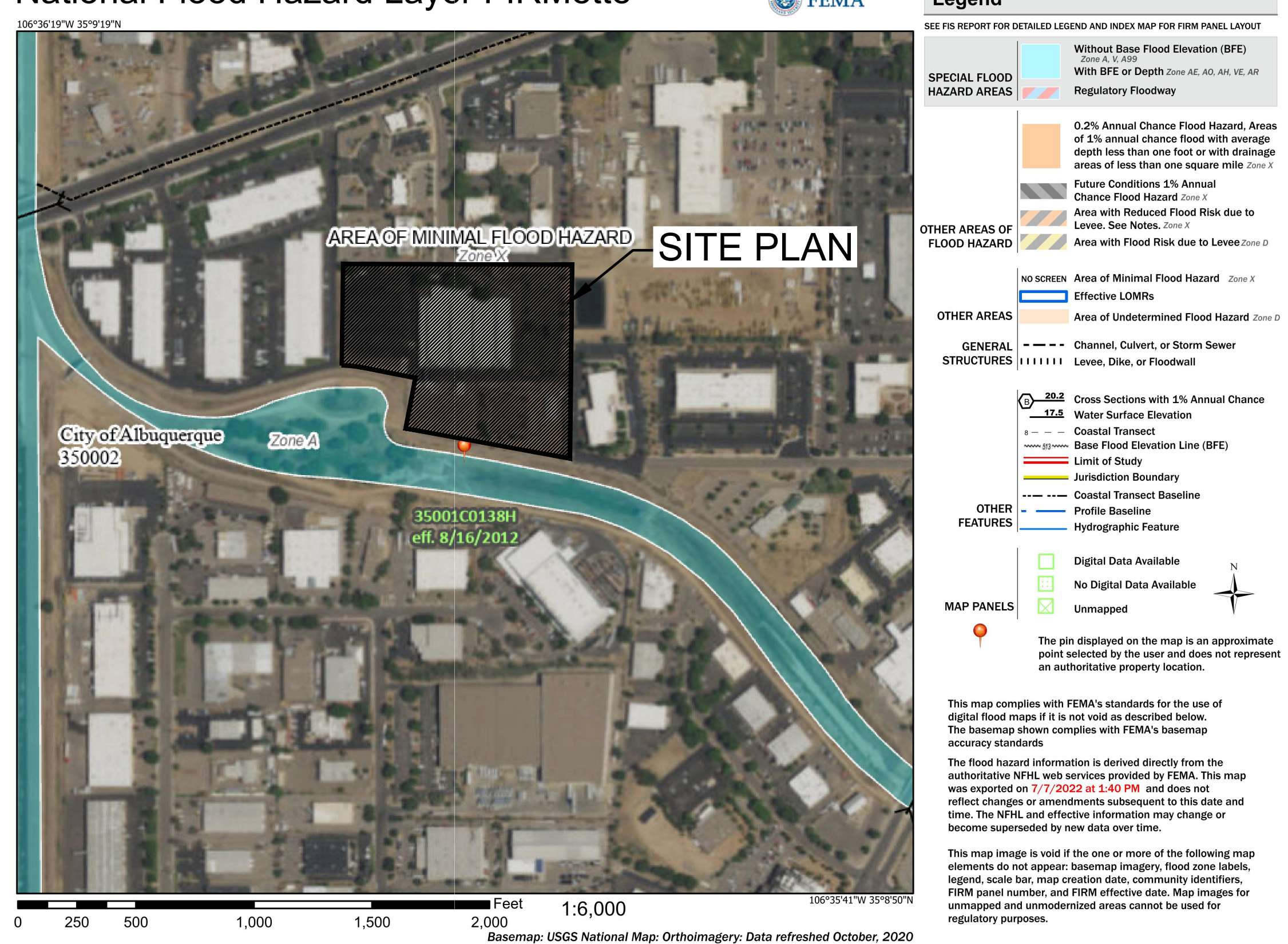
Elev. (ft)	Area (sq ft)	Volume (ac-ft)	Cum Volume (ac-ft)
16	620	0.014	0
17	1053	0.024	0.019
18	1581	0.036	0.030
19	2188	0.050	0.043
20	2886	0.066	0.058
21	1607	0.037	0.203

STORM WATER QUALITY CALCULATIONS

SWQV (BASIN A):  
WATER QUALITY VOLUME = (0.26"/12 \* 51,500 SF) = 1115 CF  
PAYMENT IN LIEU (BASIN A) = 1115cf - 450cf \* \$8/cf = \$5,320.00

SWQV (BASIN B):  
WATER QUALITY VOLUME = (0.26"/12 \* 24,000 SF) = 533 CF

National Flood Hazard Layer FIRMette

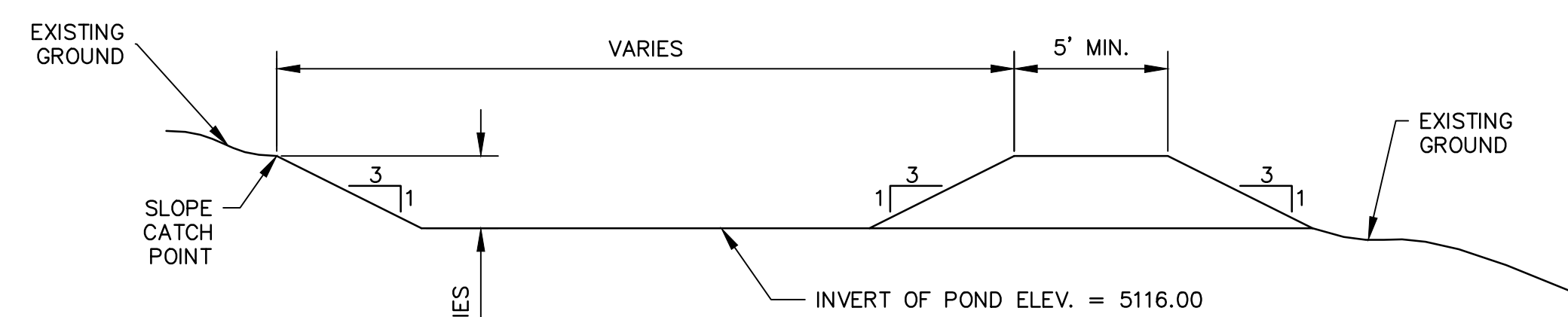


A1 FLOOD ZONE MAP  
FLOOD ZONE MAP: 35001C0138H

DPM HYDROLOGY CALCULATIONS

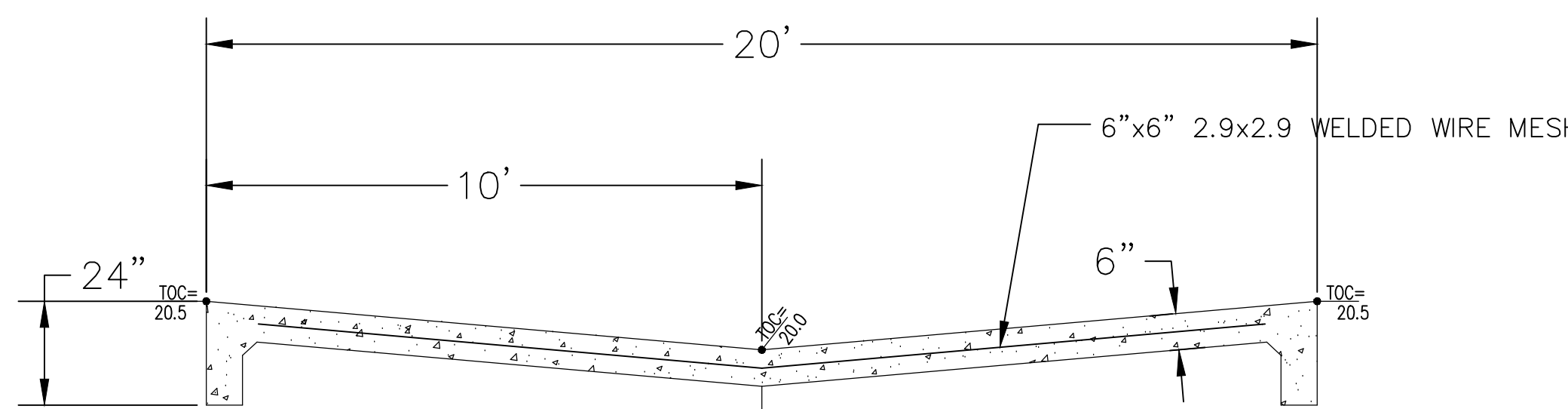
Precipitation Zone 2 - 100-year Storm P(360) = 2.35 in P(1440) = 2.75 in

Basin	Area (Ac)	Land Treatment Factors				E <sub>w</sub> (in)	V(100-6) (af)	V(100-24) (af)	V(100-10D) (af)	Q(100) (cfs)
		A	B	C	D					
Existing Conditions										
A	6.950	0.000	0.000	1.350	5.600	1.93	1.116	1.303	1.863	30.559
B	3.050	0.000	0.000	2.270	0.780	1.38	0.352	0.378	0.456	10.794
<b>Total</b>	<b>10.000</b>									<b>41.353</b>
Proposed Conditions										
A	6.950	0.000	0.000	1.350	5.600	1.93	1.116	1.303	1.863	30.559
B	3.050	0.000	0.250	1.750	1.050	1.44	0.367	0.402	0.507	11.000
<b>Total</b>	<b>10.000</b>									<b>41.559</b>

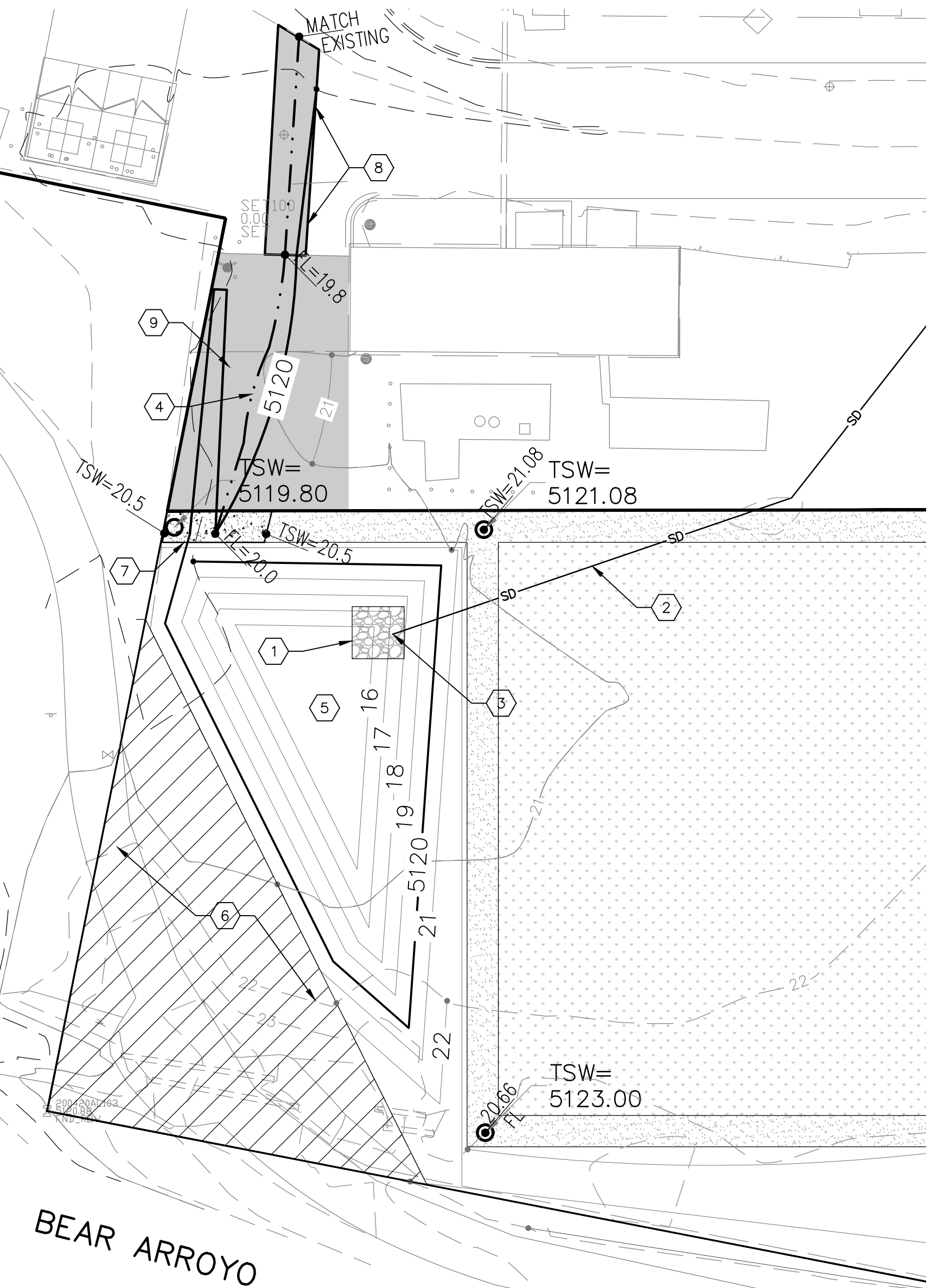


TYPICAL POND SECTION  
NOT TO SCALE

ENLARGED POND GRADING PLAN  
SCALE: 1" = 20'-0"



CONCRETE SPILLWAY SECTION  
NOT TO SCALE



KEYED NOTES:

1. 12" LOOSE RIP-RAP. SEE DETAIL SHEET C1/C-505.
2. 24" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
3. HDPE END SECTION INSTALLED PER DETAIL D5/C-503.
4. POND OVERFLOW SWALE. GRADE TO DRAIN NORTH.
5. NEW WATER HARVEST POND. SEE DETAIL THIS SHEET.
6. EXISTING AMAFCA EASEMENT.
7. NEW 20'x6" WIDE CONCRETE OVERFLOW SPILLWAY FROM POND. SEE DETAIL ON THIS SHEET.
8. SAW CUT TO A CLEAN STRAIGHT LINE 8" WIDTH OF EXISTING HMA, REMOVE AND REPLACE HMA TO INCORPORATE NEW SWALE.
9. NEW ASPHALT PAVEMENT PER DETAIL E2/C-502.

DRAINAGE CERTIFICATION

I, VERLYN A MILLER, NPPE 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED December 12, 2022. THE RECORD INFORMATION DATED ON THE ORIGINAL HAS BEEN OBTAINED BY LARRY W. WEDRAD, NPPE 15969 OF PRECISION SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 26, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY THE CITY OF ALBUQUERQUE.

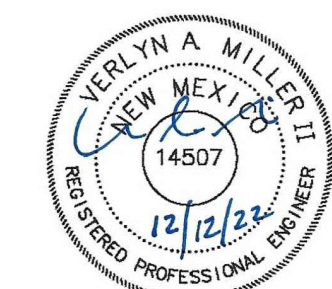
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A MILLER  
DATE: 7/26/24

MILLER ENGINEERING CONSULTANTS  
Engineers • Planners  
3500 COMANCHE, NE  
ALBUQUERQUE, NM 87117  
(505)888-3800  
(505)888-3800 (FAX)

dg  
THE HARTMAN • MAJEWSKI  
**DESIGN GROUP**  
Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®  
120 Vassar Dr SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881  
CONSULTANT

STAMP



100% PERMIT SET

PROJECT NAME:

EXPLORE ACADEMY  
GYMNASIUM ADDITION

6600 GULTON COURT, NE.  
ALBUQUERQUE, NEW MEXICO 87111

REVISIONS

No.	Description	Date

ADDENDUM 001 01.04.2022

Copyright: Design Group  
Drawn by: DLW  
Checked by: YAM  
Date: JULY 07, 2022  
Project number: 3056  
CAD file name: C-200

SHEET TITLE  
SITE  
HYDROLOGY  
PLAN

SHEET NUMBER  
**C-200**

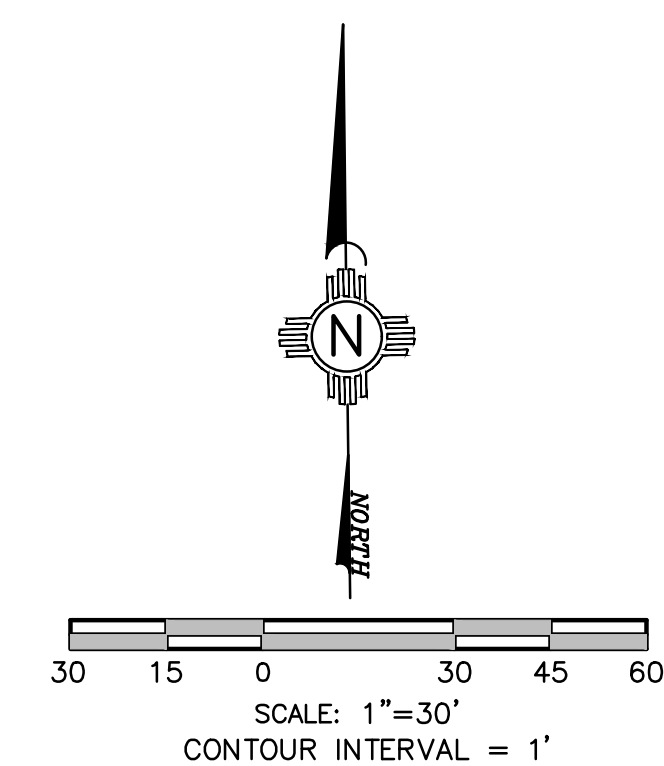
**LEGEND:**

- ▲ 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- ▲ 35.19 MATCH EXISTING ELEVATIONS
- TC ON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- FLOW ARROW
- ~ GRADE BREAK-HIGH POINT
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR
- BASIN BOUNDARY
- ⓑ BASIN DESIGNATION

**KEYED NOTES:**

1. EXISTING BUILDING TO REMAIN.
2. EXISTING 4" CONCRETE VALLEY GUTTER TO REMAIN.
3. PROPOSED GYM AND CLASSROOM ADDITION.
4. NEW 12" WIDE SIDEWALK CULVERT. SEE DETAIL SHEET C1/C-505.
5. NEW CURB AND GUTTER. SEE ARCHITECTURAL DETAILS.
6. EXISTING PLAYGROUND TO REMAIN.
7. EXISTING ASPHALT RUNDOWN TO REMAIN.
8. EXISTING 48" CMP TO BEAR ARROYO CHANNEL.
9. EXISTING TRASH DUMPSTER AND DRIVE PAD TO REMAIN.
10. EXISTING CONCRETE SIDEWALK TO REMAIN.
11. NEW 6" WIDE GRAVEL PATHWAY.
12. NEW GRASS PLAYGROUND AREA.
13. NEW WATER HARVEST POND. SEE DETAIL SHEET C2/C-505.
14. SANITARY SEWER MANHOLE PER DETAIL A1/C-505.
15. 12" LOOSE RIP-RAP. SEE DETAIL SHEET C1/C-505.
16. NEW VOLLEY BALL COURT.
17. NEW CHESS BOARD AREA.
18. 4' DIAMETER STORM DRAIN MANHOLE PER DETAIL A1/C-505. INV=17.43.
19. TYPE "D" (MEDIA TYPE) STORM DRAINAGE CATCH BASIN PER DETAIL A5/C-505.
20. EXISTING OVERHEAD CANOPY TO REMAIN.
21. NEW CONCRETE BASKETBALL COURT.
22. 18" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
23. 24" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
24. 24"x45" HDPE STORM DRAIN BEHD.
25. CONNECT NEW 6" HDPE STORM DRAIN LINE TO BUILDING ROOF DRAIN.
26. HDPE END SECTION INSTALLED PER DETAIL D5/C-503.
27. NEW RETAINING WALL. SEE STRUCTURAL DETAILS.
28. SAWCUT TO A CLEAN STRAIGHT EDGE. REMOVE AND REPLACE EXISTING ASPHALT IN THIS AREA. MATCH EXISTING ELEVATIONS.
29. NEW ACCESS ROUTE TO PLAYGROUND AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
30. DOWNSPOUT LOCATIONS. SEE ARCHITECTURAL SHEET A-106.
31. ROOF DRAIN LOCATION. SEE ARCHITECTURAL SHEET A-106.
32. POND OVERFLOW SWALE LOCATION. GRADE TO DRAIN NORTH.
33. NEW ASPHALT PAVEMENT PER DETAIL E2/C-502.
34. NEW 3" WIDE CONCRETE VALLEY GUTTER. S=0.35%. SEE DETAIL SHEET E1/C-505.
35. NEW 4' DIAMETER STORM DRAIN MANHOLE PER DETAIL A1/C-501R. INV (E)=18.30, INV (W)=18.25, INV (S)=18.30.
36. 12" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
37. 6"x10" EMERGENCY EXIT CONCRETE LANDING AT DOOR WITH A 5' WIDE CONCRETE RAMP @ 1:12 MAX. SLOPE TO WEST. MATCH EXISTING ELEVATIONS.
38. MOVE EXISTING BICYCLE RACK TO NEW LOCATION TO MAKE ROOM FOR NEW RAMP. SEE ARCHITECTURAL SHEET A-106.
39. NEW SWQ POND (5 TYPICAL) WITH 6" INCHES OF DEPTH.
40. PLACE 6" CURB CUTS AT 5' ON CENTER ON UP STREAM SIDE SO RUNOFF CAN ENTER WATER HARVEST AREAS.
41. SAW CUT TO A CLEAN STRAIGHT LINE 8' WIDTH OF EXISTING HMA AND REMOVE TO INCORPORATE SWALE.
42. EXISTING AMAFCA EASEMENT.
43. NEW 20"x6" WIDE CONCRETE OVERFLOW SPILLWAY FROM POND. SEE DETAIL ON SHEET C-200.

NOTE:  
CONTRACTOR SHALL REFERENCE DRAWINGS CG-001, C-001, AA-5P, C-101, C-102, C-201, C-301, C-501, C-502, C-503 AND C-504 FROM 100% PERMIT SET STAMPED BY DAVID AUBE DATED 12-17-2021.



STAMP



100% PERMIT SET

PROJECT NAME

**EXPLORE ACADEMY  
GYMNASIUM ADDITION**

6600 GULTON COURT, NE.  
ALBUQUERQUE, NEW MEXICO 87111

**REVISIONS**

No.	Description	Date
1	ADDENDUM 001	01.04.2022

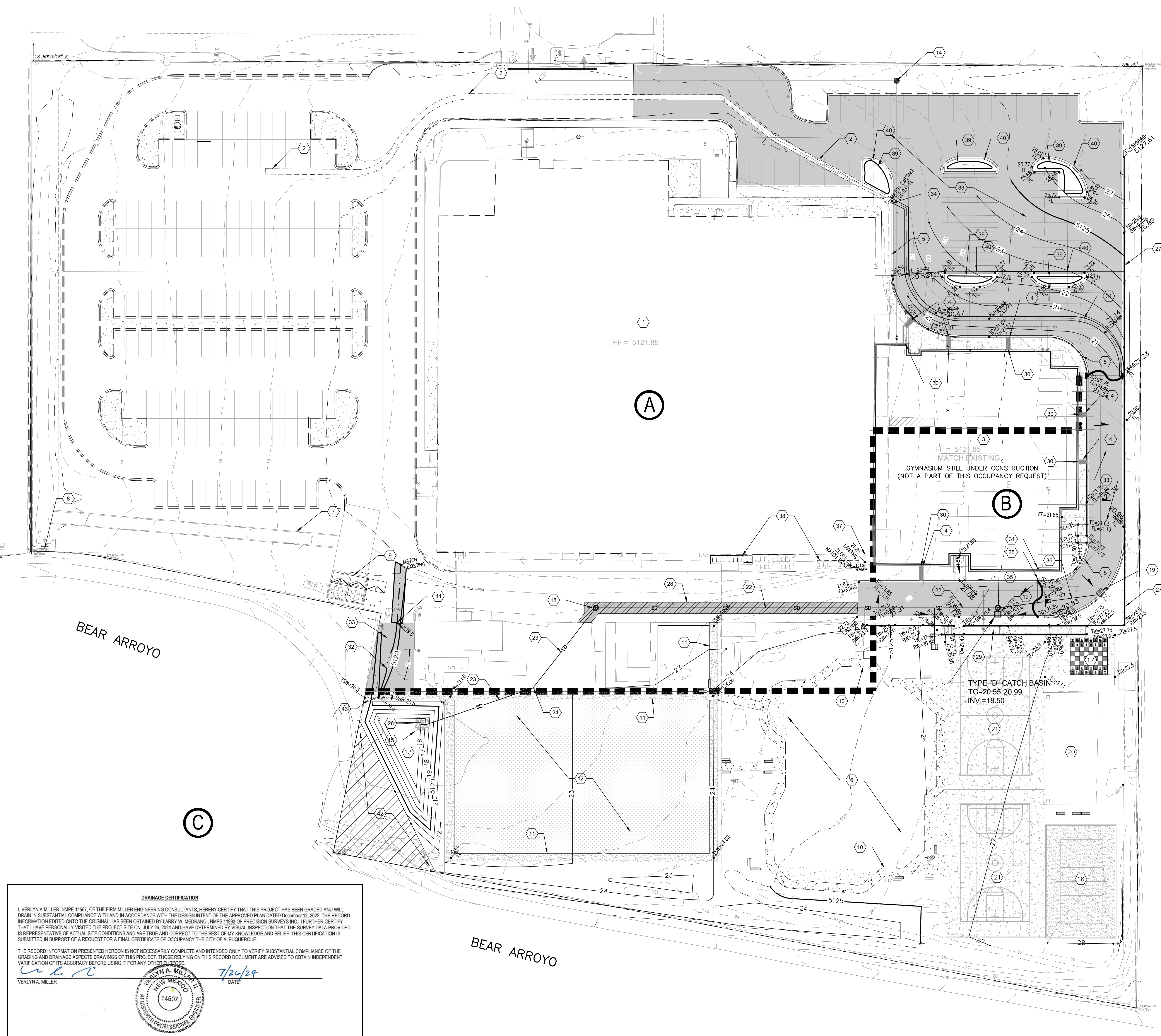
Copyright: Design Group  
Drawn by: DLW  
Checked by: VAM  
Date: JULY 07, 2022  
Project number: 3055  
CAD file name:

**SHEET TITLE**

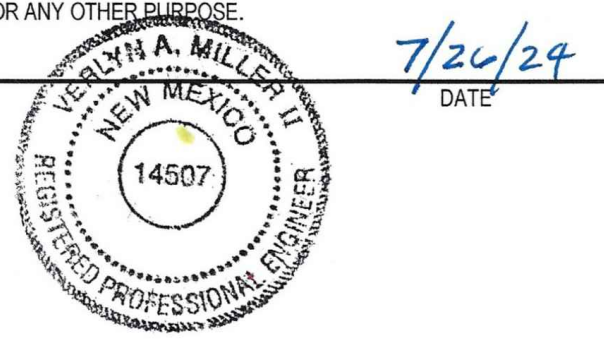
**OVERALL SITE  
GRADING  
PLAN**

**SHEET NUMBER**

**C-201R**

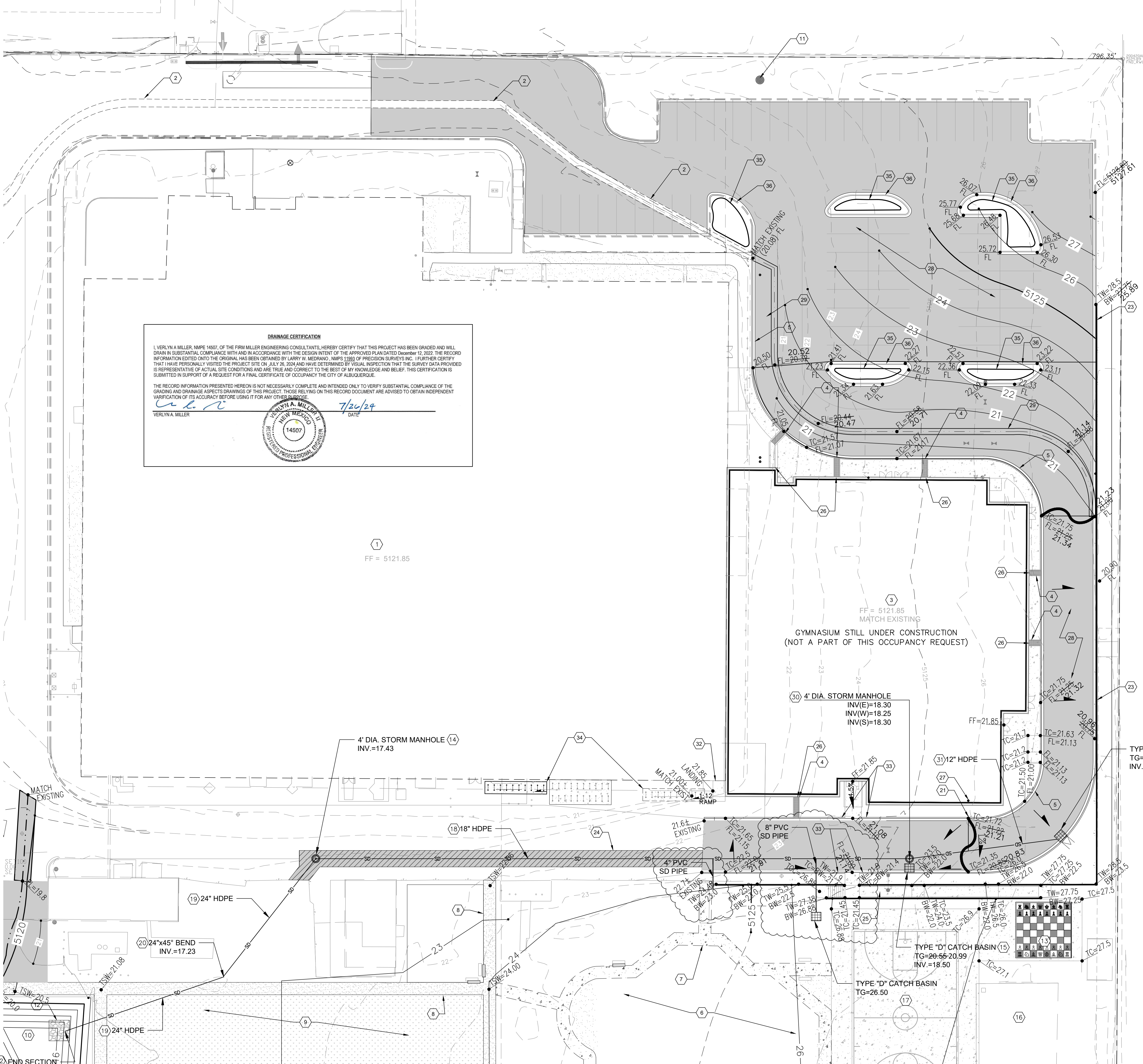


**DRAINAGE CERTIFICATION**  
I, VERLYN A. MILLER, NMP# 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED December 12, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL HAS BEEN OBTAINED BY LARRY W. MEDRANO, NMP# 11993 OF PRECISION SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 26, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY THE CITY OF ALBUQUERQUE.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.  
VERLYN A. MILLER  
DATE: 7/26/24



**A1 OVERALL SITE GRADING PLAN**  
SCALE: 1" = 30'-0"

T:\Clients\DESIGN GROUP\EXPLORE ACADEMY\BOA\CAD\SHETS\DRANGE CERT AS-BUILT\C-201R-580D\_PLAN\_090722.dwg, C-201R-OVERALL-GRADE, 7/25/2024 4:02:30 PM, jacquez.DWG To PDF.pcl, 11



**DRAINAGE CERTIFICATION**

I, VERLYN A. MILLER, NMP# 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED December 12, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL HAS BEEN OBTAINED BY LARRY W. MEDRANO, NMP# 11993 OF PRECISION SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 26, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY THE CITY OF ALBUQUERQUE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A. MILLER  
 7/26/24  
 DATE

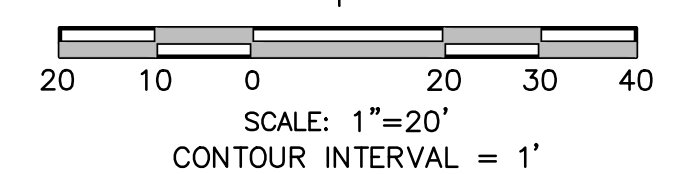
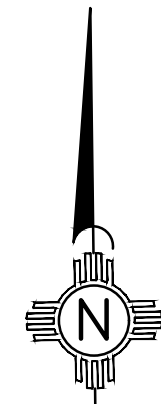
**LEGEND:**

- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC ON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- FLOW ARROW FLOW ARROW
- GRADE BREAK-HIGH POINT GRADE BREAK-HIGH POINT
- SW SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

**KEYED NOTES:**

1. EXISTING BUILDING TO REMAIN.
2. EXISTING 4" CONCRETE VALLEY GUTTER TO REMAIN.
3. PROPOSED GYM AND CLASSROOM ADDITION.
4. NEW 12" WIDE SIDEWALK CULVERT. SEE DETAIL SHEET C1/C-505.
5. NEW CURB AND GUTTER. SEE ARCHITECTURAL DETAILS.
6. EXISTING PLAYGROUND TO REMAIN.
7. EXISTING CONCRETE SIDEWALK TO REMAIN.
8. NEW 6" WIDE GRAVEL PATHWAY.
9. NEW GRASS PLAYGROUND AREA.
10. NEW WATER HARVEST POND. SEE DETAIL SHEET C2/C-505.
11. SANITARY SEWER MANHOLE PER DETAIL A1/C-505.
12. LOOSE RIP-RAP. SEE DETAIL SHEET C1/C-505.
13. NEW CHESS BOARD AREA.
14. NEW 4" DIAMETER STORM DRAIN MANHOLE PER DETAIL A1/C-505.
15. TYPE "D" (MEDIA TYPE) STORM DRAINAGE CATCH BASIN PER DETAIL A5/C-505.
16. EXISTING OVERHEAD CANOPY TO REMAIN.
17. NEW CONCRETE BASKETBALL COURT.
18. 18" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
19. 24" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
20. 24"x45" HDPE STORM DRAIN BEND.
21. CONNECT NEW 6" HDPE STORM DRAIN LINE TO BUILDING ROOF DRAIN.
22. HDPE END SECTION INSTALLED PER DETAIL D5/C-503.
23. NEW RETAINING WALL. SEE STRUCTURAL DETAILS.
24. SAWCUT TO A CLEAN STRAIGHT EDGE, REMOVE AND REPLACE EXISTING ASPHALT IN THIS AREA. MATCH EXISTING ELEVATIONS.
25. NEW ACCESS ROUTE TO PLAYGROUND AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
26. DOWNSPOUT LOCATIONS. SEE ARCHITECTURAL SHEET A-106.
27. ROOF DRAIN LOCATION. SEE ARCHITECTURAL SHEET A-106.
28. ASPHALT PAVEMENT PER DETAIL E2/C-502.
29. NEW 3" WIDE CONCRETE VALLEY GUTTER. S=0.35%. SEE DETAIL SHEET E1/C-505.
30. NEW 4" DIAMETER STORM DRAIN MANHOLE PER DETAIL A1/C-505.
31. 12" HDPE STORM DRAIN LINE INSTALLED PER DETAIL D3/C-505.
32. 6'x10' EMERGENCY EXIT CONCRETE LANDING AT DOOR WITH A 5' WIDE CONCRETE RAMP @ 1:12 MAX. SLOPE TO WEST. MATCH EXISTING ELEVATIONS.
33. 3" TRANSITION CURBS PER DETAIL A4/C-501.
34. MOVE EXISTING BICYCLE RACK TO NEW LOCATION TO MAKE ROOM FOR NEW RAMP. SEE ARCHITECTURAL FOR DETAILS.
35. NEW SWQ POND (5 TYPICAL) WITH 6" OF DEPTH.
36. PLACE 6" CURB CUTS AT 5' ON CENTER ON UPSTREAM SIDE SO RUNOFF CAN ENTER WATER HARVEST AREAS.

NOTE:  
 CONTRACTOR SHALL REFERENCE DRAWINGS CG-001, C-001, AA-SP, C-101, C-102, C-201, C-301, C-501, C-502, C-503 AND C-504 FROM 100% PERMIT SET STAMPED BY DAVID AUBE DATED 12-17-2021.



STAMP



100% PERMIT SET  
 PROJECT NAME:  
**EXPLORE ACADEMY  
 GYMNASIUM ADDITION**

6600 GULTON COURT, NE.  
 ALBUQUERQUE, NEW MEXICO 87111

REVISIONS		
No.	Description	Date
1	ADDENDUM 001	01.04.2022

Copyright: Design Group  
 Drawn by: DLW  
 Checked by: VAM  
 Date: JULY 07, 2022  
 Project number: 3056  
 CAD file name:

SHEET TITLE  
**ENLARGED SITE  
 GRADING PLAN**

SHEET NUMBER

**C-202**